



100 EXECUTIVE BLVD. SUITE 204
OSSINING, NY 10562
arqpc.com
PHONE: (914) 944-3377
FAX: (866) 567-6240

JORGE B. HERNANDEZ R.A. A.I.A.
LICENSE NUMBER: 030424-1
CERTIFICATE NUMBER: 2323601

REVISIONS	DATE	BY
RESUBMITTAL	9/14/2023	ARQ
RESUBMITTAL	4/26/2024	ARQ
RESUBMITTAL	9/30/2024	ARQ
P.B. COMMENTS	09/11/2024	ARQ
WHEELER LOADING	09/26/2024	ARQ
REV. DRAWINGS	10/9/2024	ARQ
REV. DRAWINGS	2/26/2025	ARQ
REV. DRAWINGS	4/9/2025	ARQ
PUBLIC HEARING	4/30/2025	ARQ

DRAWING TITLE:

PROPOSED INTERSECTION
SIGHT DISTANCE, STOPPING
SIGHT DISTANCE PLANS &
PROFILES

PROJECT:

THE LANDMARK AT 444

PROJECT ADDRESS:

444 BEDFORD RD
PLEASANTVILLE
NY 10570

NYS EDUCATION LAW

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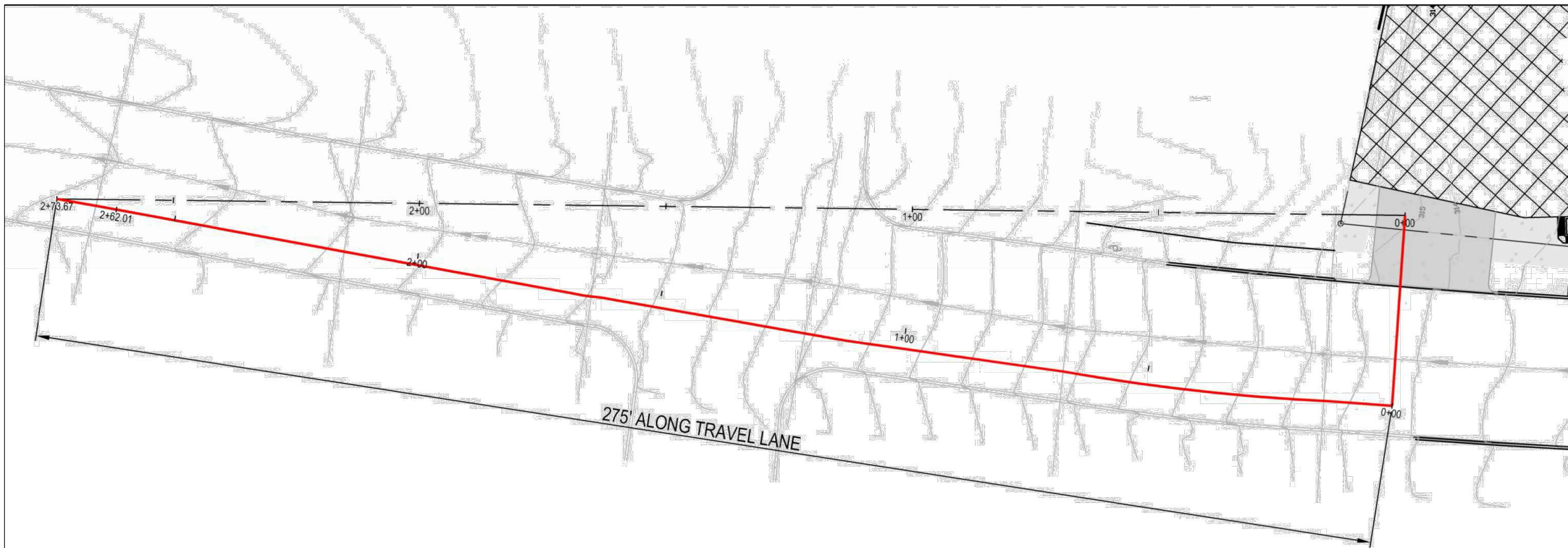
SEAL & SIGNATURE



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3/12/2021
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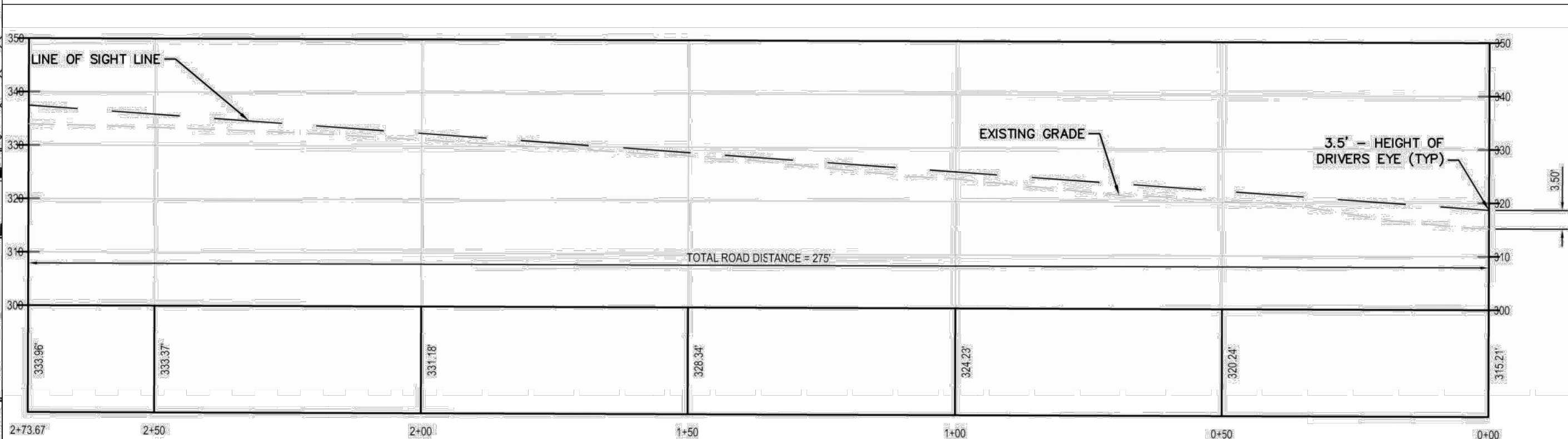
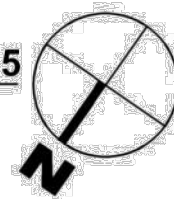
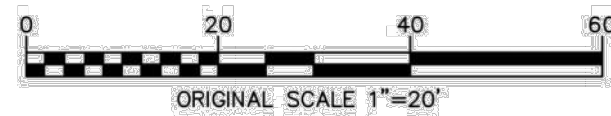
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S-107



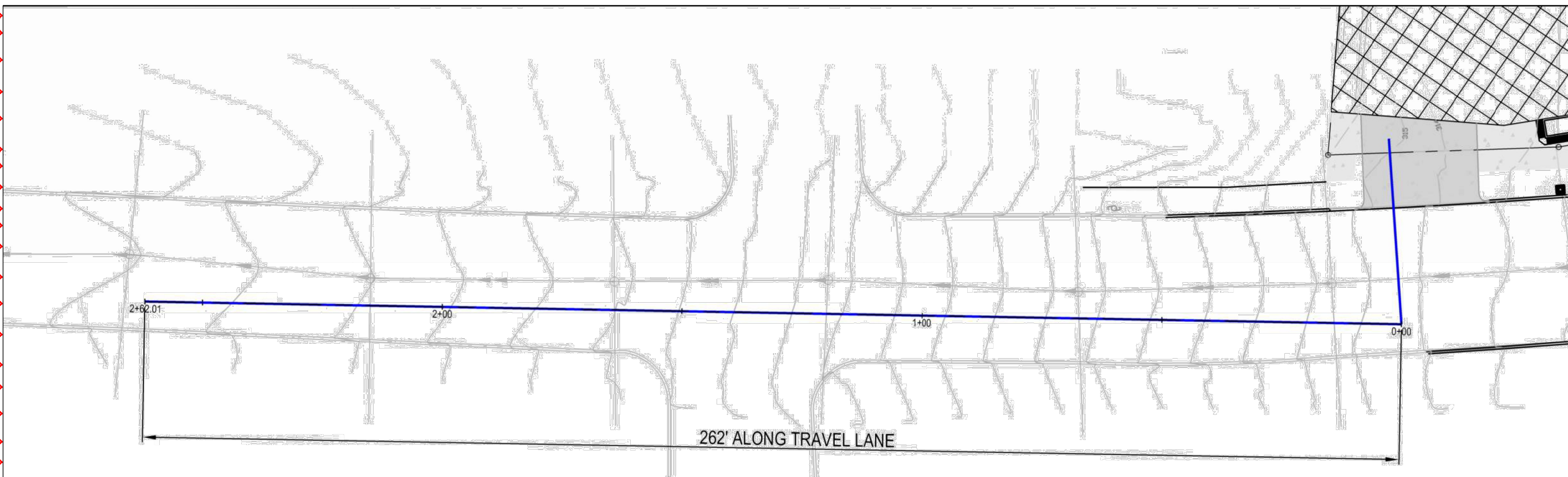
1 BEDFORD INTERSECTION SIGHT DISTANCE PLAN VIEW DATE: 4/4/2025

SCALE: 1"=20'



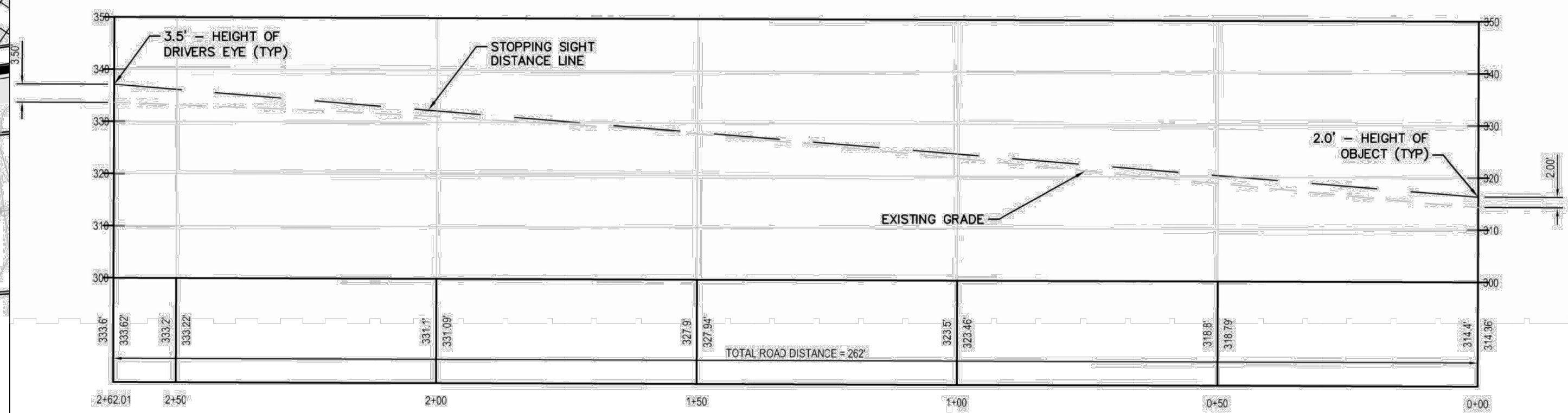
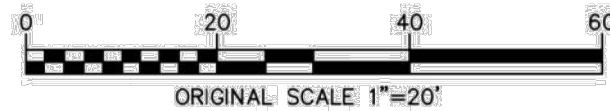
1 BEDFORD ROAD INTERSECTION SIGHT DISTANCE PROFILE DATE: 4/4/2025

SCALE: H: 1"=20' V: 1"=20'



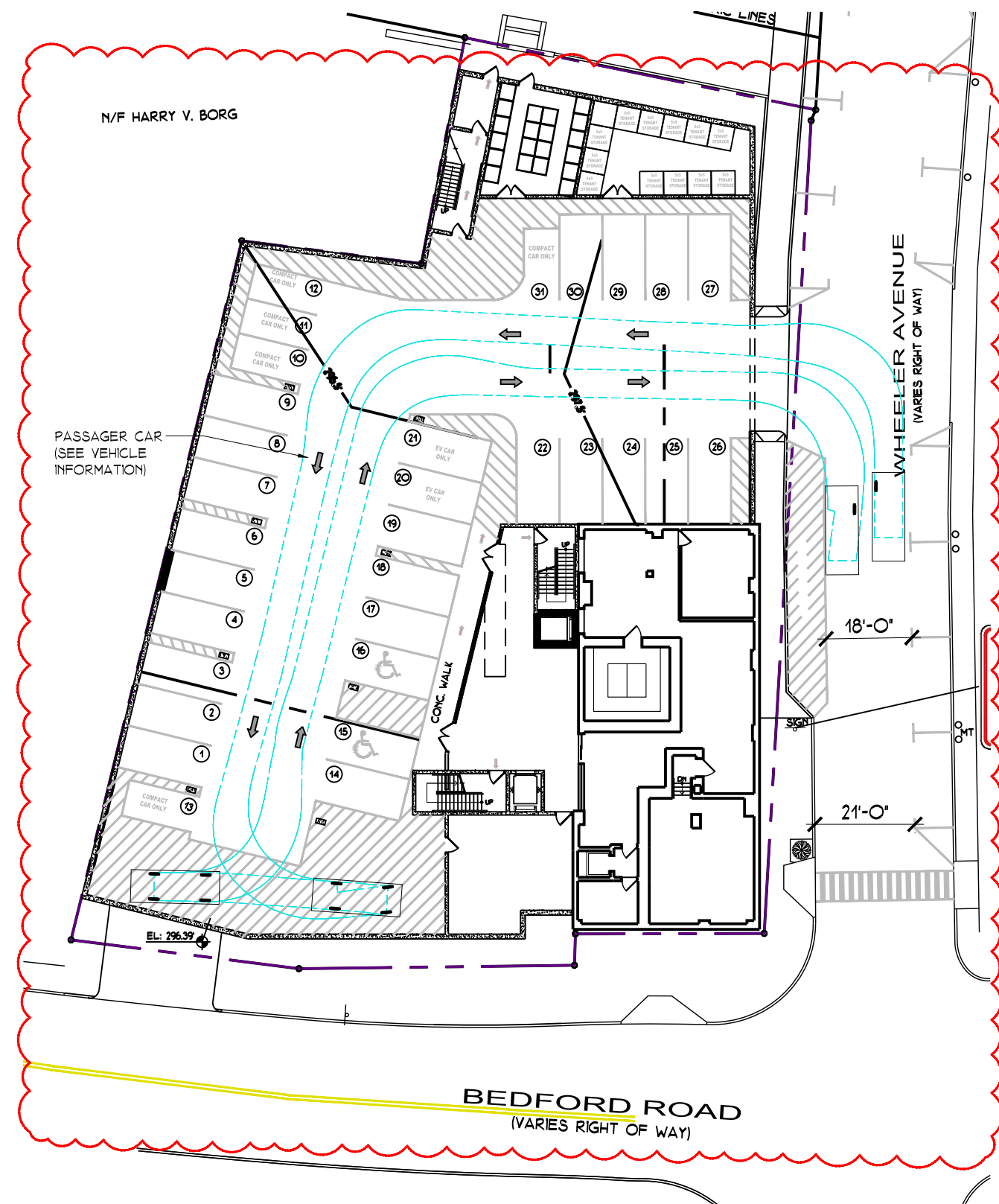
1 BEDFORD ROAD STOPPING SIGHT DISTANCE PLAN VIEW DATE: 4/4/2025

SCALE: 1"=20'



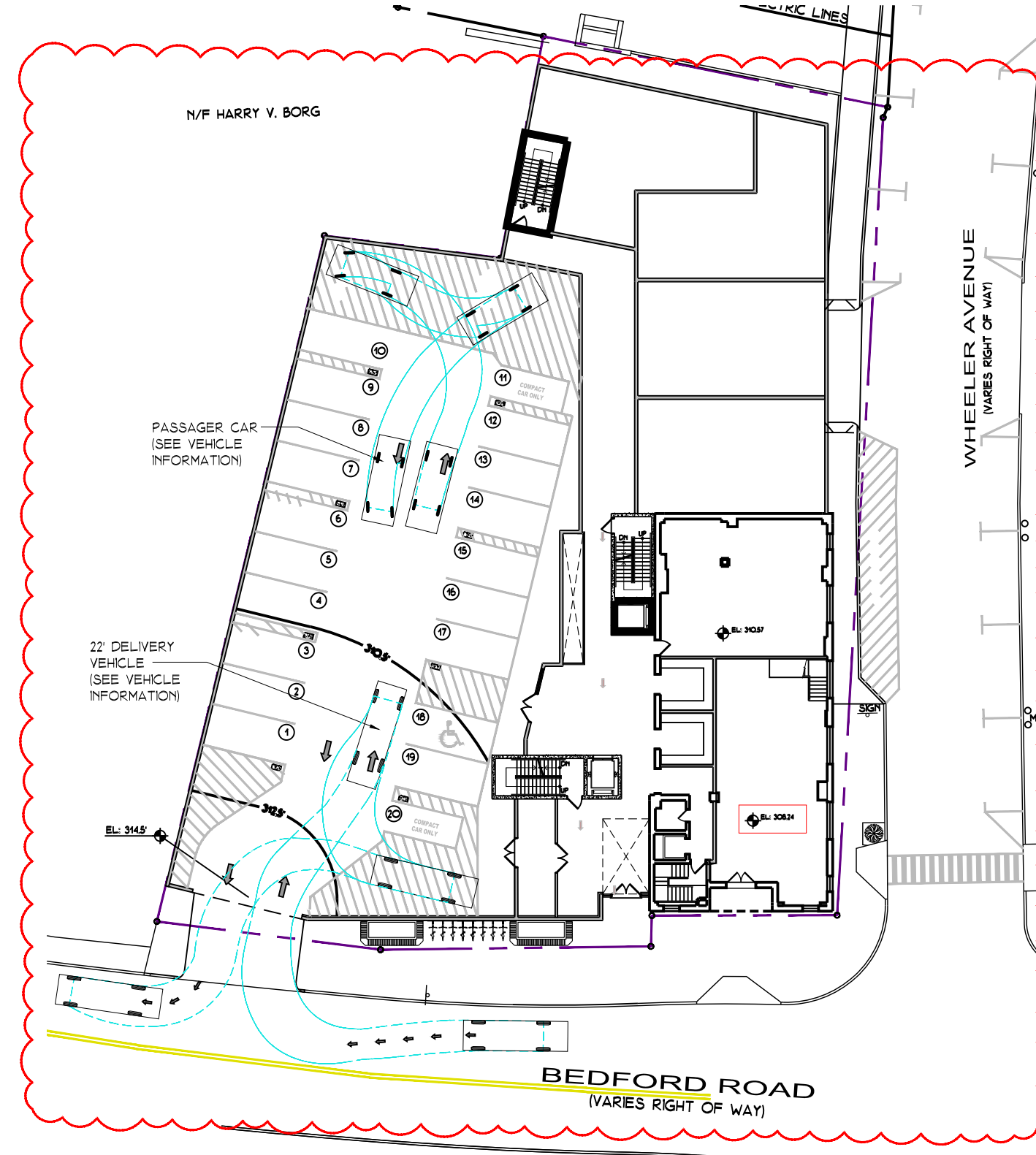
1 BEDFORD ROAD STOPPING SIGHT DISTANCE PROFILE DATE: 4/4/2025

SCALE: H: 1"=20' V: 1"=20'

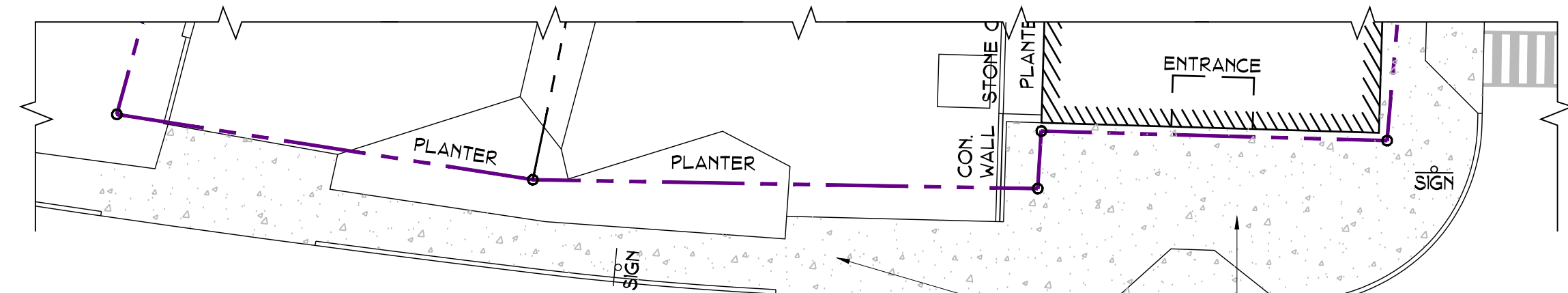


PROPOSED LOWER LEVEL
VEHICLE MANEUVERABILITY
(PASSENGER CAR)

VEHICLE INFORMATION		N.T.S.	
PASSENGER CAR:	19'-0"	22'-9"	
OVERALL LENGTH:	7'-0"	14'-2"	
OVERALL WIDTH:	4'-3"	3'-3"	
OVERALL BODY HEIGHT:	6'-0"	22'-9"	
TRACK WIDTH:	6'-0"	6'-5"	

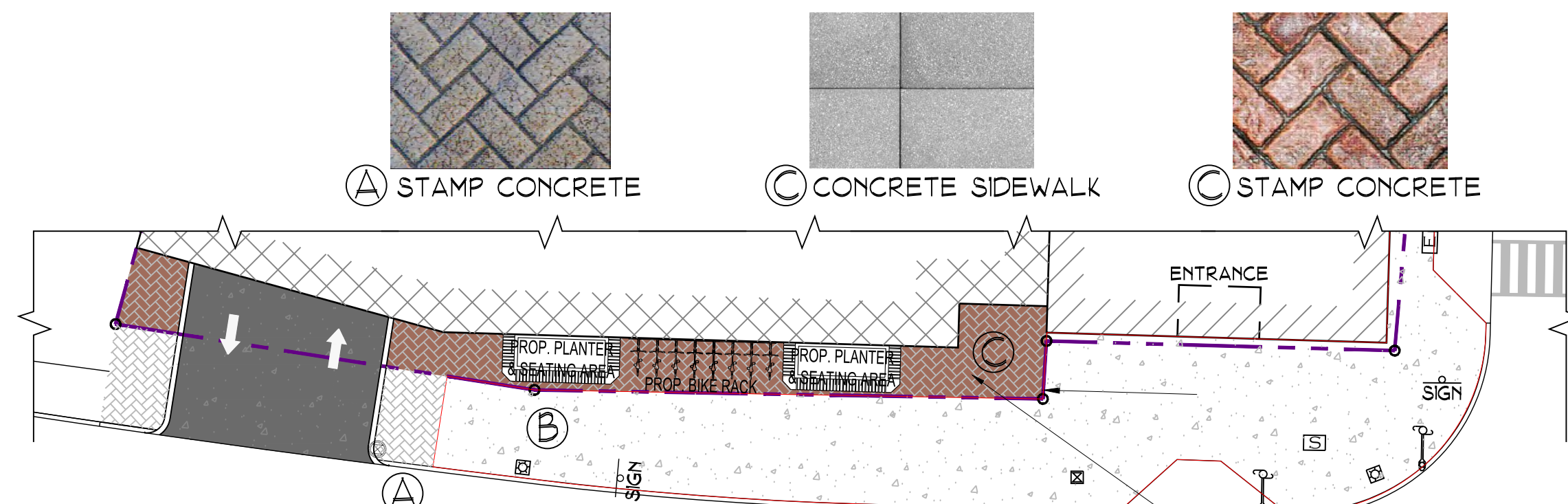


PROPOSED MAIN LEVEL
VEHICLE MANEUVERABILITY
(PASSENGER CAR AND DELIVERY VAN)



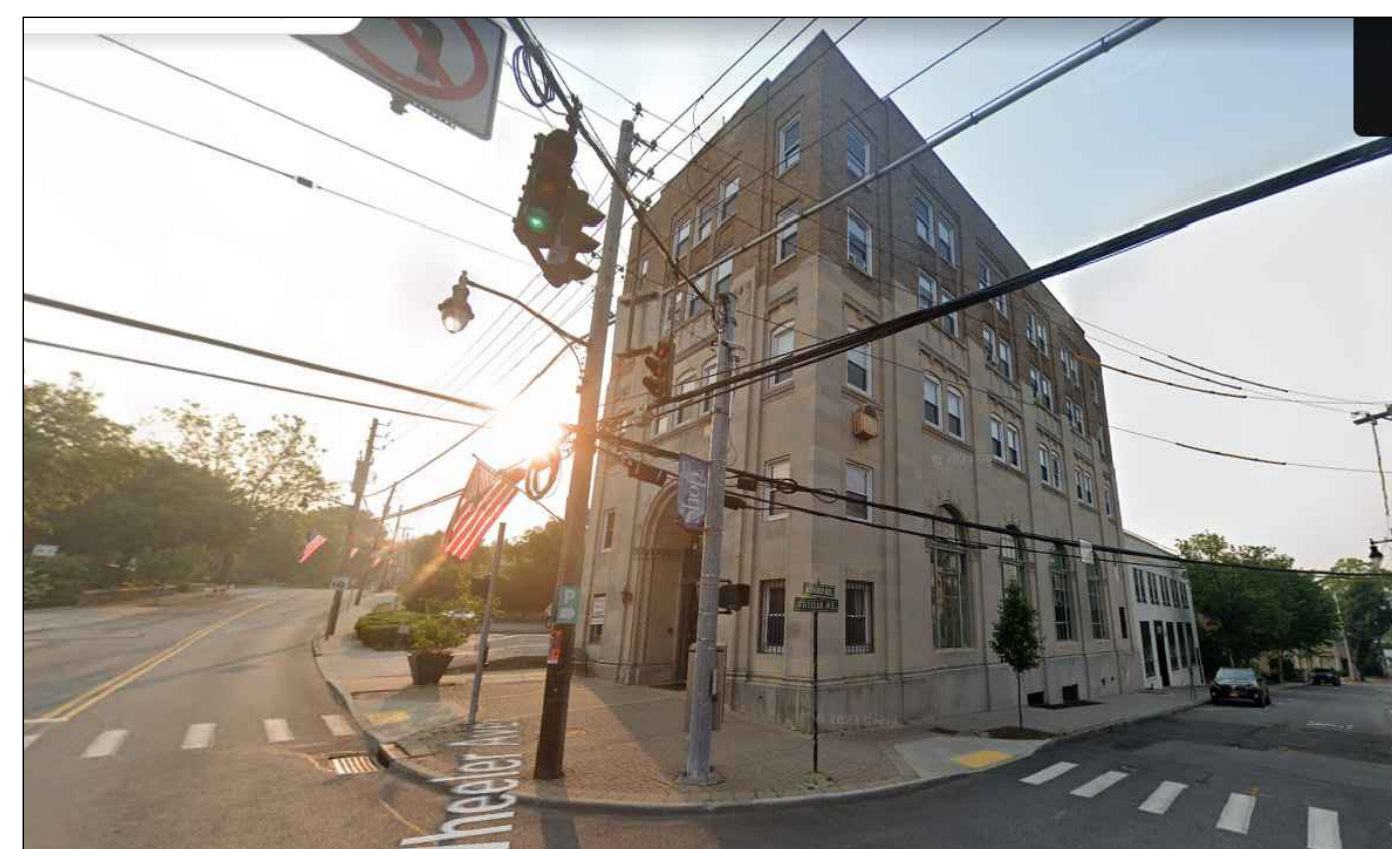
EXISTING CIVIC SPACE PLAN

EXIST.
SIDEWALK CIVIC SPACE
AREA= 1,149 SQ.FT.

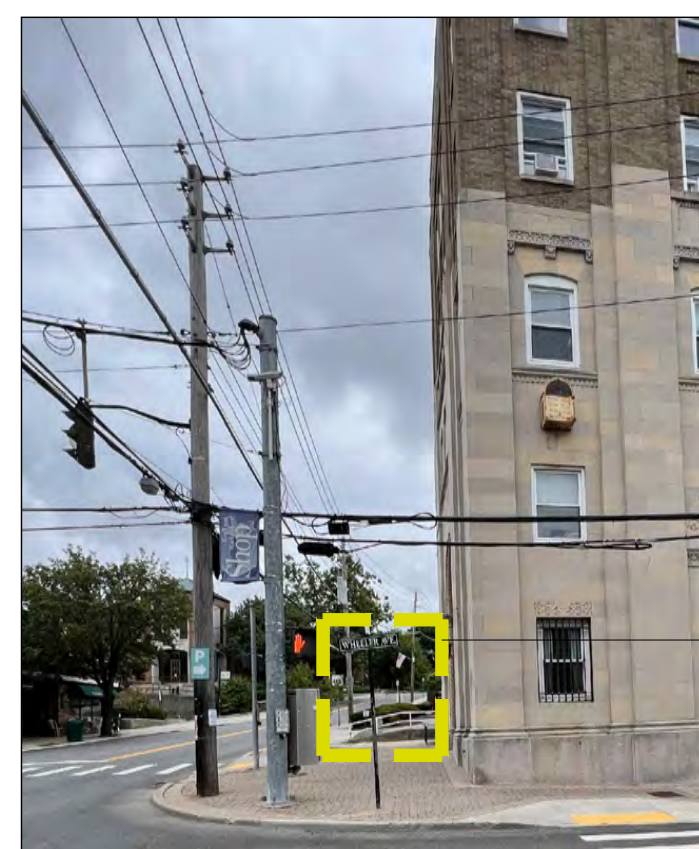


PROPOSED CIVIC SPACE PLAN

PROPOSED
CONTIGUOUS SIDEWALK
CIVIC SPACE
AREA= 2,323 SQ.FT.



EXISTING CIVIC SPACE CONDITIONS PLAN



PROPOSED
ADDITIONAL SPACE



PROPOSED CIVIC SPACE



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PUBLIC HEARING	4/30/2025	ARQ

DRAWING TITLE:
PROPOSED VEHICLE
MANEUVERABILITY PLANS AND
EXIST. & PROPOSED CIVIC
SPACE PLANS WITH IMAGES

PROJECT:
THE LANDMARK AT 444

PROJECT ADDRESS:
444 BEDFORD RD
PLEASANTVILLE
NY 10570

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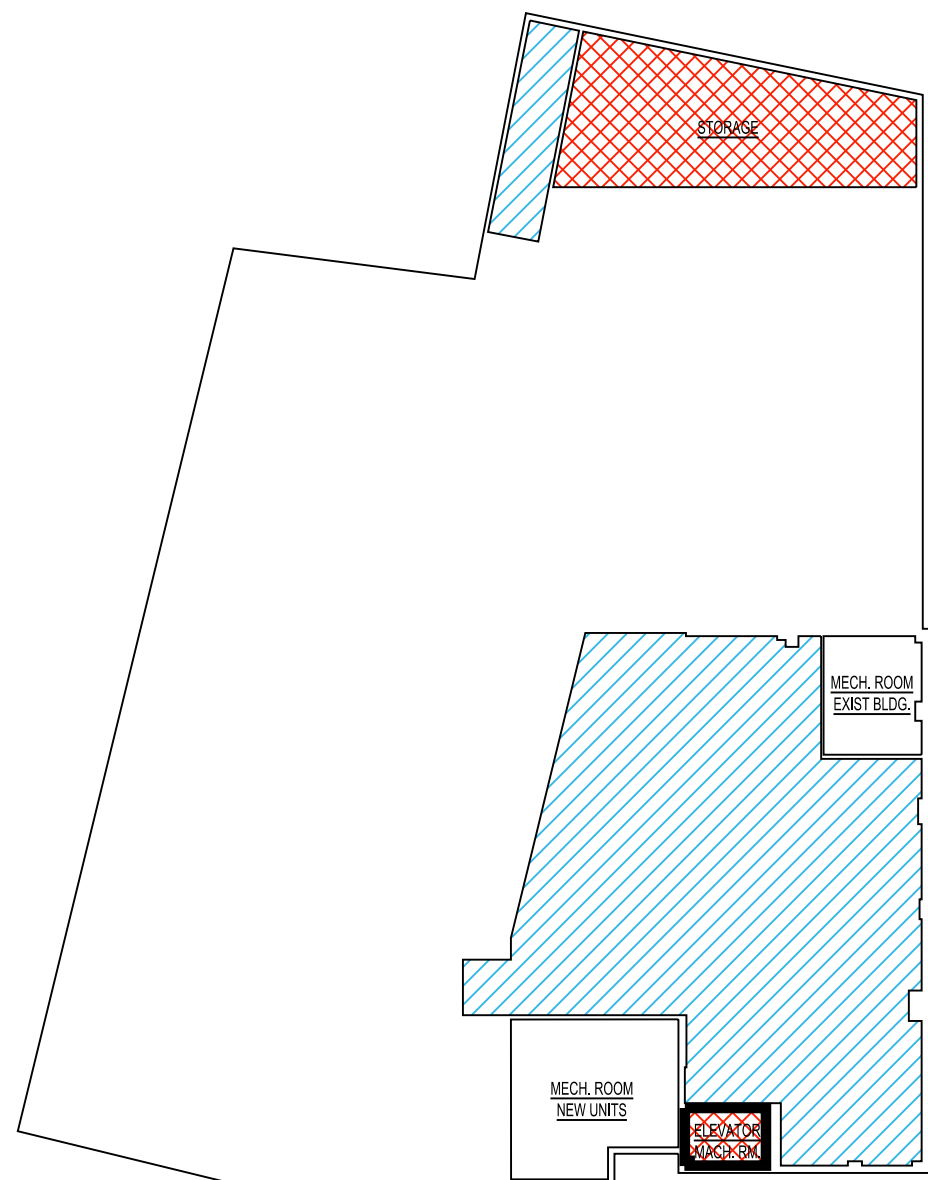
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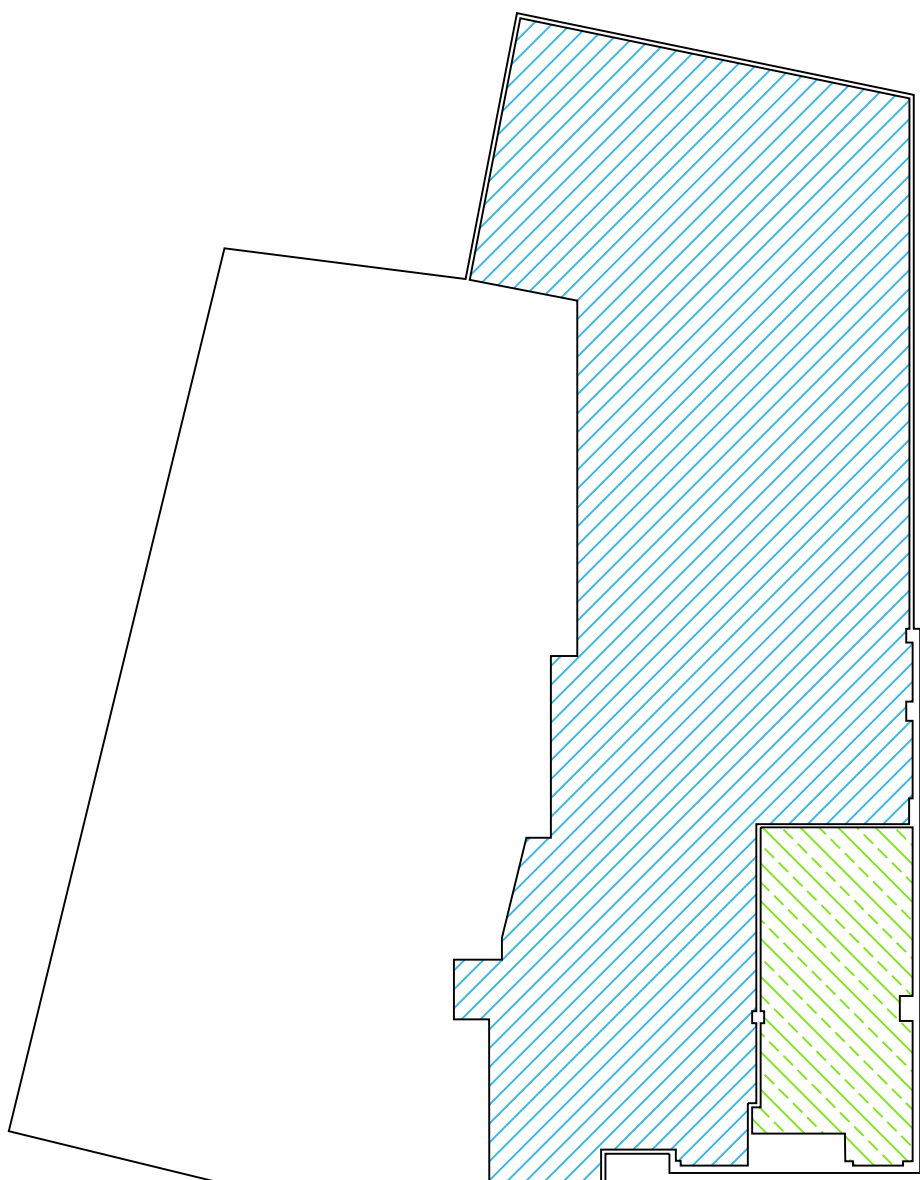


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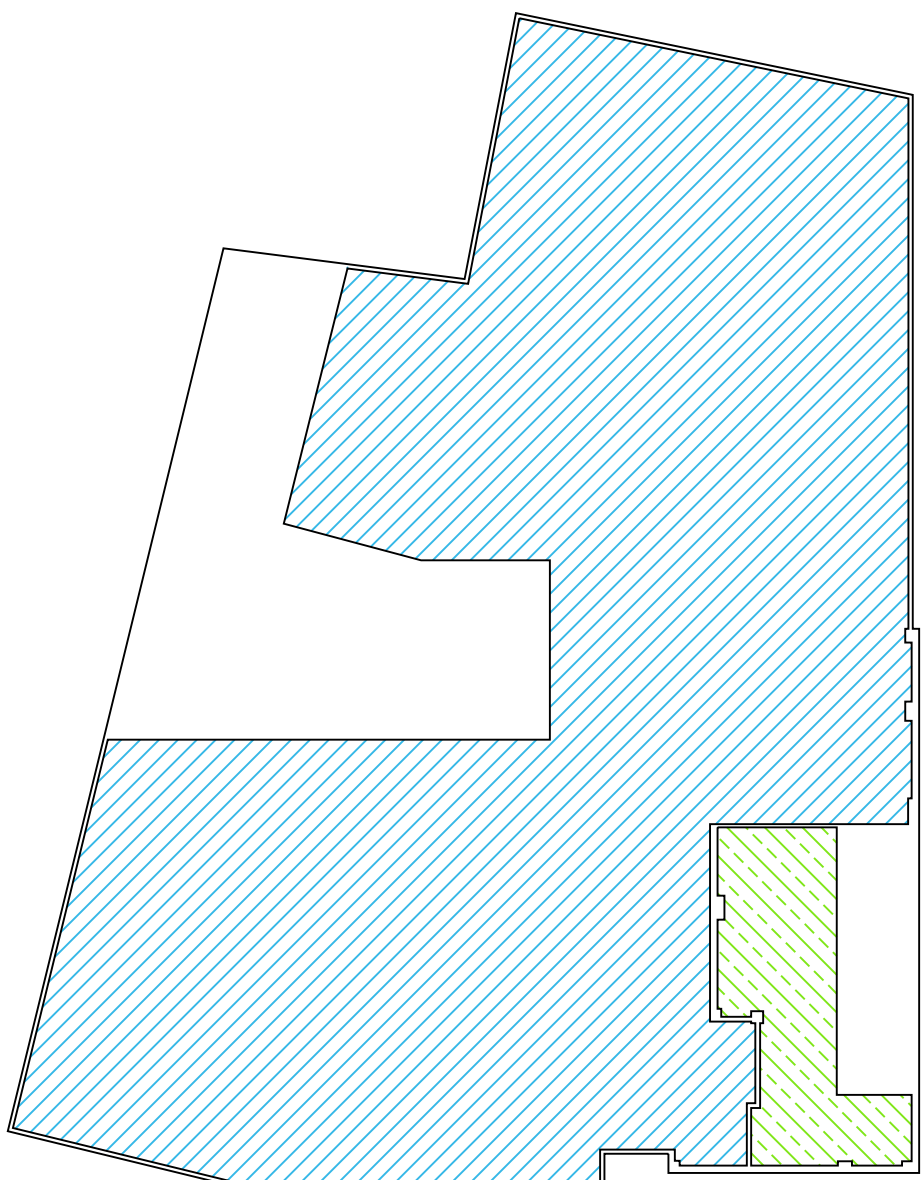
S-108



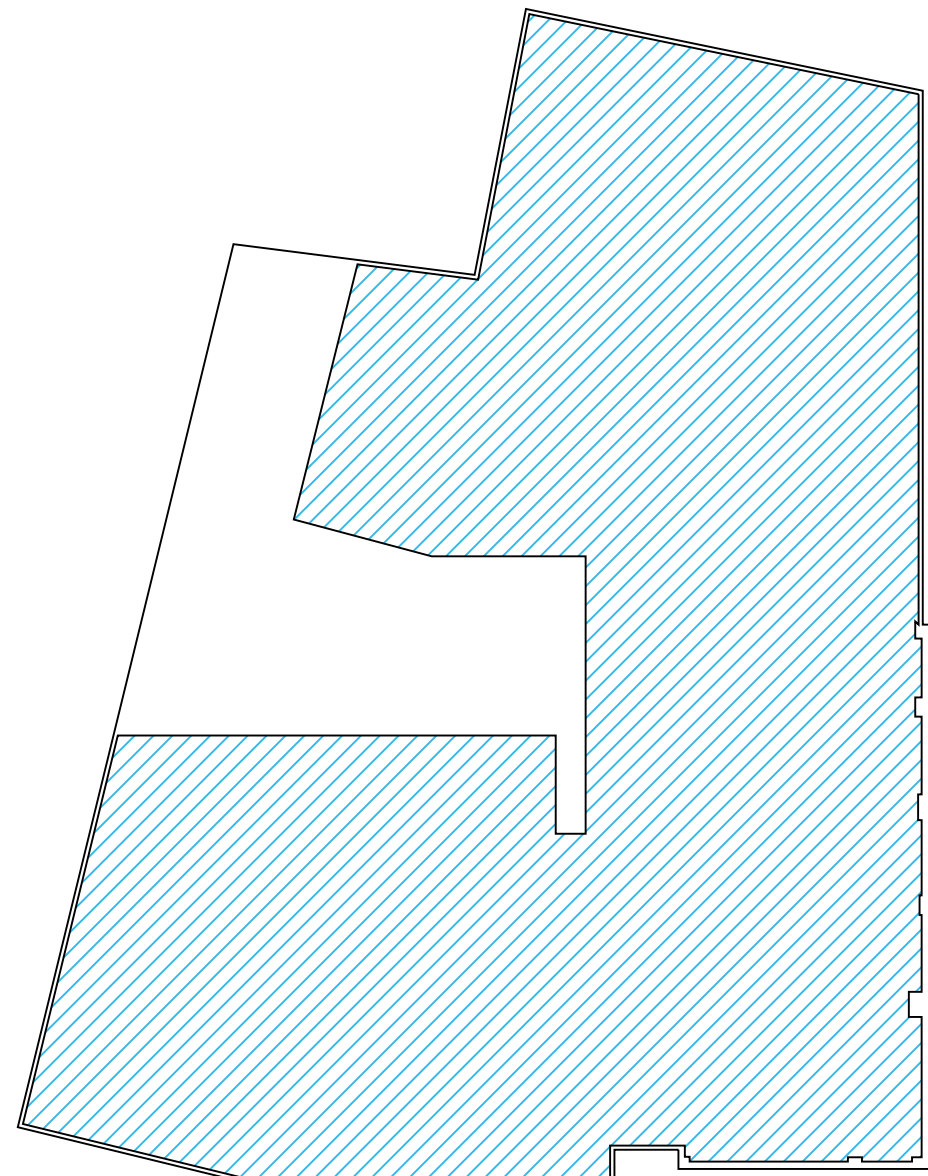
LOWER LEVEL FLOOR
KEY MAP
F.A.R. = 4,266 S.F.



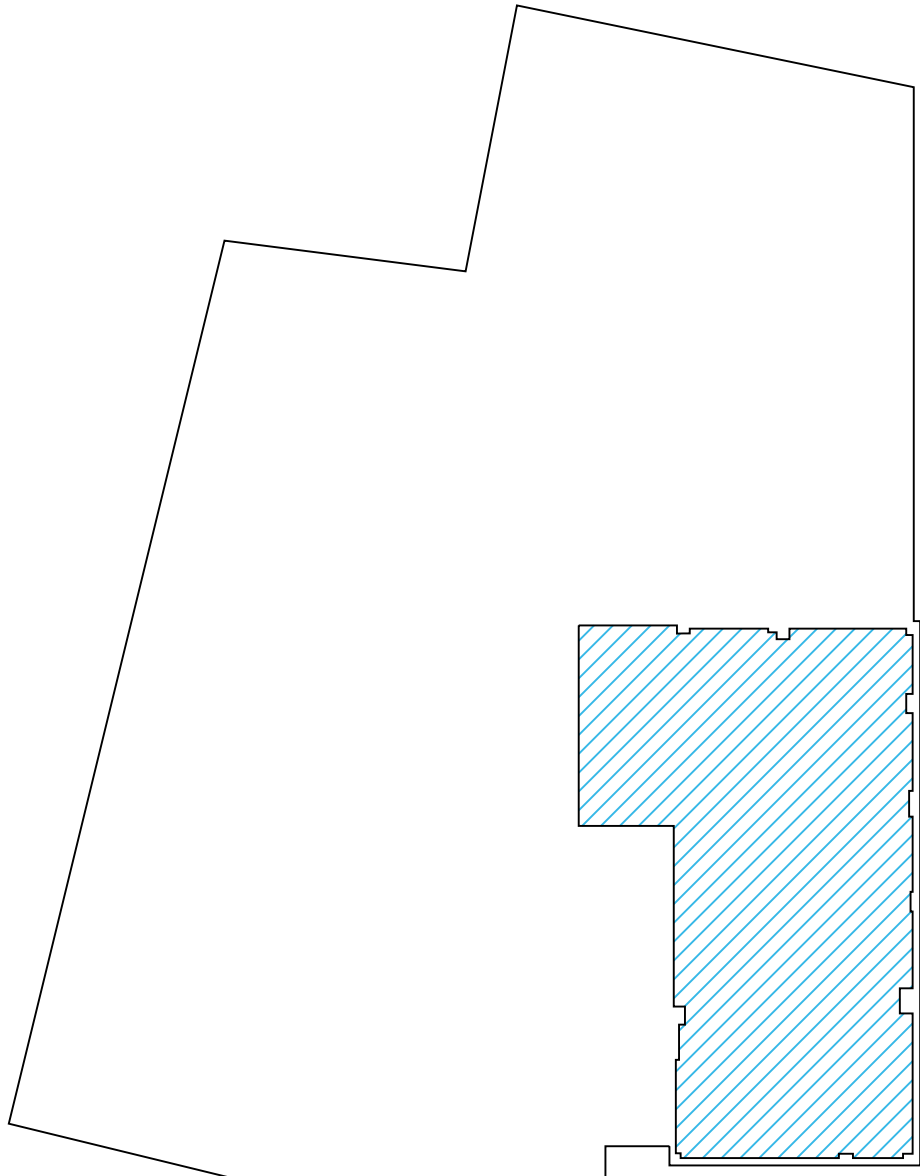
MAIN FLOOR
KEY MAP
TOTAL F.A.R. = 10,195 S.F.
RESIDENTIAL: 9,011 S.F.
RETAIL: 1,184 S.F.
RESIDENTIAL: 5 APARTMENTS
2 (1 BEDROOM)
3 (2 BEDROOMS)



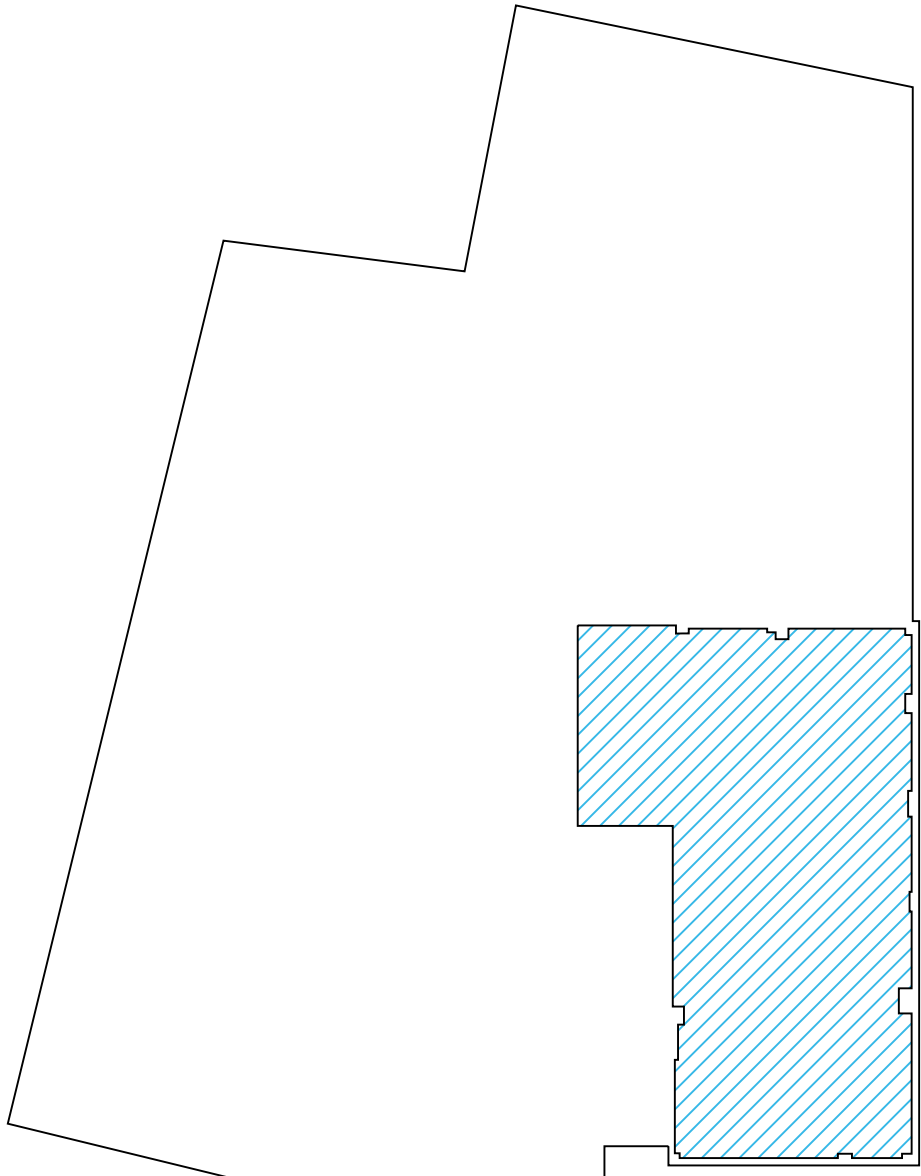
SECOND FLOOR
KEY MAP
TOTAL F.A.R. = 16,260 S.F.
RESIDENTIAL: 15,298 S.F.
RETAIL: 962 S.F.
RESIDENTIAL: 15 APARTMENTS
7 (1 BEDROOM)
4 DUPLEX (1 BEDROOM)
4 (2 BEDROOMS)



THIRD FLOOR
KEY MAP
TOTAL F.A.R. = 16,637 S.F.
(RESIDENTIAL ONLY)
RESIDENTIAL: 12 APARTMENTS
7 (1 BEDROOM)
3 (2 BEDROOMS)



FOURTH FLOOR
KEY MAP
TOTAL F.A.R. = 3,514 S.F.
(RESIDENTIAL ONLY)
RESIDENTIAL: 2 APARTMENTS
2 (2 BEDROOMS)

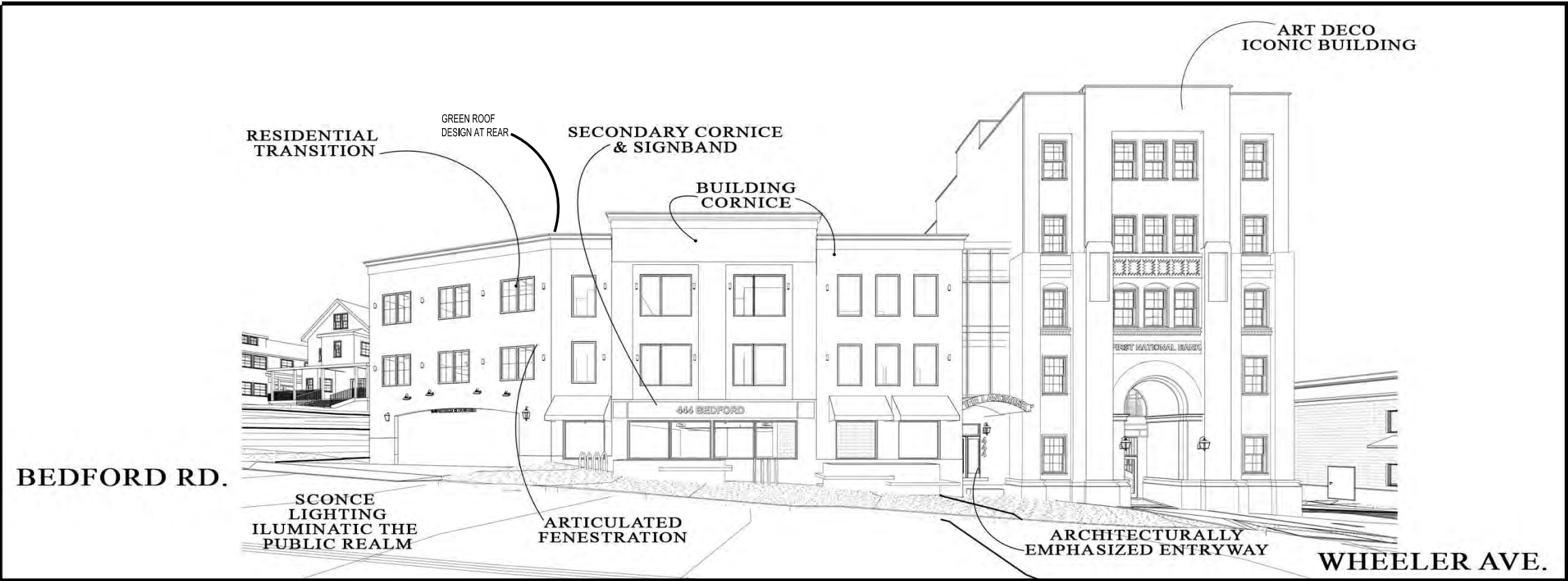


FIFTH FLOOR
KEY MAP
TOTAL F.A.R. = 3,514 S.F.
(RESIDENTIAL ONLY)
RESIDENTIAL: 2 APARTMENTS
2 (2 BEDROOMS)

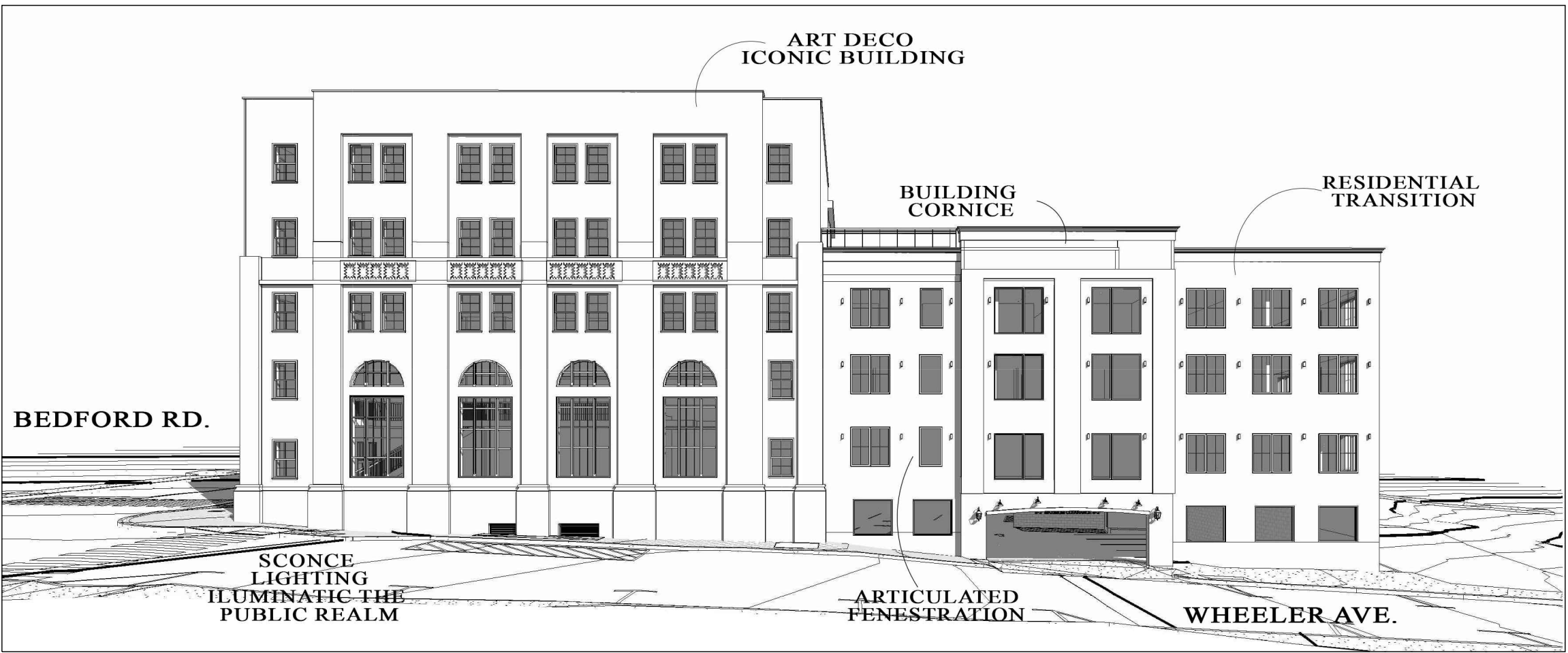
KEY MAPS 1"=30'-0"

PROPOSED NEW DEVELOPMENT				
FLOOR:	1 BEDROOM APARTMENT:	1 BEDROOMS APT. (DUPLEX):	2 BEDROOMS APARTMENT:	TOTAL
MAIN	2	0	3	5
SECOND	7	4	4	15
THIRD	7	-	5	12
FOURTH	0	0	2	2
FIFTH	0	0	2	2
TOTAL:	16	4	16	36

FLOOR AREA RATIO (F.A.R.)	
LOT SIZE: 22,331 X 2	= 44,662 S.F.
23,482 X 2.3 (15% F.A.R. BONUS)	= 51,361 S.F.
EXISTING 5 STORY = 3,368 S.F. X 5 =	15,940 S.F.
EXISTING 3 STORY = 2,428 S.F. X 3 =	7,284 S.F.
TOTAL EXISTING F.A.R.	= 24,124 S.F.
TOTAL PROPOSED NEW DEVELOPMENT F.A.R.	= 50,872 S.F.



PROPOSED
DEVELOPMENT / BEDFORD RD. ELEVATION N.T.S.



PROPOSED
DEVELOPMENT / WHEELER AVE. ELEVATION N.T.S.



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REV. DRAWINGS	4/9/2025	ARQ
PUBLIC HEARING	4/30/2025	ARQ

DRAWING TITLE:
KEY MAPS, TABLE AND
PROPOSED DEVELOPMENT
ELEVATIONS

PROJECT:
THE LANDMARK AT 444

PROJECT ADDRESS:
444 BEDFORD RD
PLEASANTVILLE
NY 10570

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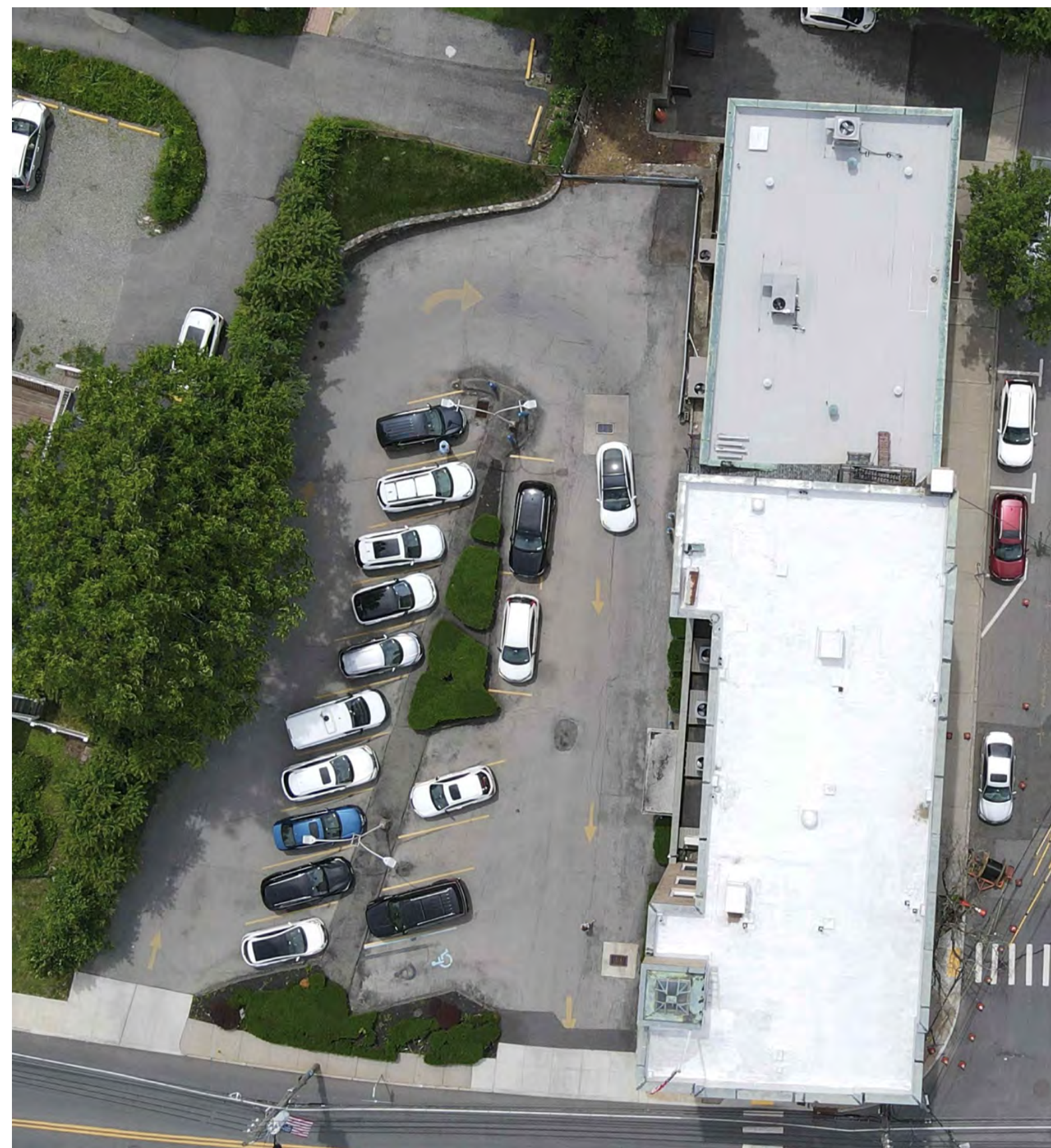
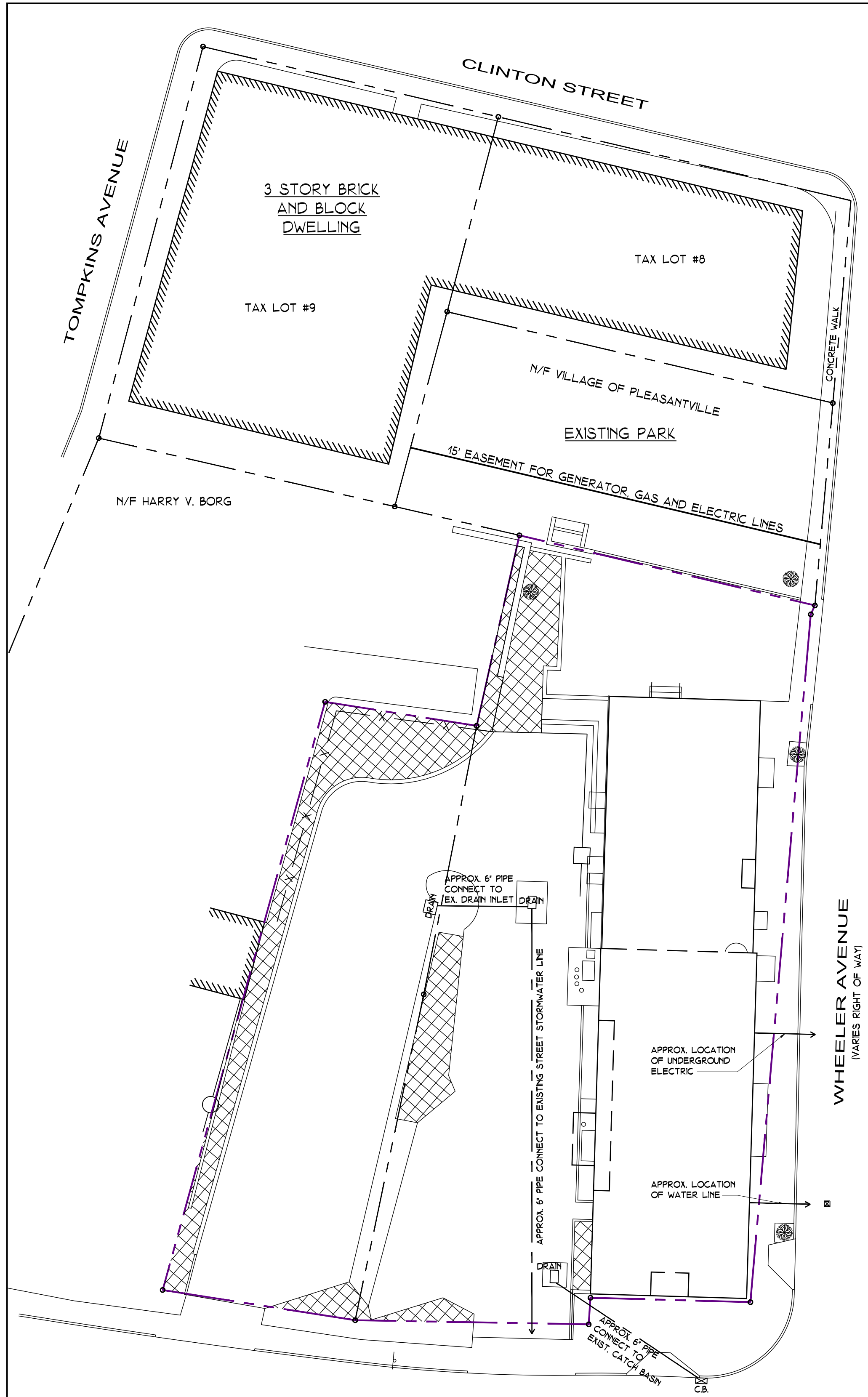
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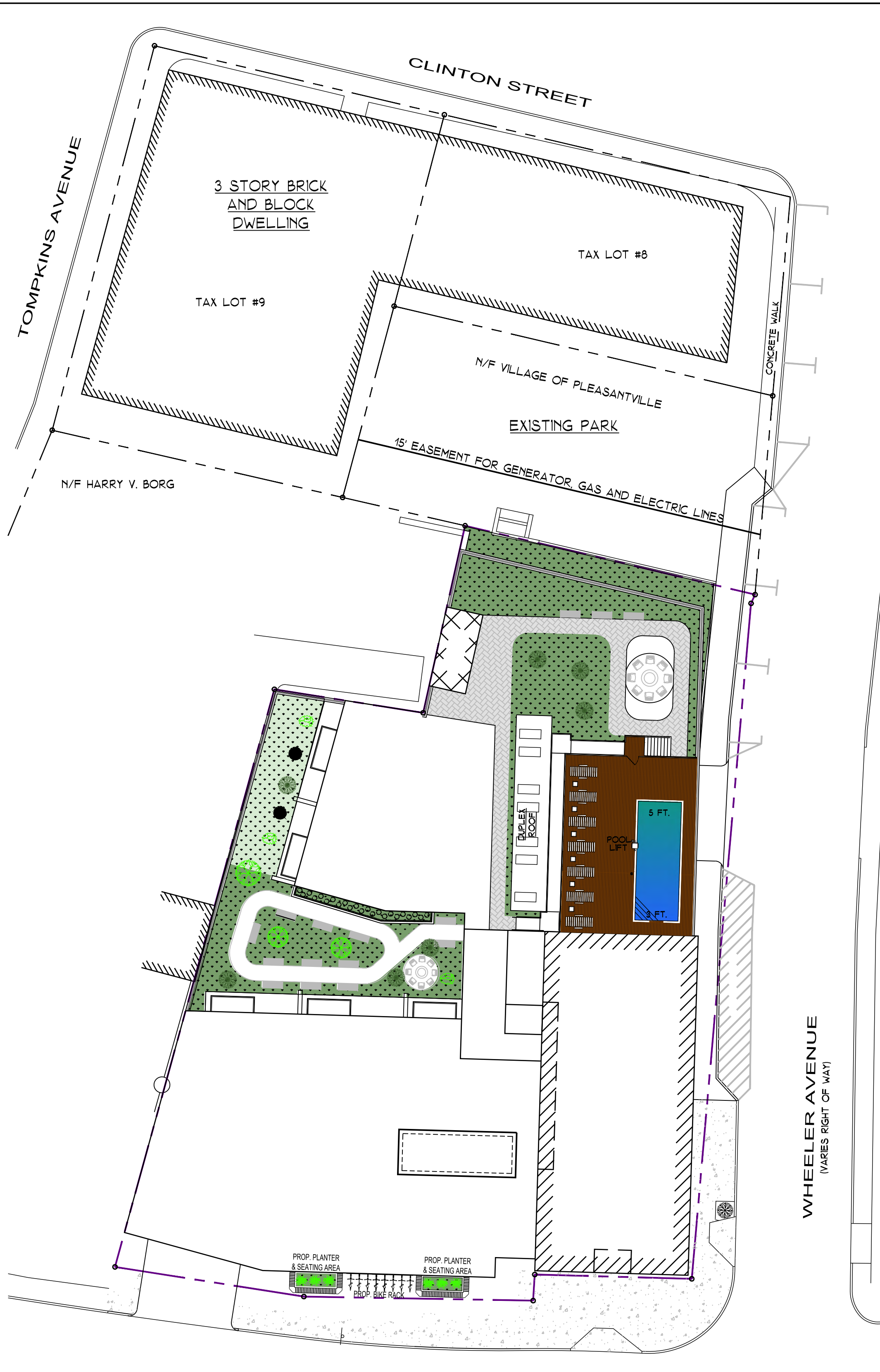
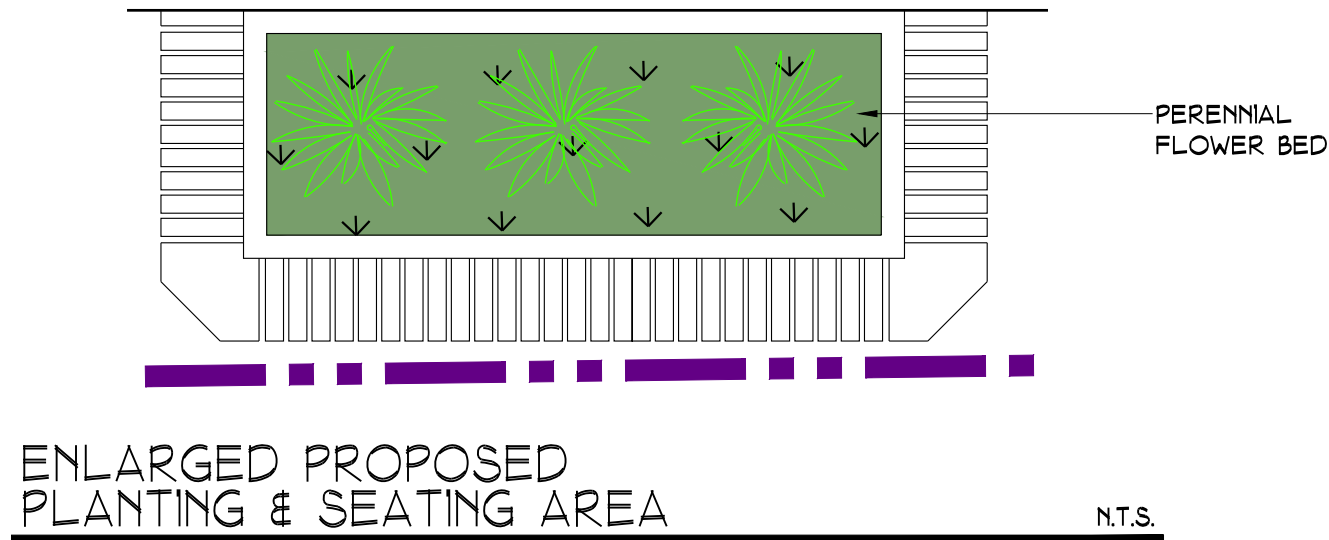


STORMWATER SITE MANAGEMENT TABULATION LEGEND

[Cross-hatched box]	EXISTING PERVIOUS AREA	= 2,510 SQ.FT.
[Green dotted box]	PROPOSED PERVIOUS AREA	= 1,822 SQ.FT.
[Green dotted box]	PROPOSED PERVIOUS AREA GREEN ROOF DESIGN	= 500 SQ.FT.

NOTE:
1. PROVIDE 500 S.F. OF EXTENSIVE GREEN ROOF PER NYS STORM WATER DESIGN MANUAL.
2. THE INTENSIVE GREEN ROOF PROPOSED OVER THE PARKING AREA WILL REPLICATE AND/OR IMPROVE THE CURRENT RUNOFF VALUE AT THE SITE

PROPOSED PLANTING LEGEND				
SYM.	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE
[RG symbol]	RG	SULLIVANT'S SEDGE	CAREX SULLIVANTI BOOTT *	1 GAL.
[LD symbol]	LD	NINEBARK	PHYSOCARPUS OPULIFOLIUS *	2' HGT
[RA symbol]	RA	FRAGRANT SUMAC	RHUS AROMATICA *	2' HGT
[BX symbol]	BX	INKBERRY	ILEX GLABRA *	2 GAL.
* RECOMMENDED WESTCHESTER COUNTY NATIVE PLANTS BY NEW YORK FLORA ATLAS				



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REV. DRAWINGS	4/9/2025	ARQ
PUBLIC HEARING	4/30/2025	ARQ

DRAWING TITLE:
EXIST. & PROPOSED PERVIOUS AREA AND LANDSCAPING PLANS

PROJECT:
THE LANDMARK AT 444

PROJECT ADDRESS:
444 BEDFORD RD
PLEASANTVILLE
NY 10570

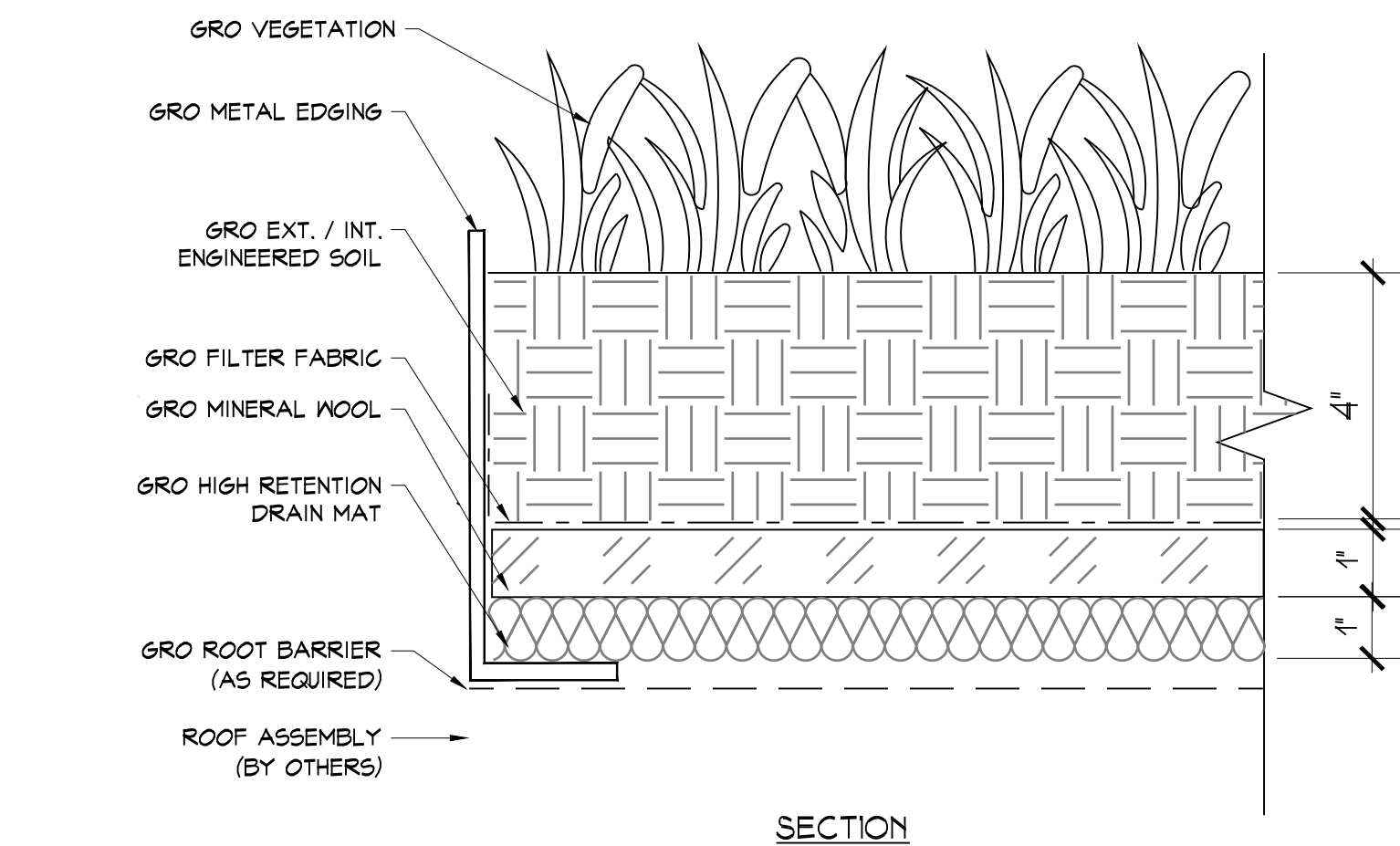
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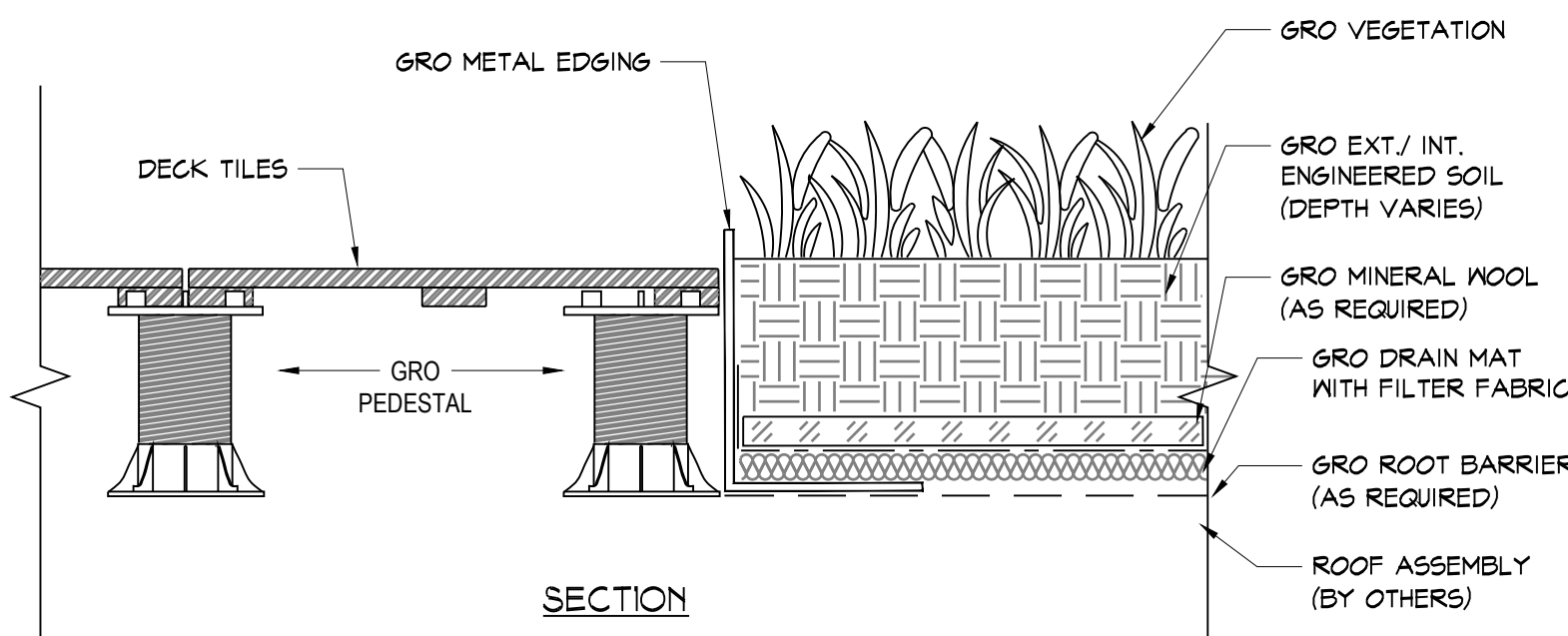
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 4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
 5. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT WWW.GREENRISETECH.COM.

DETAIL GRO WATERHOG XL LAYERED GREEN ROOF SYSTEM

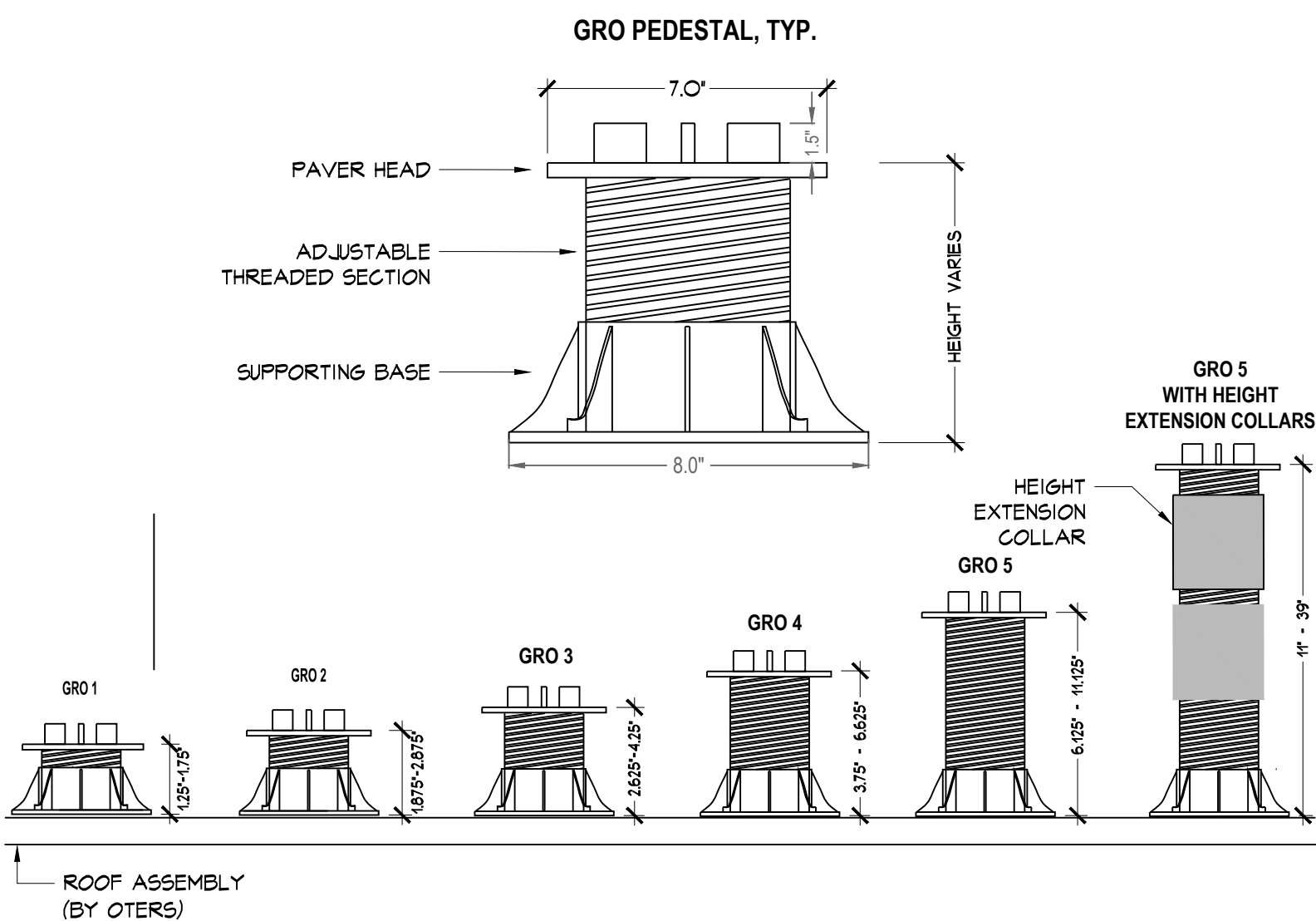
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GRO LAYERED GREEN ROOF SYSTEM DETAIL ADJACENT TO GRO DECK TILES WITH GRO PEDESTALS

GREEN RISE COPYRIGHT



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DETAIL GRO FIXED HEAD PEDESTALS

GREEN RISE COPYRIGHT



GRT WATERHOG XL LAYERED SYSTEM SPECIFICATIONS

GRT WATERHOG XL LAYERED SYSTEM

The GRT WaterHog XL Layered System is a premium, high-performance system for stormwater management. This system is the standard WaterHog system with an additional 1" layer of premium rock wool, which increases the retention capacity to over 50% above the Classic system!

DEPTH	6"
SOIL	4"
MINERAL WOOL	1"
DRAIN MAT	1"
SATURATED WEIGHT	42 psf
WATER RETENTION	2.4 gal/sf
IRRIGATION	Site Specific

*soil depths can be customized



www.greenrisetech.com

info@greenrisetech.com



GRT 2" STORMWATER DETENTION MODULES SPECIFICATIONS

GRT 2" STORMWATER DETENTION MODULES

GRT 2" Stormwater Detention Modules are a lightweight, effective stormwater storage solution to maximize retention and/or detention. Each detention module is 2" thick, can be stacked up to 10' high, and easily configured for efficient use of space. Designed as an open shell, these modules encourage infiltration with 90% internal and surface void area available for high capacity stormwater capture. They are lightweight, making them quick to install, but also strong enough to accommodate heavy loads with a minimum of 6" of cover. Typically installed with GRT Filter Fabric and GRT Root Barrier.



MATERIAL	100% Recycled Polypropylene
MODULE DIMENSIONS & WEIGHT	20" x 24" x 2" (nominal); 4 lbs. 19.68" x 23.62" x 1.97" (actual); 4 lbs.
AREA VOLUME & WATER CAPACITY	0.53 cf & 0.48 cf
MODULE STACKING	Maximum 10' = 60 layers
VOID AREA	90% volume available for water storage
SURFACE AREA VOID	90% of exterior available for infiltration
COMPRESSIVE STRENGTH	240.2 psi (ASTM D 2412 / ASTM F2318)
UNIT WEIGHT	7.55 lbs/cf FS:3 (ASTM 2322)
SERVICE TEMPERATURE	-14°F to 167°F safe temperature range for use
MIN. & MAX. COVER DEPTH	6" to 16.7"

www.greenrisetech.com

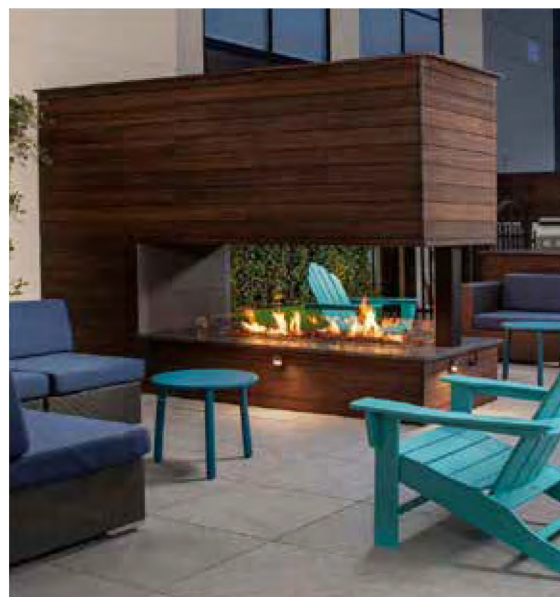
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GRT PORCELAIN PAVERS SPECIFICATIONS

GRT PORCELAIN PAVERS

GRT Porcelain Pavers can be used to create patio, terrace, and gathering spaces or to add walking paths to rooftop areas. Made for outdoor use, these pavers are slip, chemical, and fade resistant, and a no-maintenance product. When installed on GRT Pedestals, they offer a practical way to hide and protect roof penetrations, pipes, and uneven surfaces. GRT Porcelain Pavers are available in a variety of aesthetic colors, textures, and sizes, and are a MADE IN THE USA product.



MATERIAL	Porcelain
DIMENSIONS	24" x 24" x 3/4" (nominal); 23 1/2" x 23 1/2" x 3/4" (actual) *Other sizes, including mixed, available per request
WEIGHT	25 lbs.
COLORS	Various colors and styles available
FREEZE / THAW	Resistant (ASTM C1026)
WATER ABSORPTION	≤ 0.5% (ASTM C)
BREAKING STRENGTH	≥ 250 lbf (ASTM C648)
CHEMICAL RESISTANCE	Unaffected (ASTM C650)
ACCOMPANYING GRT PRODUCTS	GRT PEDESTALS



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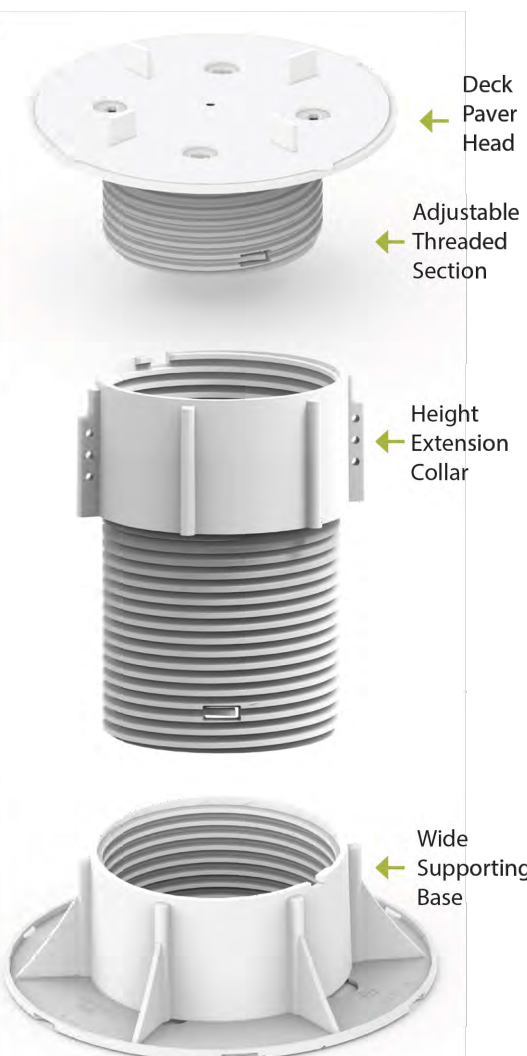


GRT FIXED HEAD PEDESTALS SPECIFICATIONS

GRT FIXED HEAD PEDESTALS

GRT Pedestals work perfectly with all deck pavers; including wood, porcelain, and concrete. They provide rigid support for pavers and can hold thousands of pounds each. The pedestals help conceal roof extrusions, like anchor points and pipes. GRT Pedestals allow our fastening kit to secure wood and porcelain pavers down to mitigate movement and wind uplift.

MATERIAL	Polypropylene and rubber (head top)
HEIGHT	1" - 39"
BASE DIAMETER & THICKNESS	8" x 1/16"
HEAD DIAMETER	7"
BASE CONTACT SURFACE AREA	49 in²
TAB HEIGHT & THICKNESS	1/2" x 5/32"
COMPRESSION STRENGTH	> 3,000 PSF
FIRE RATING	Class E (UNI EN 13501-1: 2009)
CHARACTERISTICS	Adjustable height Security lock to prevent unlocking Recyclable material
ACCOMPANYING GRT PRODUCTS	GRT Deck Tiles GRT Structural Grate GRT Concrete & 3 Pavers GRT Fastening Kits



Deck Paver Head: Heavy duty fixed head; Designed specifically to hold and align all deck pavers and tiles.

Adjustable Threaded Section: Allows you to adjust the height in minute increments, within the given range.

Height Extension Collar: A simple design with a single 'click' motion to attach these extension collars build up the pedestals to a maximum height of 39".

Wide Supporting Base: Pedestals are loosely laid and do not require fixing to the floor. Large diameter spreads loads and ensures stability.

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JORGE B. HERNANDEZ R.A. A.I.A.
LICENSE NUMBER: 030424-1
CERTIFICATE NUMBER: 2323601

REVISIONS	DATE	BY
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REV. DRAWINGS	2/26/2025	ARQ
REV. DRAWINGS	4/9/2025	ARQ
PUBLIC HEARING	4/30/2025	ARQ

DRAWING TITLE:

GREEN ROOF DETAILS &
SPECIFICATION SHEETS

PROJECT:

THE LANDMARK AT 444

PROJECT ADDRESS:

444 BEDFORD RD
PLEASANTVILLE
NY 10570

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3/12/2021

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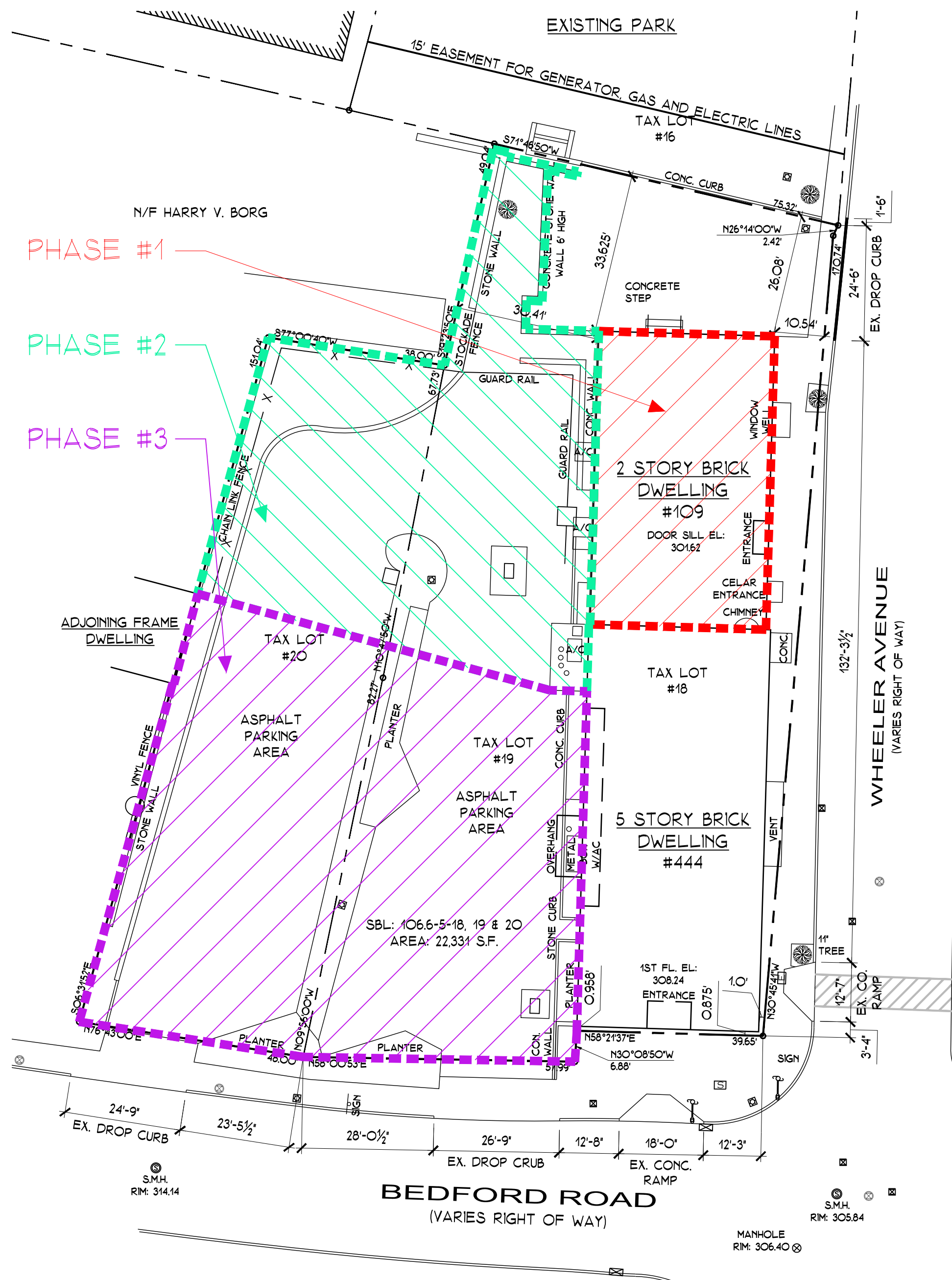
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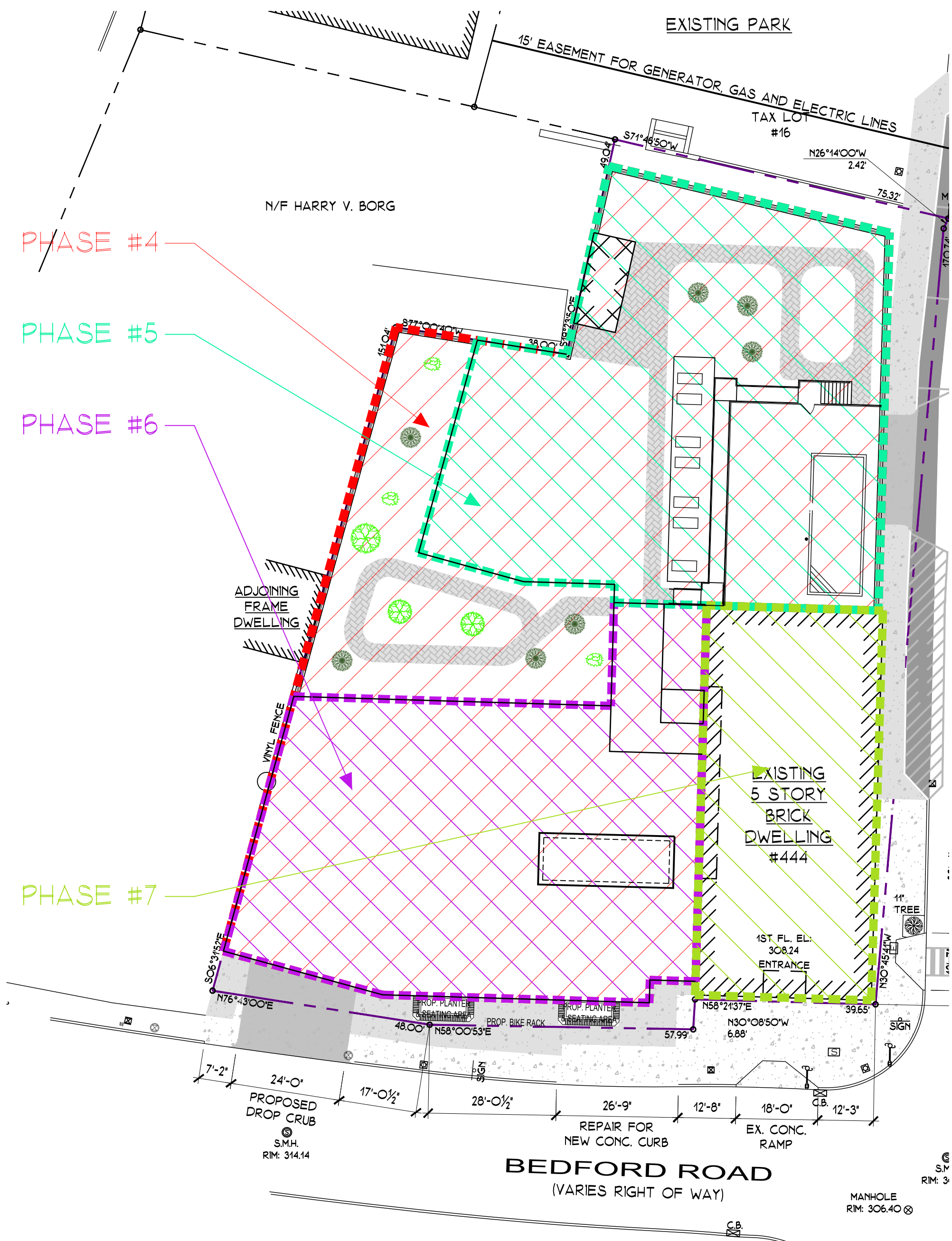
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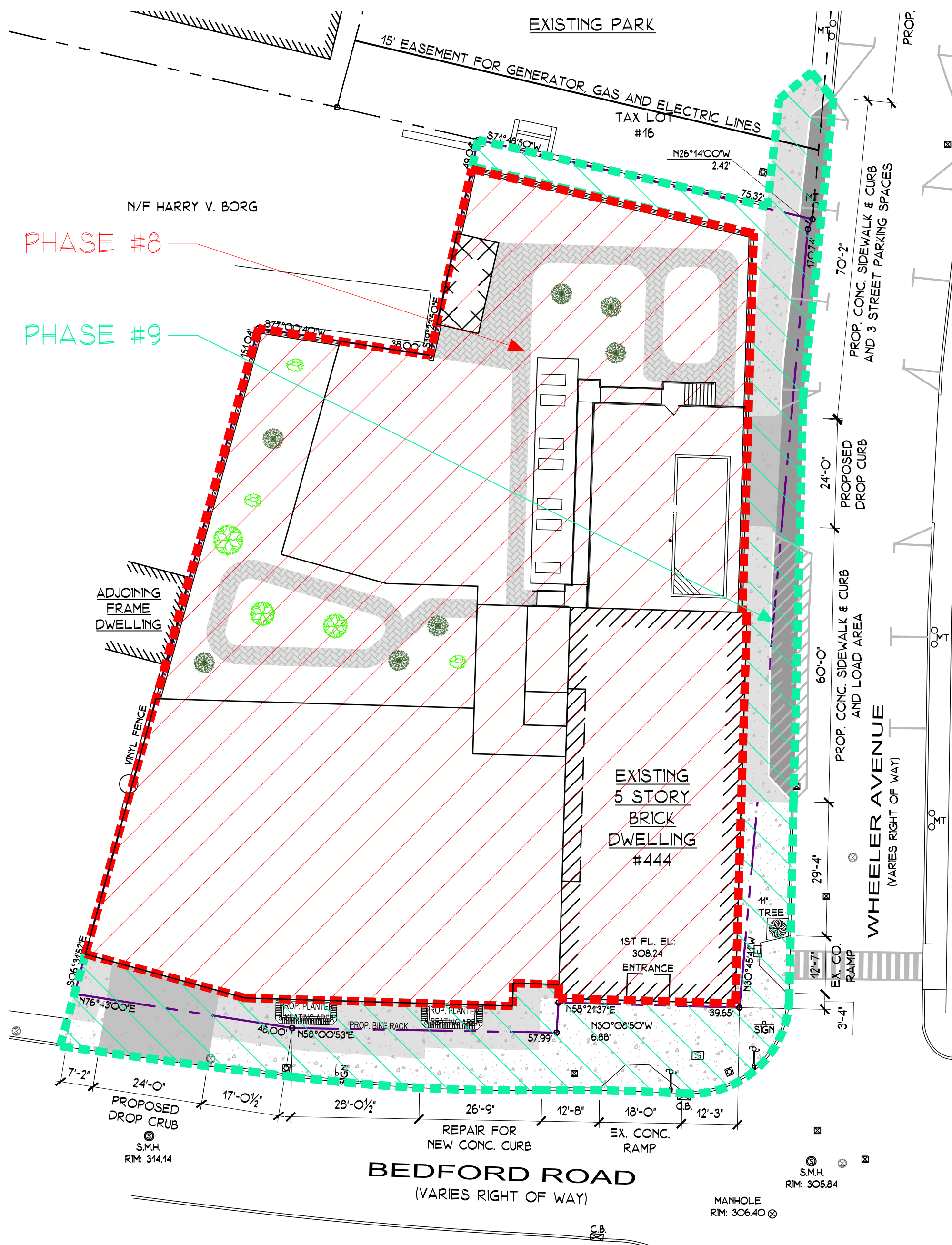
S-111



PHASE PLAN @ EXISTING CONDITIONS 1" = 20'-0"



PHASE PLAN @ PROPOSED CONDITIONS 1" = 20'-0"



PHASE PLAN @ PROPOSED CONDITIONS 1" = 20'-0"

CONSTRUCTION SEQUENCE - 444 BEDFORD ROAD		MONTHS																							
PHASE	STAGE	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
	I DEMOLITION EXISTING BUILDING (#109) AND EXCAVATION																								
	II EXCAVATION AND ROCK REMOVAL																								
	III EXCAVATION AND ROCK REMOVAL																								
	IV PARKING AREA (WHEELER AND BEDFORD WING)																								
	V BUILDING (WHEELER WING)																								
	VI BUILDING (BEDFORD WING)																								
	VII RENOVATION AT EXISTING BUILDING (#444)																								
	VIII FINISHES																								
	IX RENOVATION AT STREET CURB, SIDEWALK AND SITE WORK																								

NOTE:
ALL INFORMATION ON THIS DRAWING IS FOR
ILLUSTRATION OF JOB SEQUENCE (PHASING ONLY)



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CERTIFICATE NUMBER: 2323601

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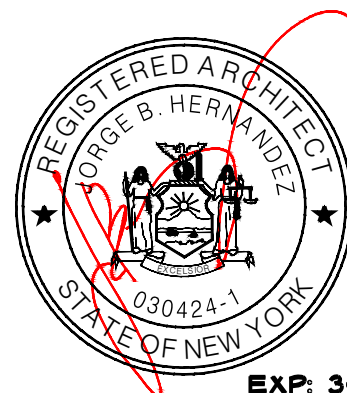
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THE LANDMARK AT 444

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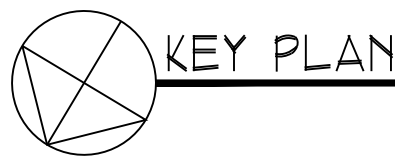
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REV. DRAWINGS	4/9/2025	AR
PUBLIC HEARING	4/30/2025	AR

DRAWING TITLE:

KEY PLAN & 3D VIEWS TO EQUIPMENT SCREENING

PROJECT:

THE LANDMARK AT 444

PROJECT ADDRESS:

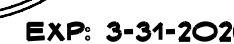
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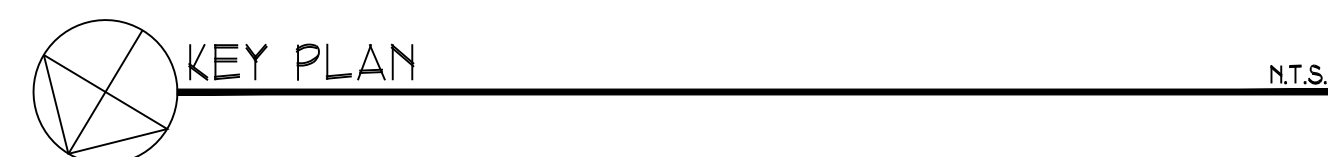
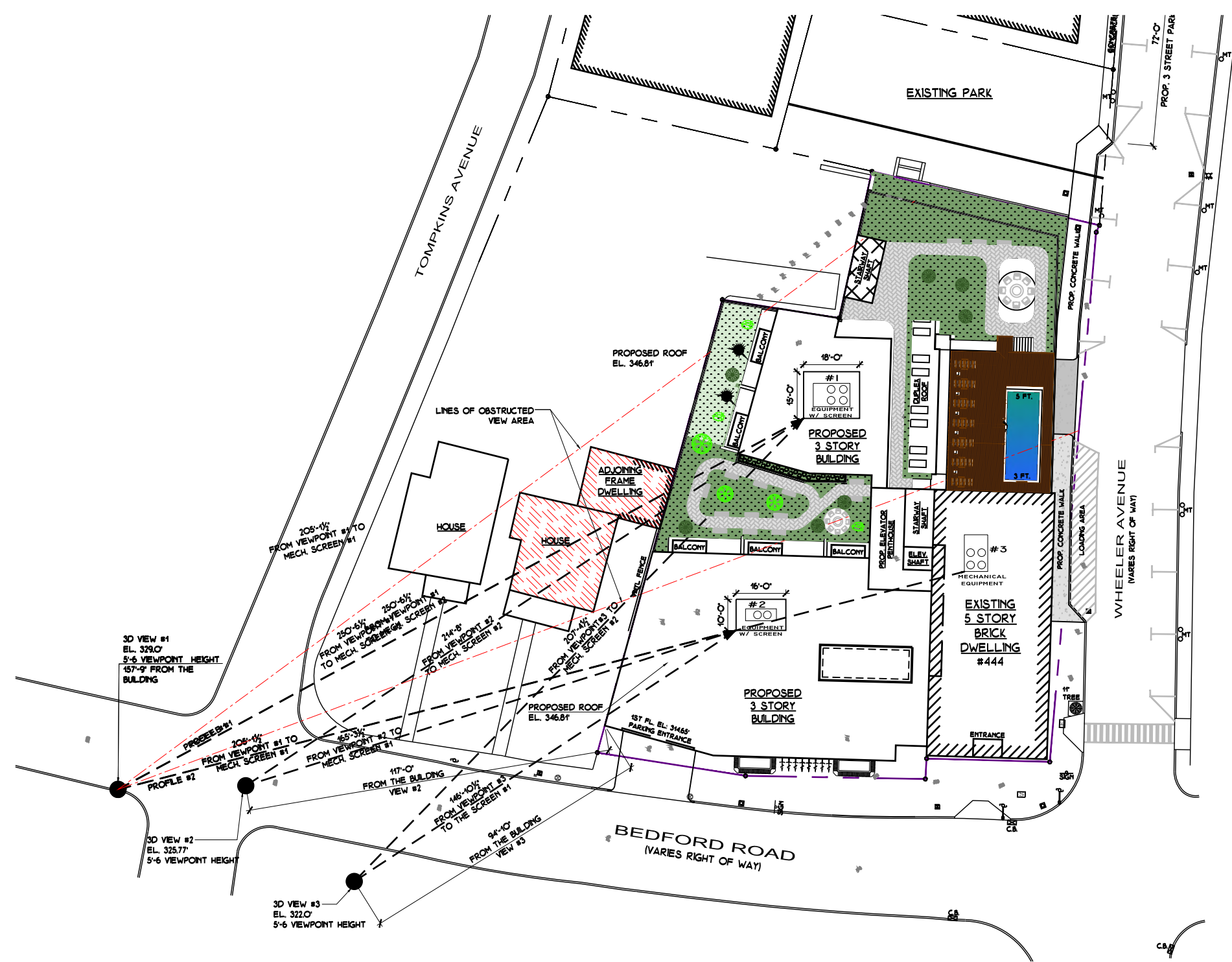
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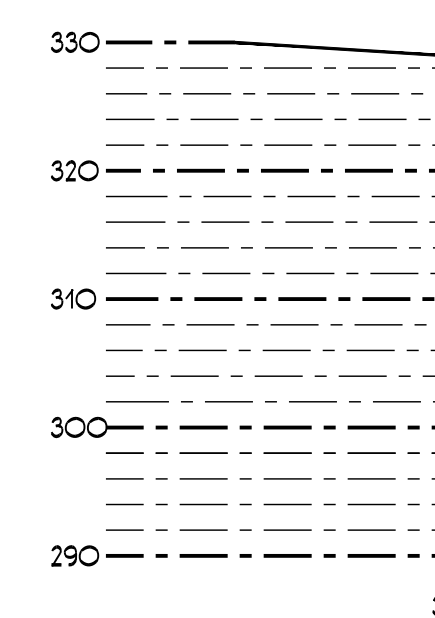
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3D VIEW #1
EL. 329.0'
5'-6' VIEWPOINT HEIGHT



NOTE:
NW VIEW SHAPE OF MECHANICAL EQUIPMENT FROM
HIGHEST POINT AT BEDFORD ROAD

LINES REPRESENTING THE
EYES VIEW PROJECTION
ADJACENT HOUSE
OBSTRUCTING MECHANICAL
SCREEN (#1) VIEW

PROPOSED ROOF
EL. 346.12'
PARAPET

1'-1" VISIBLE

MECHANICAL
SCREEN #1

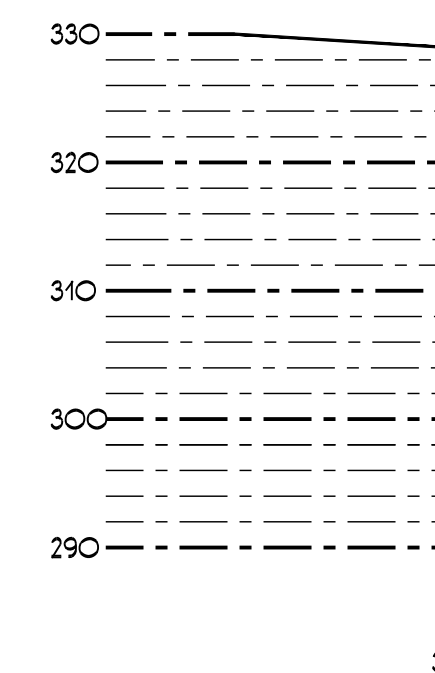
5'-0" SCREEN HEIGHT

EXISTING & PROPOSED
BUILDING

PROFILE #1

NT.S.

3D VIEW #1
EL. 329.0'
5'-6' VIEWPOINT HEIGHT



NOTE:
NW VIEW SHAPE OF MECHANICAL EQUIPMENT FROM
HIGHEST POINT AT BEDFORD ROAD

LINES REPRESENTING THE
EYES VIEW PROJECTION

PROPOSED ROOF
EL. 342.86'
PARAPET

MECHANICAL
SCREEN #2

5'-0" SCREEN HEIGHT

EXISTING ROOF
EL. 367.65'
PARAPET

4'-0"

MACHANICAL
UNIT

EXISTING & PROPOSED
BUILDING

PROFILE #2

NT.S.



SIMILAR VIEWPOINT
GOOGLE STREET VIEW

NT.S.



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