



## Village of Pleasantville

**Building Department**

80 Wheeler Avenue / Pleasantville, New York  
10570  
(914) 769-1926 Fax: (914) 769-5519

### **PLEASANTVILLE PLANNING COMMISSION MEETING**

#### **To: Planning Commission Members:**

There will be a meeting of the Pleasantville Planning Commission on Wednesday, June 11, 2025, at 8:00 PM, at Village Hall, 2nd Floor 80 Wheeler Avenue, Pleasantville, New York.

### **AGENDA**

1. **Meeting Access**

Topic: Planning / ARB

Time: Jun 11, 2025 08:00 PM Eastern Time (US and Canada)

Join Zoom Meeting

<https://us06web.zoom.us/j/86006408476?pwd=G3hl1H6bbAvu3ObrWF7WFdXTaS Yoxv.1>

Meeting ID: 860 0640 8476

Passcode: 714716

One tap mobile

+16465588656,,86006408476# US (New York)

2. **APPLICATIONS SPECIFIC TO THE BOARD OF ARCHITECTURAL REVIEW**

3. **409 Manville Road**

**New Hope Community - 409 Manville Road** - Proposed business signage for new tenant  
- *New application*

4. **332 Manville Road**

**Farrow's - 332 Manville Road** - Proposed facade and signage updates to existing business  
- *New application*

5. **APPLICATIONS INVOLVING PLANNING & ARB**

6. **444 Bedford Road**

**444 Bedford Road - The Landmark at 444** - Proposed mixed use development consisting of 36 apartment units and retail shop - *Cont Public Hearing*

7. **Minutes of Meeting**

Meeting of May 14, 2025

Very truly yours

Robert Hughes  
Building Inspector





### **Meeting Access**

Topic: Planning / ARB

Time: Jun 11, 2025 08:00 PM Eastern Time (US and Canada)

Join Zoom Meeting

<https://us06web.zoom.us/j/86006408476?pwd=G3hl1H6bbAvu3ObrWF7WFdXTaS Yoxv.1>

Meeting ID: 860 0640 8476

Passcode: 714716

One tap mobile

+16465588656,,86006408476# US (New York)



## **APPLICATIONS SPECIFIC TO THE BOARD OF ARCHITECTURAL REVIEW**

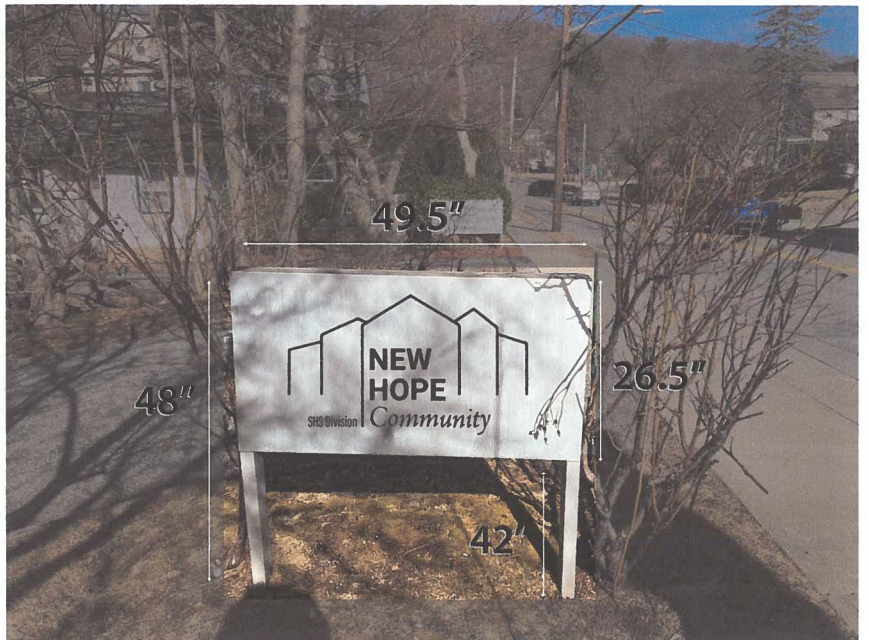


**409 Manville Road**

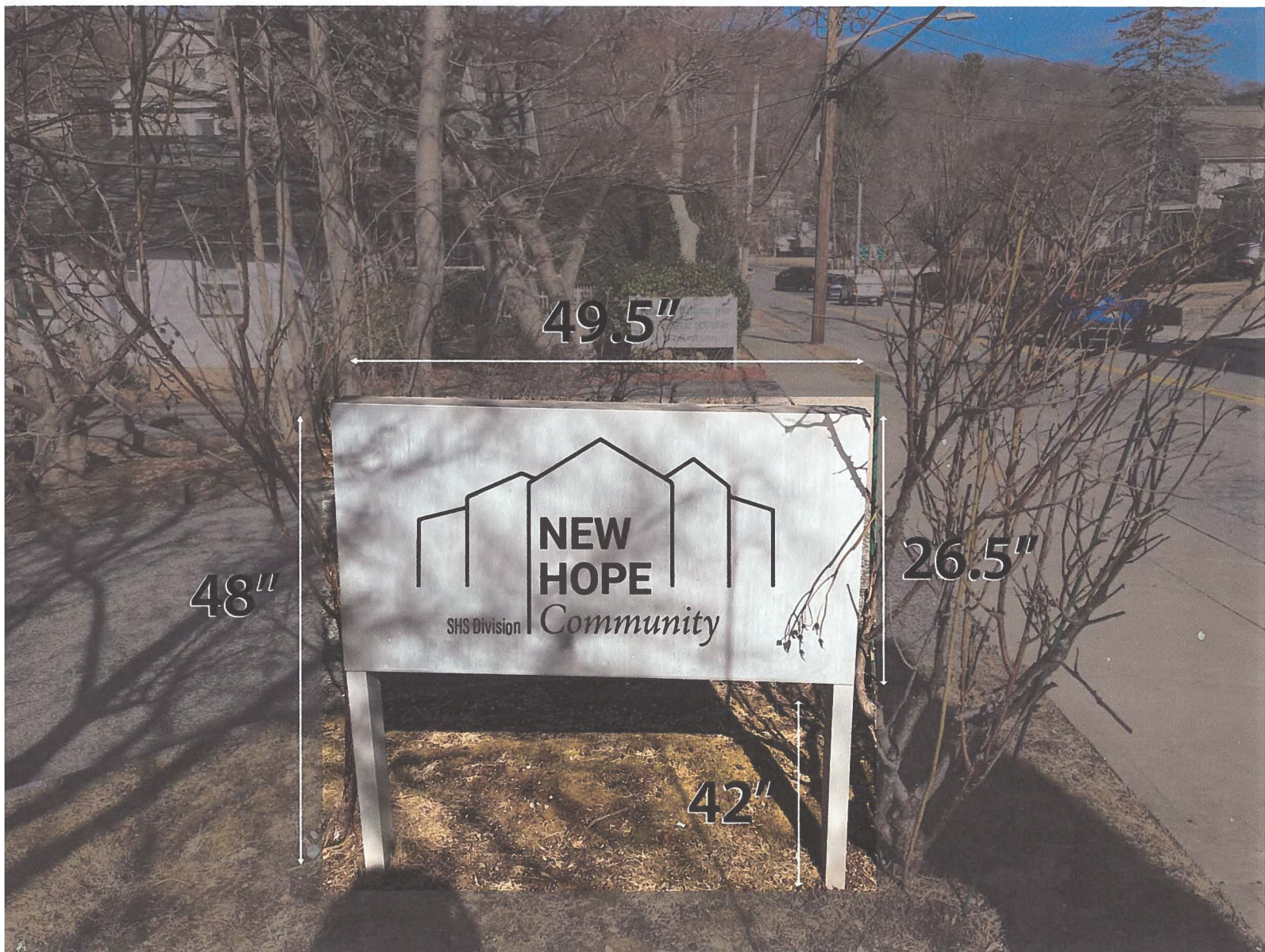
**New Hope Community - 409 Manville Road** - Proposed business signage for new tenant - *New application*

**ATTACHMENTS:**

Description	Type	Upload Date
Proposed new signage	Backup Material	6/6/2025
ARB Petition	Backup Material	6/6/2025
Sign permit app	Backup Material	6/6/2025











409

48" x 26.5"





## VILLAGE OF PLEASANTVILLE \* BUILDING DEPARTMENT

80 WHEELER AVENUE \* PLEASANTVILLE, NY 10570

PHONE (914) 769-1926 \* FAX (914) 769-5519

[WWW.PLEASANTVILLE-NY.GOV](http://WWW.PLEASANTVILLE-NY.GOV)

## PETITION TO ARCHITECTURAL REVIEW BOARD

**NOTE:** ONE (1) COPY OF ALL PERTINENT INFORMATION MUST BE SUBMITTED WITH PETITION A MINIMUM TEN (10) DAYS IN ADVANCE OF SCHEDULED ARB MEETING DATE

**\* SEE ATTACHED SUBMISSION REQUIREMENTS FOR ADDITIONAL INFORMATION \***

**SECTION I** – PROJECT ADDRESS: 409 manville RD Pleasantville NY

**SECTION II** – CONTACT INFORMATION: (PLEASE PRINT CLEARLY. ALL INFORMATION MUST BE CURRENT)

APPLICANT: New Hope Community / S+H Division

ADDRESS: 409 manville RD. Pleasantville NY. 10570

PHONE: 914 741 6300 CELL: \_\_\_\_\_ EMAIL: mmellino@selecthumansevice.org

TENANT: New Hope Community / S+H Division

ADDRESS: 409 manville RD. Pleasantville NY. 10570

PHONE: 914 741 6306 CELL: \_\_\_\_\_ EMAIL: mmellino@selecthumansevice.org

**SECTION III** – TYPE OF APPLICATION ☐ BUILDING REVIEW ☐ SIGN REVIEW

**SUBMITTED INFORMATION** (CHECK ALL THAT APPLY)

- ☐ FLOOR PLANS ☐ SITE PLAN ☐ EXISTING RENDERING / PHOTOS ☐ SCALED DETAILED ELEVATIONS  
☐ PROPOSED RENDERINGS / PHOTOS ☐ MATERIALS ☐ SAMPLES ☐ COLOR SWATCHES ☐ PLANTINGS  
☐ LIGHTING FIXTURES ☐ OTHER PERTINENT INFORMATION

**SECTION IV** – LANDLORD / BUILDING OWNER'S CONSENT

**NOTE:** WRITTEN CONSENT REQUIRED; APPLICATION WILL NOT BE ACCEPTED WITHOUT IT, NO EXCEPTIONS

OWNER'S NAME: \_\_\_\_\_

OWNER'S SIGNATURE: \_\_\_\_\_

**SECTION V** – PERMIT FEES: \$75 APPLICATION FEE

# VILLAGE OF PLEASANTVILLE \* BUILDING DEPARTMENT

## SECTION VI — CONTACT INFORMATION: (PLEASE PRINT CLEARLY. ALL INFORMATION MUST BE CURRENT)

ARCHITECT/ENG: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE: \_\_\_\_\_ CELL: \_\_\_\_\_ EMAIL: \_\_\_\_\_

DESIGNER: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE: \_\_\_\_\_ CELL: \_\_\_\_\_ EMAIL: \_\_\_\_\_

CONTRACTOR: EKS Designs Inc. / Sign on Demand

ADDRESS: 450 West Lane Dr. Vail Haller NY. 10595

PHONE: 9144340947 CELL: 9144247309 EMAIL: eric @ EKS Design. Biz

ELECTRICIAN: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE: \_\_\_\_\_ CELL: \_\_\_\_\_ EMAIL: \_\_\_\_\_

## SECTION VII — APPLICANT CERTIFICATION

I HEREBY CERTIFY THAT I HAVE READ THE INSTRUCTIONS & EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE & CORRECT. ALL PROVISIONS OF LAWS & ORDINANCES COVERING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR LAND USE OR THE PERFORMANCE OF CONSTRUCTION.

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

### OFFICE USE ONLY – DO NOT WRITE BELOW THIS LINE

ZONE: R02. SECTION: 106.5 BLOCK: 2 LOT: 66

#### ADDITIONAL BOARD / DEPT. APPROVALS REQUIRED:

☐ ZONING ☐ PLANNING ☐ DPW / ENGINEERING ☐ WCDOH ☐ WETLANDS ☐ FLOOD DEV

#### BUILDING DEPARTMENT CHECKLIST:

☒ APP FEE 75. ☒ REQUIRED DOCUMENTS ☐ SIX (6) SETS OF DOCS & PERTINENT INFO

☒ CHECK #: 7107 ☐ CASH

NAME ON CHECK: EKS Designs Inc DBA - Sign on Demand

BLDG. INSPECTOR SIGN OFF: RA DATE: 6/5/2025

#### ARB MEETING RESULTS:

☐ APPROVED AS SUBMITTED ☐ APPROVED AS NOTED ☐ DENIED

COMMENTS: \_\_\_\_\_

#### MEMBERS IN ATTENDANCE: (CHECK BOX & NOTE INITIALS)

☐ CHAIRMAN \_\_\_\_\_ ☐ MEMBER # 1 \_\_\_\_\_ ☐ MEMBER # 2 \_\_\_\_\_ ☐ MEMBER # 3 \_\_\_\_\_ ☐ MEMBER # 4 \_\_\_\_\_





## VILLAGE OF PLEASANTVILLE \* BUILDING DEPARTMENT

80 WHEELER AVENUE \* PLEASANTVILLE, NY 10570

PHONE (914) 769-1926 \* FAX (914) 769-5519

[WWW.PLEASANTVILLE-NY.GOV](http://WWW.PLEASANTVILLE-NY.GOV)

### SIGN PERMIT APPLICATION

**NOTE:** APPROVAL FROM THE ARCHITECTURAL REVIEW BOARD REQUIRED FOR ALL NEW SIGNS, AWNINGS, AND CANOPIES AS PER VILLAGE CODE CHAPTER 148 PRIOR TO ISSUANCE OF A PERMIT.

\* NEW FREESTANDING SIGNS REQUIRE APPROVAL FROM THE PLANNING BOARD \*

**SECTION I** - PROJECT ADDRESS: 409 Manville Road, Pleasantville, NY 10570

**SECTION II** - CONTACT INFORMATION: (PLEASE PRINT CLEARLY. ALL INFORMATION MUST BE CURRENT)

APPLICANT: New Hope Community / SHS Division

ADDRESS: 409 Manville Road, Pleasantville, NY 10570

PHONE: 914-741-6300 CELL: \_\_\_\_\_ EMAIL: mmellino@selecthumanresources.org

OWNER: New Hope Community / SHS Division

ADDRESS: 409 Manville Road, Pleasantville NY 10570

PHONE: 914-741-6300 CELL: \_\_\_\_\_ EMAIL: mmellino@selecthumanresources.org

**SECTION III** - TYPE OF WORK PROPOSED (CHECK ALL THAT APPLY)

- ☐ BANNER   ☐ BARBER POLE   ☐ CANOPY SIGN   ☒ GROUND SIGN   ☐ INTEGRAL ROOF SIGN  
☐ INTERIM SIGN   ☐ MARQUEE SIGN   ☐ POLE SIGN   ☐ PROJECTING SIGN   ☐ SUSPENDED SIGN  
☐ TEMPORARY SIGN   ☒ WALL SIGN   ☐ WINDOW SIGN   ☐ NEON SIGN   ☐ RES DISTRICT SIGN   ☐ OTHER

**SECTION IV** - LANDLORD / BUILDING OWNER'S CONSENT

NOTE: WRITTEN CONSENT REQUIRED; APPLICATION WILL NOT BE ACCEPTED WITHOUT IT. NO EXCEPTIONS

OWNER'S NAME: New Hope Community / SHS Division

OWNER'S SIGNATURE: Debra J. McManus, CEO

**SECTION V** - PERMIT FEES:

- A. SIGN PERMIT FOR REAL ESTATE SIGNS NOT EXEMPTED AS PER VILLAGE CODE CHAPTER 148 : \$15 FOR EACH  
B. ALL OTHER SIGN PERMITS: \$30 FOR EACH SIGN

# VILLAGE OF PLEASANTVILLE \* BUILDING DEPARTMENT

## SECTION VI — CONTACT INFORMATION: (PLEASE PRINT CLEARLY. ALL INFORMATION MUST BE CURRENT)

ARCHITECT/ENG: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE: \_\_\_\_\_ CELL: \_\_\_\_\_ EMAIL: \_\_\_\_\_

DESIGNER: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE: \_\_\_\_\_ CELL: \_\_\_\_\_ EMAIL: \_\_\_\_\_

CONTRACTOR: E.K.S. Designs inc. / SignsonDemand

ADDRESS: 450 Westlake Dr. Valhalla NY 10595

PHONE: 9149340947 CELL: 9144247309 EMAIL: Eric@EKSDesignBiz

ELECTRICIAN: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE: \_\_\_\_\_ CELL: \_\_\_\_\_ EMAIL: \_\_\_\_\_

## SECTION VII — APPLICANT CERTIFICATION

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SIGNATURE: Debra J. McMinness, CEO DATE: 5/21/2025

### OFFICE USE ONLY - DO NOT WRITE BELOW THIS LINE

ZONE: R02 SECTION: 106-S. BLOCK: 2 LOT: 66.

### BUILDING DEPARTMENT CHECKLIST:

☐ PERMIT FEE ☐ GC LICENSE ☐ WORK COMP. ☐ LIAB. INS. ☐ ONE SET OF DOCUMENTS  
☐ EAS FORM ☐ SWPPP ☐ FLOOD DEV. PERMIT

PERMIT #: \_\_\_\_\_ PAYMENT: ☐ CHECK #: \_\_\_\_\_ ☐ CASH

NAME ON CHECK: \_\_\_\_\_

FINAL DESCRIPTION OF WORK: \_\_\_\_\_

### PERMIT CONDITIONS:

☐ ACC / ADA ☐ ADD. REQUIRE. ☐ ARCH'S CERT ☐ BSMT AFF. ☐ BLOWER DOOR ☐ DIG SAFELY ☐ DRIVEWAY  
☐ ELECT CERT ☐ ENG CERT (ANT) ☐ END CERT (SOLAR) ☐ FENCE / WALL ☐ FINAL SURVEY ☐ FIRE SPRINKLER A  
☐ DUCT LEAK ☐ PATIO / TERR ☐ PLUMB AFF. ☐ PROPANE ☐ SMOKE DET. ☐ FOUND SURVEY ☐ FIRE SPRINKLER B  
☐ SOIL BEARING CERT ☐ TANK MANIFEST

BLDG. INSPECTOR SIGN OFF: \_\_\_\_\_ DATE: \_\_\_\_\_



### **332 Manville Road**

**Farrow's - 332 Manville Road** - Proposed facade and signage updates to existing business - *New application*

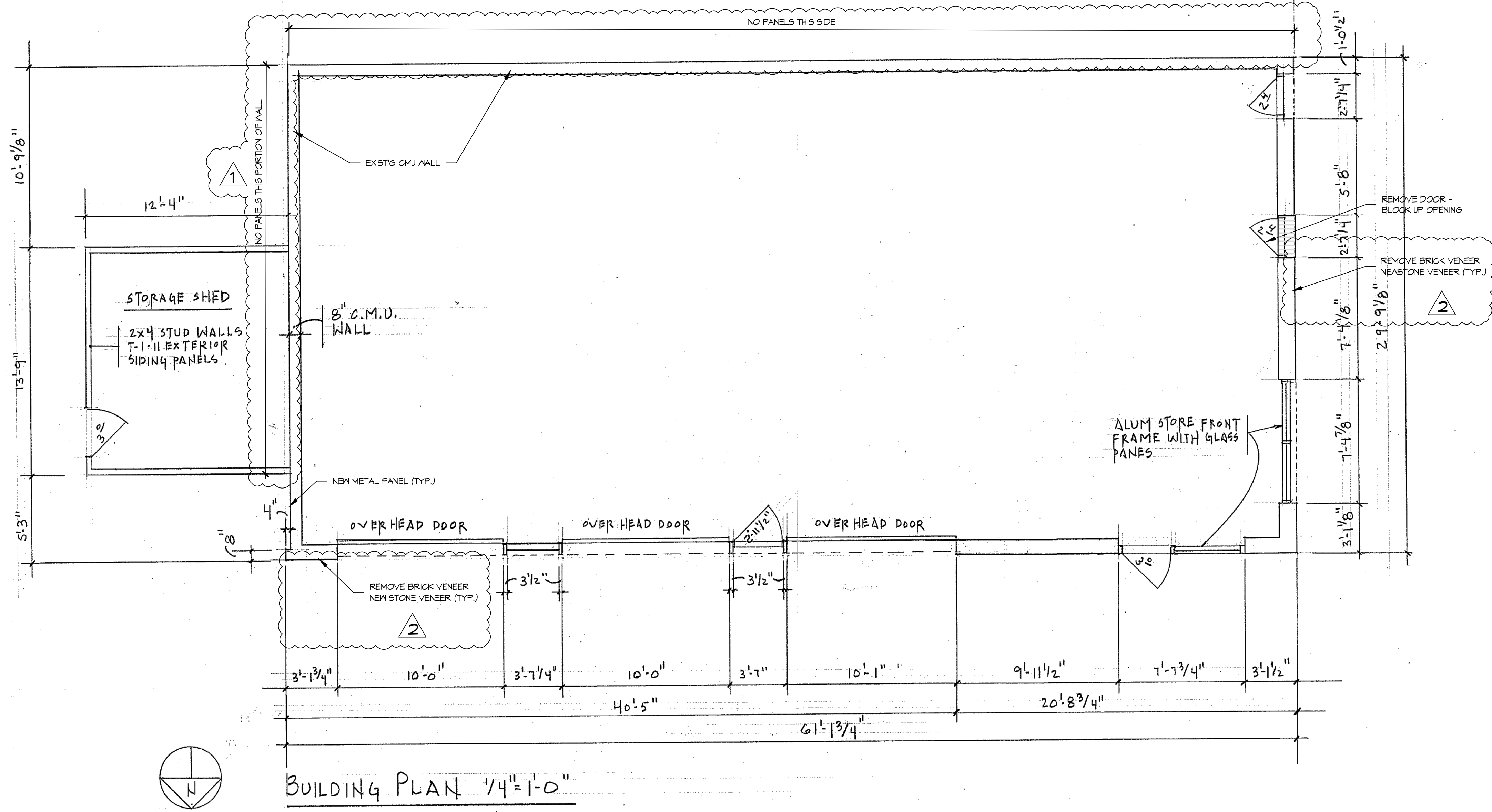
#### **ATTACHMENTS:**

Description	Type	Upload Date
Architectural plans dated 5.13.25	Backup Material	6/6/2025
ARB Petition	Backup Material	6/6/2025
Existing site photo 1	Backup Material	6/6/2025
Existing site photo 2	Backup Material	6/6/2025
Existing site photo 3	Backup Material	6/6/2025
Existing site photo 4	Backup Material	6/6/2025









BUILDING PLAN 1/4"=1'-0"

EDWIN O. ELLIOTT, JR., AIA  
ARCHITECT  
207 EDGEWOOD AVENUE  
PLEASANTVILLE, N.Y. 10570  
(914) 747-5039

Project Name:  
Farrow's Shell Station  
Facade Alterations  
332 Manville Road  
Pleasantville, New York

Drawing Title:  
Building Plan

5-13-25  
10-29-24  
revised

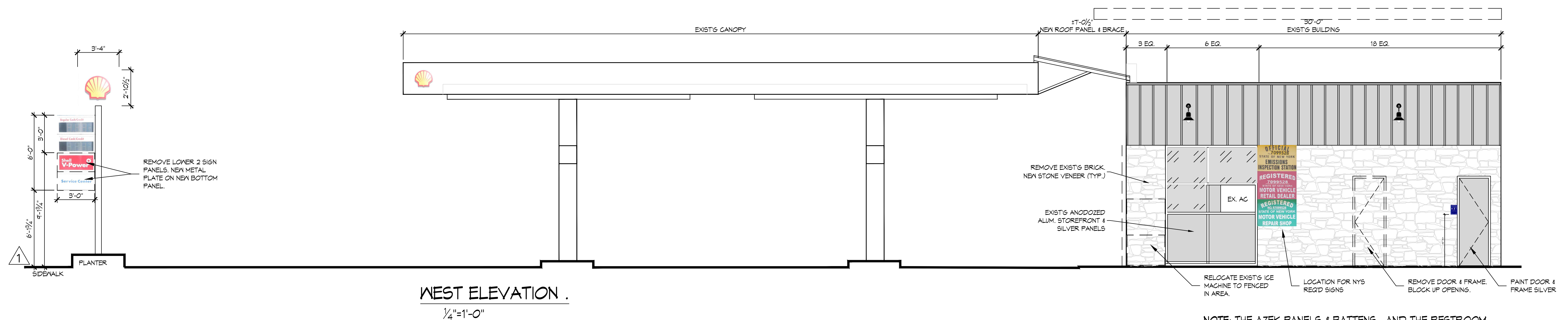
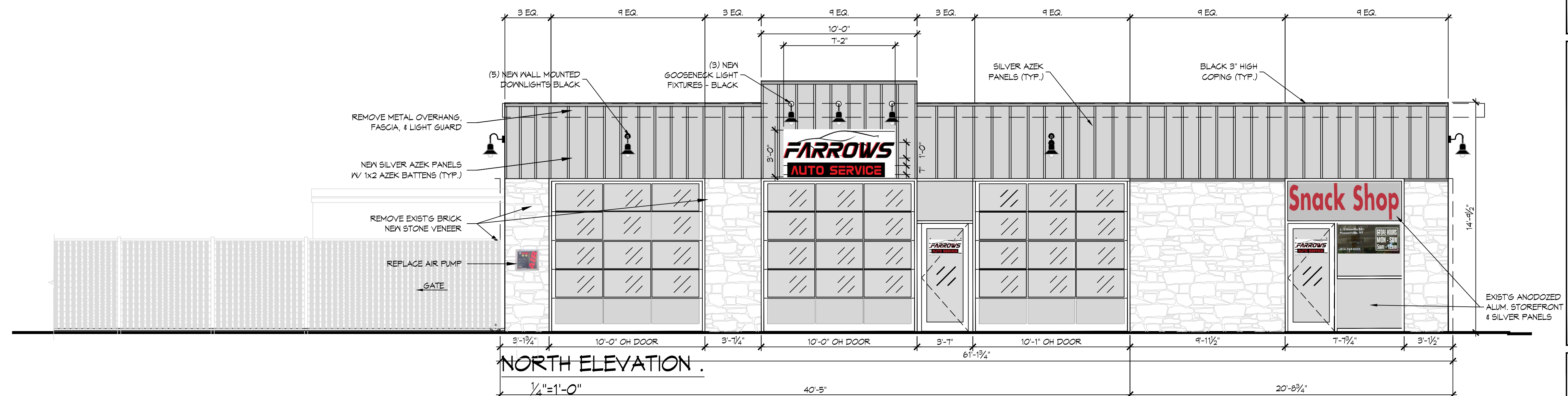
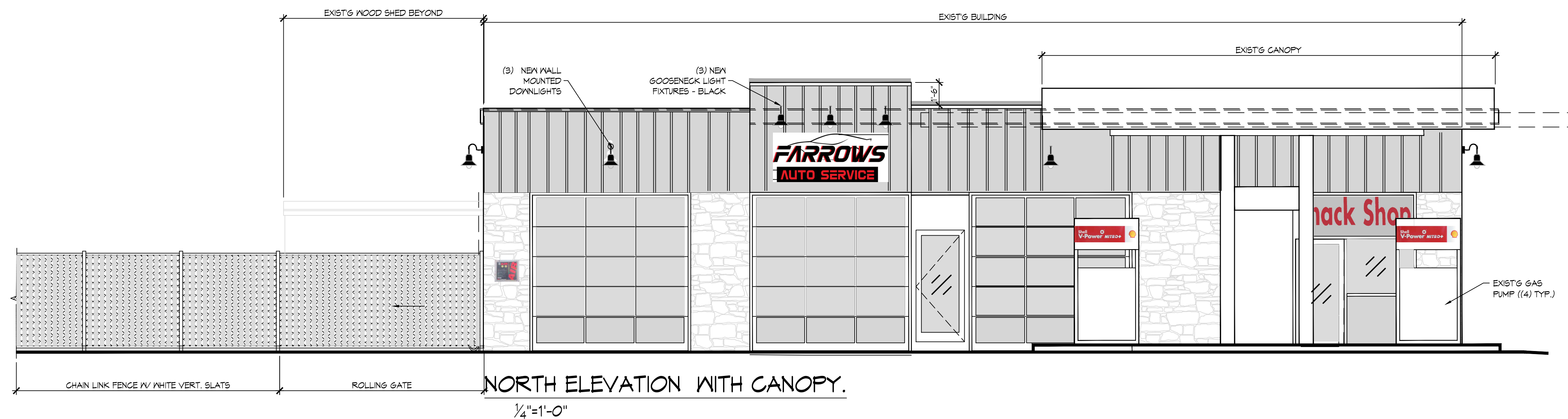
Job Number:  
2411

Drawing Number:  
101

Scale:  
as noted

Date:  
10-9-24

Drawn by:  
EJE

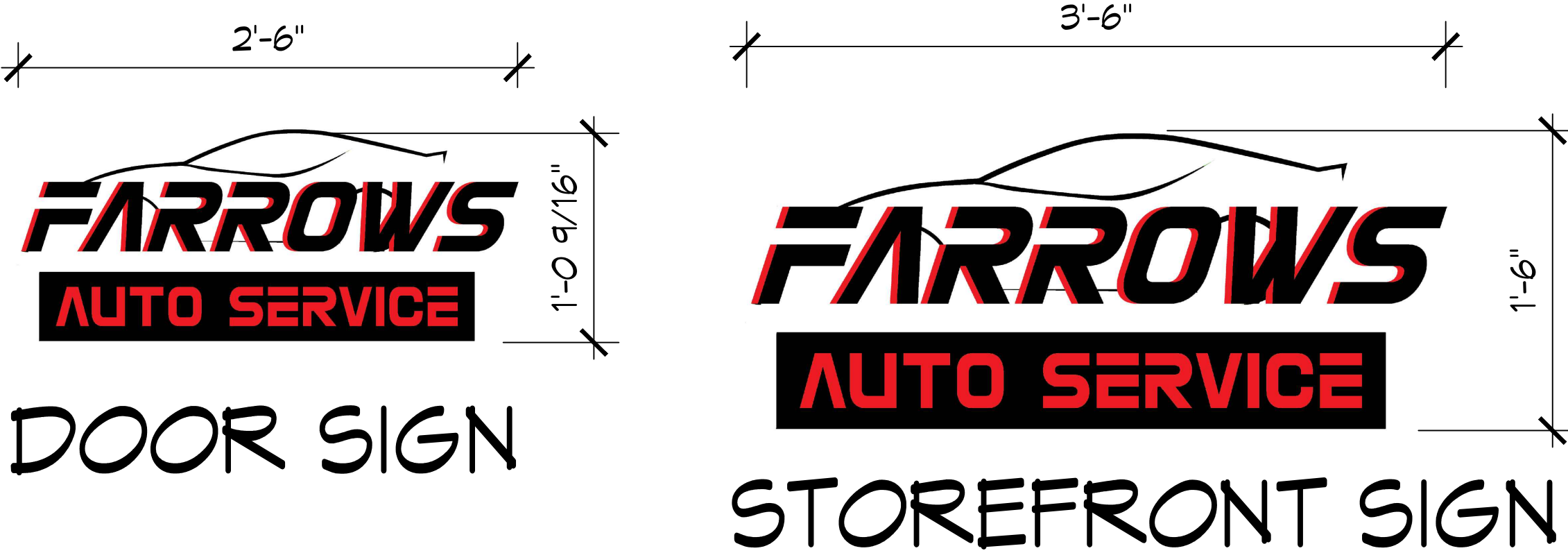


NOTE: THE AZEK PANELS & BATTENS, AND THE RESTROOM DOOR & FRAME ARE TO BE PAINTED BEHR GRANITE DUST - SEMI GLOSS. THE COPING IS TO BE PAINTED BLACK - SEMIGLOSS.





BUILDING SIGN

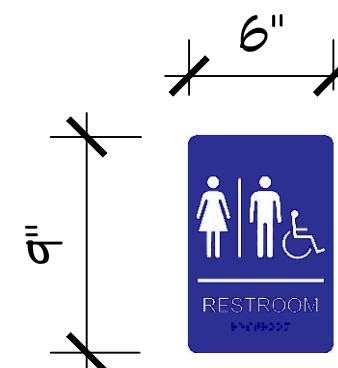


DOOR SIGN

STOREFRONT SIGN



WINDOW DECALS



RESTROOM SIGN

NOTE:  
1 RED COLOR IS TO MATCH THE "SHELL" RED ON THE CANOPY.



EXISTING



STATION UNDER SAME OWNERSHIP IN ANOTHER LOCATION



EDWIN O. ELLIOTT, JR., AIA  
ARCHITECT  
207 EDGEWOOD AVENUE  
PLEASANTVILLE, N.Y. 10570  
(914) 747-5039

Farrow's Auto Service  
Signage & F acade  
332 Manville Road  
Pleasantville, New York

Signs

5-13-25  
10-24-24  
revised

2411

103

1/4" = 1'-0"

10-10-24

drawn by: EOE





## VILLAGE OF PLEASANTVILLE \* BUILDING DEPARTMENT

80 WHEELER AVENUE \* PLEASANTVILLE, NY 10570

PHONE (914) 769-1926 \* FAX (914) 769-5519

[WWW.PLEASANTVILLE-NY.GOV](http://WWW.PLEASANTVILLE-NY.GOV)

# PETITION TO ARCHITECTURAL REVIEW BOARD

**NOTE:** SIX (6) COPIES OF ALL PERTINENT INFORMATION MUST BE SUBMITTED WITH PETITION A MINIMUM TEN (10) DAYS IN ADVANCE OF SCHEDULED ARB MEETING DATE

\* SEE ATTACHED SUBMISSION REQUIREMENTS FOR ADDITIONAL INFORMATION \*

**SECTION I** – PROJECT ADDRESS: 332 Manville Rd.

**SECTION II** – CONTACT INFORMATION: (PLEASE PRINT CLEARLY. ALL INFORMATION MUST BE CURRENT)

APPLICANT: Edwin O Elliott, Jr., AIA - Architect

ADDRESS: ~~207 Edgewood Ave, Pleasantville, NY 10570~~ 6401 Peninsula Rd., Tully, NY 13159 ✓

PHONE: (914) 747-5039 CELL: \_\_\_\_\_ EMAIL: eeo@aol.com  
(8914) 649-1662 ✓

TENANT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE: \_\_\_\_\_ CELL: \_\_\_\_\_ EMAIL: \_\_\_\_\_

**SECTION III** – TYPE OF APPLICATION ☒ BUILDING REVIEW ☒ SIGN REVIEW

SUBMITTED INFORMATION (CHECK ALL THAT APPLY)

☒ FLOOR PLANS ☒ SITE PLAN ☐ EXISTING RENDERING / PHOTOS ☒ SCALED DETAILED ELEVATIONS  
☐ PROPOSED RENDERINGS / PHOTOS ☒ MATERIALS ☒ SAMPLES ☐ COLOR SWATCHES ☐ PLANTINGS  
☒ LIGHTING FIXTURES ☐ OTHER PERTINENT INFORMATION

**SECTION IV** – LANDLORD / BUILDING OWNER'S CONSENT

NOTE: WRITTEN CONSENT REQUIRED; APPLICATION WILL NOT BE ACCEPTED WITHOUT IT. NO EXCEPTIONS

OWNER'S NAME: Moe Ibrahim - Farrow's Auto Service

OWNER'S SIGNATURE: 

**SECTION V** – PERMIT FEES: \$75 APPLICATION FEE



# VILLAGE OF PLEASANTVILLE \* BUILDING DEPARTMENT

## SECTION VI — CONTACT INFORMATION: (PLEASE PRINT CLEARLY. ALL INFORMATION MUST BE CURRENT)

ARCHITECT/ENG: Edwin O Elliott, Jr., AIA - Architect

ADDRESS: 207 Edgewood Ave, Pleasantville, NY 10570 5401 Peninsula Rd., Tully, NY 13159 ✓

PHONE: (914) 747-5039 CELL: \_\_\_\_\_ EMAIL: eeo@aol.com  
(914) 649-1662 ✓

DESIGNER: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

PHONE: \_\_\_\_\_ CELL: \_\_\_\_\_ EMAIL: \_\_\_\_\_

CONTRACTOR: tbd

ADDRESS: \_\_\_\_\_

PHONE: \_\_\_\_\_ CELL: \_\_\_\_\_ EMAIL: \_\_\_\_\_

ELECTRICIAN: Bashir

ADDRESS: \_\_\_\_\_

PHONE: \_\_\_\_\_ CELL: (914) 282-1207 EMAIL: \_\_\_\_\_

## SECTION VII — APPLICANT CERTIFICATION

I HEREBY CERTIFY THAT I HAVE READ THE INSTRUCTIONS & EXAMINED THIS APPLICATION AND KNOW THE SAME TO BE TRUE & CORRECT. ALL PROVISIONS OF LAWS & ORDINANCES COVERING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR LAND USE OR THE PERFORMANCE OF CONSTRUCTION.

SIGNATURE: Edwin O. Elliott Jr. DATE: 10-9-24 moeibrahim01@gmail.com  
5-14-25 rev 1 ✓

### OFFICE USE ONLY – DO NOT WRITE BELOW THIS LINE

ZONE: A-1 SECTION: 106.6 BLOCK: 2 LOT: 7

ADDITIONAL BOARD / DEPT. APPROVALS REQUIRED: N/A

☐ ZONING ☐ PLANNING ☐ DPW / ENGINEERING ☐ WCDOH ☐ WETLANDS ☐ FLOOD DEV

#### BUILDING DEPARTMENT CHECKLIST:

☒ APP FEE \$75 ☒ REQUIRED DOCUMENTS ☒ SIX (6) SETS OF DOCS & PERTINENT INFO

☒ CHECK #: 1289 ☐ CASH

NAME ON CHECK: Farrow's Auto Service, Inc

BLDG. INSPECTOR SIGN OFF: RH DATE: 5.19.2025

#### ARB MEETING RESULTS:

☐ APPROVED AS SUBMITTED ☐ APPROVED AS NOTED ☐ DENIED

COMMENTS: \_\_\_\_\_

#### MEMBERS IN ATTENDANCE: (CHECK BOX & NOTE INITIALS)

☐ CHAIRMAN \_\_\_\_\_ ☐ MEMBER # 1 \_\_\_\_\_ ☐ MEMBER # 2 \_\_\_\_\_ ☐ MEMBER # 3 \_\_\_\_\_ ☐ MEMBER # 4 \_\_\_\_\_



# Snack Shop

FARROW AUTO SERVICE



**3 Year/100,000 Mile  
Nationwide Warranty**

**NEW  
FORMULA**

**HELPS YOUR  
ENGINE RUN  
LIKE NEW.**

Shell  
**V-Power  
NITRO+**  
Premium Gasoline



10/03/2024



# FARROWS AUTO SERVICE

Since 1941

## Snack Shop

Clearance 13'6"

OFFICIAL  
7099528  
STATE OF NEW YORK  
EMISSIONS  
INSPECTION STATION  
REGISTERED  
7099528  
STATE OF NEW YORK  
MOTOR VEHICLE  
RETAIL DEALER  
AUTO COLLISION CENTER  
WE DO  
**BODY WORK**

REGISTERED  
7099528  
STATE OF NEW YORK  
MOTOR VEHICLE  
REPAIR SHOP  
**FARROWS**

WELCOME TO  
FARROWS  
AUTO SERVICE  
OPEN MON-FRI 9AM-5PM  
SATURDAY 9AM-3PM

FARROW AUTO SERVICE  
**JASPER**  
ENGINES • TRANSMISSIONS  
3 Year / 100,000 Mile  
Nationwide Warranty

NEW  
FORMULA  
HELPS YOUR  
ENGINE RUN  
LIKE NEW.

4 Shell  
V-Power NITRO+

358 388 438 458  
358 388 438 458

10/03/2024





08/25/2024





08/25/2024





## **APPLICATIONS INVOLVING PLANNING & ARB**



### **444 Bedford Road**

**444 Bedford Road - The Landmark at 444** - Proposed mixed use development consisting of 36 apartment units and retail shop - *Cont Public Hearing*

### **ATTACHMENTS:**

Description	Type	Upload Date
Cover Letter 6.4.2025	Backup Material	6/6/2025
Updated plat - lot merger	Backup Material	6/6/2025
Updated final set of drawings - S dwgs - 6.6.2025	Backup Material	6/6/2025
Updated final set of drawings - A dwgs - 6.6.2025	Backup Material	6/6/2025

LAW OFFICE OF  
**JEFFREY W. GASBARRO**

---

June 4, 2025

Mr. Russell Klein, Chairman  
Village of Pleasantville Planning Commission  
Village Hall  
80 Wheeler Avenue  
Pleasantville, New York 10570

**Re: 444 Bedford Road, Pleasantville (“The Landmark at 444”)**  
**(S/B/L: 106.6 – 5 – 18/19, Zone District: A-1)**

Dear Chairman Klein and Members of the Planning Commission,

We are pleased to return to the Commission for a continued public hearing regarding our project entitled *The Landmark at 444*.

Our updated submission includes revisions to the proposed plantings and the requested notation that the planters on the Bedford Road side of the building will not exceed 3.5 feet in height (see sheet S-110). The revised subdivision plat includes additional notations regarding the lot lines to be abandoned. A revised photometric plan will follow this correspondence.

We look forward to the Commission’s thoughts on this updated submission at the public hearing.

Sincerely,



Jeffrey W. Gasbarro, Esq.





RAMSAY LAND SURVEYING, P.C.  
PROFESSIONAL LAND SURVEYORS - PLANNERS

NOTE I:

THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID CERTIFICATIONS SHALL RUN ONLY TO THE PERSON AND OR THE ORGANIZATION FOR WHOM THIS SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENT AGENCY AND LENDING INSTITUTION LISTED HEREON AND TO THE SUCCESSORS AND OR ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE. UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBSECTION 2, OF THE NEW YORK STATE EDUCATION LAW. ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY STAMPED WITH AN ORIGINAL OF THE LAND SURVEYOR'S EMBOSSED OR INKED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.

NOTE II:

THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE OR A FULL TITLE REPORT AND IS THEREFORE SUBJECT TO ANY STATE OF FACTS THAT MAY BE REVEALED BY AN EXAMINATION OF SUCH DOCUMENTS.

NOTE III:

THERE ARE NO ACTIVE OR VISIBLE STREAM OR WATERCOURSE ON LOT No. 18, 19 & 20 IN BLOCK No. 5.

LOCATION OF SUBSURFACE UTILITIES SHOWN HEREON ARE BASED ON RECORD INFORMATION AND / OR ELECTRONIC DETECTION METHODS AND ARE SUBJECT TO THE ACCURACY THEREOF. LOCATION OF SUBSURFACE FACILITIES SHOULD BE VERIFIED PRIOR TO EXCAVATION AND /OR CONSTRUCTION. CONSULT WITH THE APPROPRIATE UTILITY COMPANY OR AGENCY PRIOR TO DESIGNING IMPROVEMENTS.

NOTE

THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID CERTIFICATIONS SHALL RUN ONLY TO THE PERSON AND OR THE ORGANIZATION FOR WHOM THIS SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENT AGENCY AND LENDING INSTITUTION LISTED HEREON AND TO THE SUCCESSORS AND OR ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE.

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L1  
N30°08'50"W 6.88'  
L2  
N26°14'00"W 2.42'

SCALE 1" = 20'

DESIGNATED AS SECTION 3, BLOCK 22, LOTS 4, 5, 5A, 6 AND 6A ON THE TAX ASSESSMENT MAP OF THE TOWN OF MOUNT PLEASANT, WESTCHESTER COUNTY, NEW YORK, AND ALSO KNOWN AS 444 BEDFORD ROAD AND 109 WHEELER AVENUE, PLEASANTVILLE, NEW YORK.

SEC. No. 106.6  
BLOCK No. 5  
LOT No. 16, 17, 18, 19 & 20

CERTIFIED TO :- 444 ASSOCIATES LLC  
WESTCHESTER COUNTY  
BUILDING DEPARTMENT.

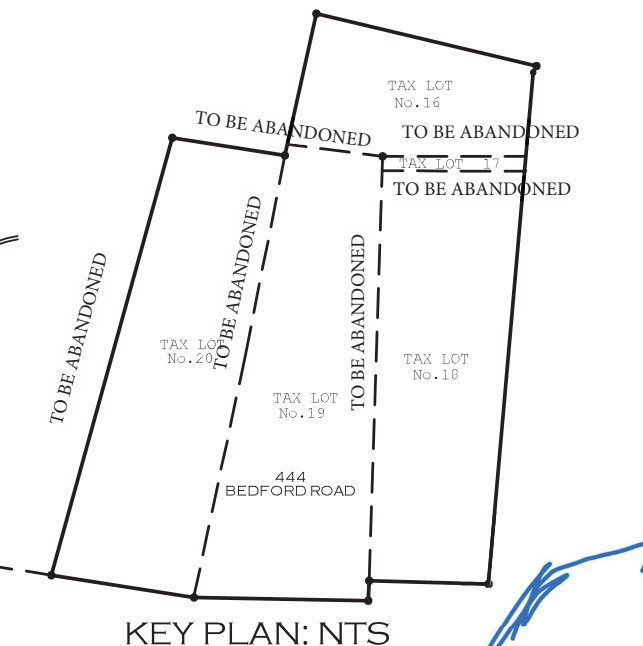
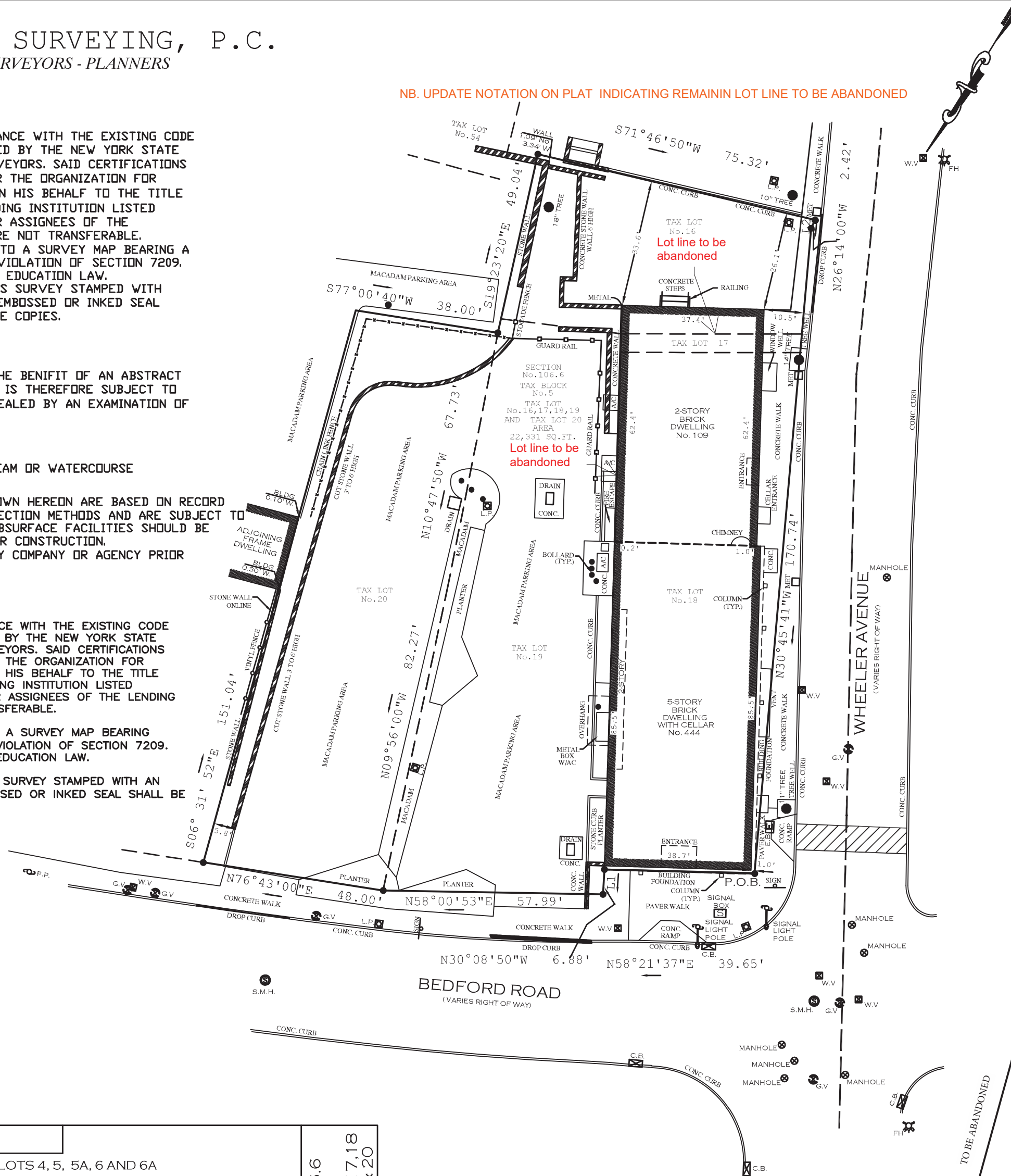
DATE OF SURVEY : JANUARY 10, 2023  
MAP DRAFTED : NOVEMBER 14, 2024



RAMSAY LAND SURVEYING, P.C.  
PROFESSIONAL LAND SURVEYORS - PLANNERS

3024 RADCLIFF AVENUE  
BRONX, NEW YORK 10469  
MOBILE # 917 544 8174  
PHONE : 718 884 0238  
EMAIL : nvreclandsury@yahoo.com

NB. UPDATE NOTATION ON PLAT INDICATING REMAININ LOT LINE TO BE ABANDONED



SURVEY FOR TAX LOTS MERGER,  
OF  
444 BEDFORD ROAD  
IN THE VILLAGE  
OF PLEASANTVILLE  
TOWN OF  
MOUNT PLEASANT  
WESTCHESTER COUNTY  
STATE OF NEW YORK.

TITLE No. XXXXXXXX

I, NEVILLE RAMSAY, THE LAND SURVEYOR WHO MADE THIS MAP DO HEREBY CERTIFY THAT THIS SURVEY OF THE PROPERTY SHOWN HEREON WAS COMPLETED ON NOVEMBER 9, 2022, AND THIS MAP WAS COMPLETED ON NOVEMBER 26, 2022.

SURVEY UPDATE: 06-06-2025  
11-09-2024

DATE 06-06-2025

NEVILLE RAMSAY, PLS. LICENSE No.050294 -1

WESTCHESTER COUNTY DEPARTMENT OF HEALTH  
MOUNT KISCO, NEW YORK.

APPROVED PURSUANT TO CHAPTER 873, ARTICLE X, SECTIONS 873.951 AND 873.1021 01 THE WESTCHESTER COUNTY SANITARY CODE SUBJECT TO THE PROVISION OF PUBLIC WATER SUPPLY AND PUBLIC SANITARY SEWER FACILITIES TO SERVE ALL STRUCTURES INTENDED FOR HUMAN OCCUPANCY CONSTRUCTED HEREON.

EACH PURCHASER OF PROPERTY SHOWN HEREON SHALL BE FURNISHED A TRUE COPY OF THIS PLAT SHOWING THIS ENDORSEMENT, ANY ENSURES, CHANCES, ADDITIONS OR ALTERATIONS OF ANY KIND EXCEPT THE ADDITION OF SIGNATURES OF OTHER APPROVING AUTHORITY AND THE DATE THEREOF MADE IN ON THIS PLAN AFTER THIS APPROVAL SHALL INVALIDATE THIS APPROVAL.

DATE

APPROVED BY THE ASSISTANT COMMISSIONER OF HEALTH ON BEHALF OF THE DEPARTMENT OF HEALTH.

OWNERS CERTIFICATION

THE UNDERSIGNED OF THE PROPERTY SHOWN HEREON IS FAMILIAR WITH THIS MAP AND LEGENDS, NOTES AND CONDITIONS SHOWN HEREON AND APPROVED FOR FILING IN THE DIVISION OF LAND RECORDS.

DATE

OWNER

DATE

OWNER

OFFICER

OWNER:

"APPROVED SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF A RESOLUTION DATED OF THE PLANNING BOARD OF THE VILLAGE OF PLEASANTVILLE, NEW YORK. ANY CHANGES, ERASURE, MODIFICATION, OR REVISION OF THIS PLAN. ABSENT RE-APPROVAL FROM THE PLANNING BOARD, SHALL VOID THIS APPROVAL".

DATE

CHAIRMAN

ALL TAXES DUE TO DATE HAVE BEEN PAID

DATE

RECEIVER OF TAXES VILLAGE OF PLEASANTVILLE  
TAX ASSESSMENT MAP DESIGNATION

TAX LOT 16, 17, 18, 19 & 20  
TAX BLOCK 5  
TAX SECTION 106.6

ALL TAXES DUE TO DATE HAVE BEEN PAID

DATE

RECEIVER OF TAXES TOWN OF MOUNT PLEASANT

WESTCHESTER COUNTY INDEX SYSTEM  
SHEET XX  
BLOCK XXXX

NEVILLE V. RAMSAY, PROFESSIONAL LAND SURVEYOR  
NEW YORK STATE LICENCE No. 050294-1



THE LANDMARK AT 444  
PROPOSED MIXED USE DEVELOPMENT  
444 BEDFORD RD. PLEASANTVILLE, NY. 10570

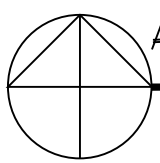
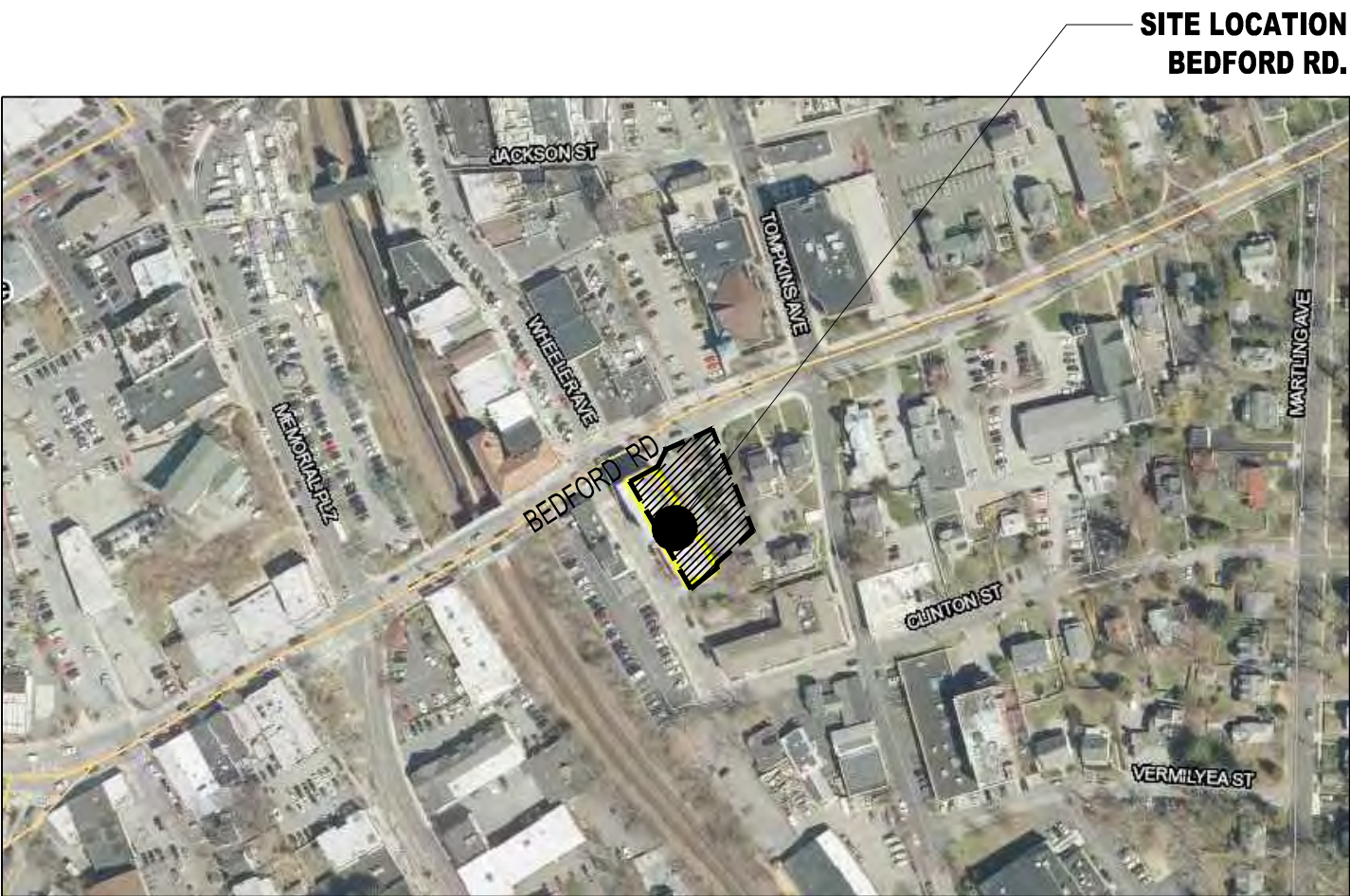
FINAL SET 6.6.2025



100 EXECUTIVE BLVD. SUITE 204  
OSSINING, NY 10562  
arqpc.com  
PHONE: (914) 944-3377  
FAX: (866) 567-6240

JORGE B. HERNANDEZ R.A. A.I.A.  
LICENSE NUMBER: 030424-1  
CERTIFICATE NUMBER: 2323801

AERIAL MAP



AERIAL VIEW

N.T.S.

PROPOSED FRONT ELEVATION



VIEW @ BEDFORD RD.

N.T.S.



VIEW @ WHEELER AVE.

N.T.S.

THE LANDMARK AT 444 TEAM

OWNER: 444 ASSOCIATES, L.L.C.  
100 EXECUTIVE BLVD. SUITE 201  
OSSINING, NY 10562

ARCHITECT/ENGINEER: ARQ ARCHITECTURE P.C.  
JORGE B. HERNANDEZ R.A. A.I.A.  
CHRIS UTSCHING P.E.  
100 EXECUTIVE BLVD. SUITE 204-205  
OSSINING, NY 10562

TRAFFIC CONSULTANT: STARKE W. HIPPE, PE  
LABELLA ASSOCIATES

LAND USE CONSULTANT: LAW OFFICE OF  
JEFFREY W. GASBARRO  
200 EXECUTIVE BLVD.  
OSSINING, NY 10562

DRAWING LIST

T-100 TITLESHEET  
S-100 EXIST. SITE PLAN, AND IMAGES  
S-101 PROPOSED SITE PLANS, DEVELOPMENT PLANS, ZONING DATA AND IMAGES  
S-102 EXIST. & PROPOSED SCHEMATIC PLAN AND DRONE PHOTOS  
S-103 RAMSAY LAND SURVEY  
S-104 CROSS SECTIONS ALONG BEDFORD ROAD  
S-105 PROPOSED INTERSECTION SIGHT DISTANCES PLANS  
S-106 PROPOSED INTERSECTION SIGHT DISTANCE PLAN W/ AERIAL VIEW  
S-107 PROPOSED INTERSECTION SIGHT DISTANCE, STOPPING SIGHT DISTANCE PLANS & PROFILES  
S-108 PROPOSED VEHICLE MANEUVERABILITY PLANS AND EXIST. & PROPOSED CIVIL SPACE PLANS WITH IMAGES  
S-109 KEY MAPS, TABLE AND PROPOSED DEVELOPMENT ELEVATIONS  
S-110 EXIST. & PROPOSED PAVEMENT AREA AND LANDSCAPING PLANS  
S-111 GREEN ROOF DETAILS & SPEC. SHEETS  
S-112 PHASE PLANS AND CONSTRUCTION SEQUENCE  
S-113 KEY PLAN & 3D VIEWS TO EQUIPMENT SCREENING  
S-114 KEY PLAN & VIEWS TO EQUIPMENT SCREENING  
A-100 EXIST. & PROPOSED FLOOR PLANS  
A-101 EXIST. & PROPOSED FLOOR PLANS  
A-102 TYP. DUPLEX LAYOUT & SCHEMATIC INTERIOR 3D'S  
A-200 EXIST. & PROPOSED 3D VIEWS  
A-201 EXIST. & PROPOSED RENDERED ELEVATIONS  
A-202 EXIST. & PROPOSED ELEVATIONS  
A-203 EXIST. & PROPOSED ELEVATIONS  
A-204 PROPOSED FENESTRATION AND SCHEMATIC DETAILS  
A-300 SCHEMATIC SECTIONS  
A-400 NEIGHBORHOOD ANALYSIS OF TRANSITIONAL MATERIALS  
A-401 NEIGHBORHOOD ANALYSIS  
A-402 DRONE PICTURES  
A-403 EXISTING & PROPOSED 3D VIEWS



EXIST. BUILDING IN 1920

N.T.S.



EXIST. BUILDING IN 2022

N.T.S.



PROPOSED VIEW

N.T.S.



EXIST. BUILDING IN 2022

N.T.S.



PROPOSED NORTH WEST VIEW

N.T.S.

REVISIONS	DATE	BY
RESUBMITTAL	9/14/2023	ARQ
RESUBMITTAL	4/26/2024	ARQ
RESUBMITTAL	9/30/2024	ARQ
P.B. COMMENTS	09/11/2024	ARQ
WHEELER LOADING	09/26/2024	ARQ
REV. DRAWINGS	10/9/2024	ARQ
REV. DRAWINGS	2/26/2025	ARQ
REV. DRAWINGS	4/9/2025	ARQ
PUBLIC HEARING	4/30/2025	ARQ

DRAWING TITLE:

TITLE SHEET

PROJECT:

THE LANDMARK AT 444

PROJECT ADDRESS:

444 BEDFORD RD  
PLEASANTVILLE  
NY 10570

NYS EDUCATION LAW

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SEAL & SIGNATURE



DATE:

3/12/2021

PROJECT NO.:

21-037

DRAWING BY:

ARQ

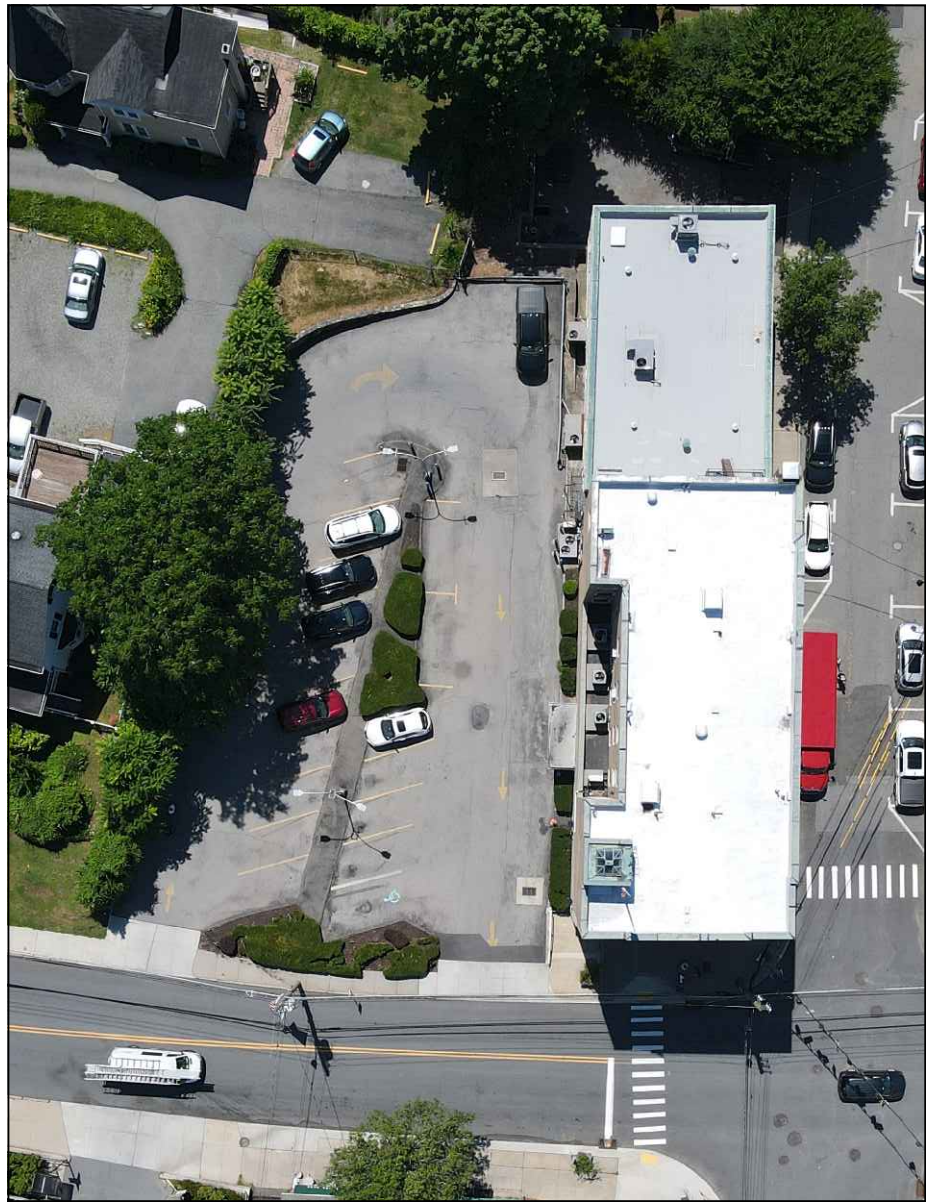
CHECKED BY:

JBH

DWG. NO.:

T-100





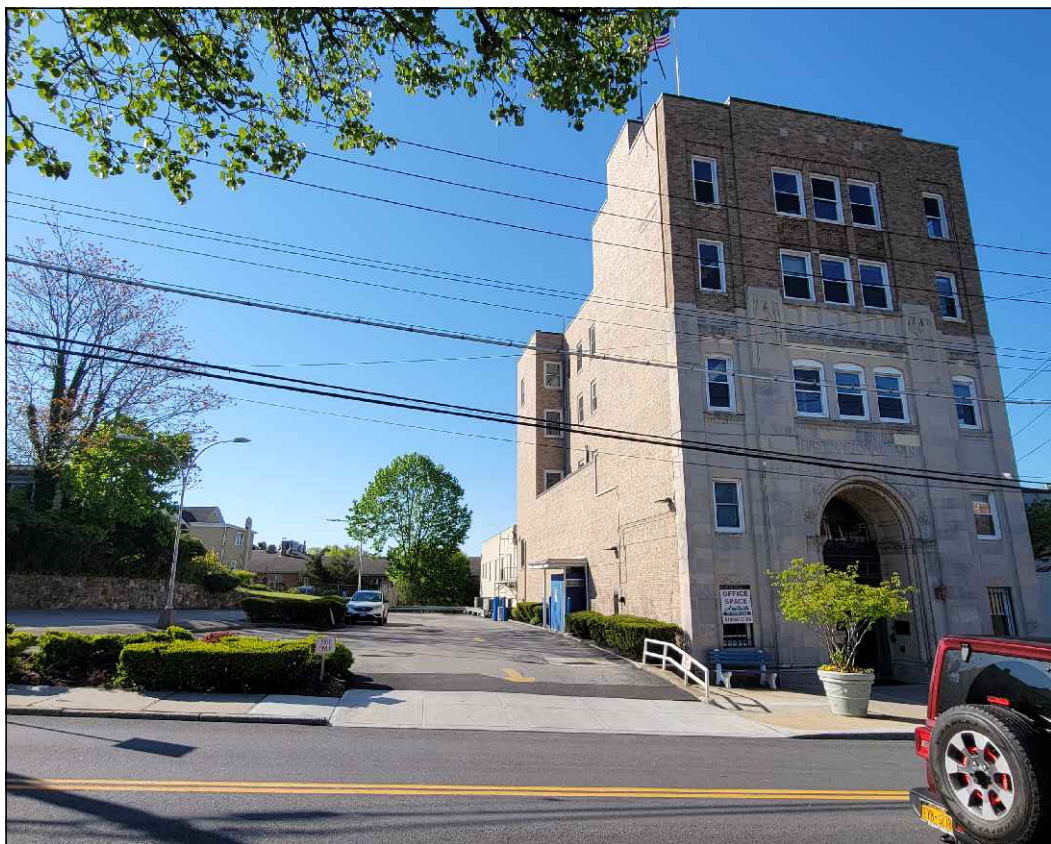
EXIST. & BUILDING & PARKING LOT

N.T.S.



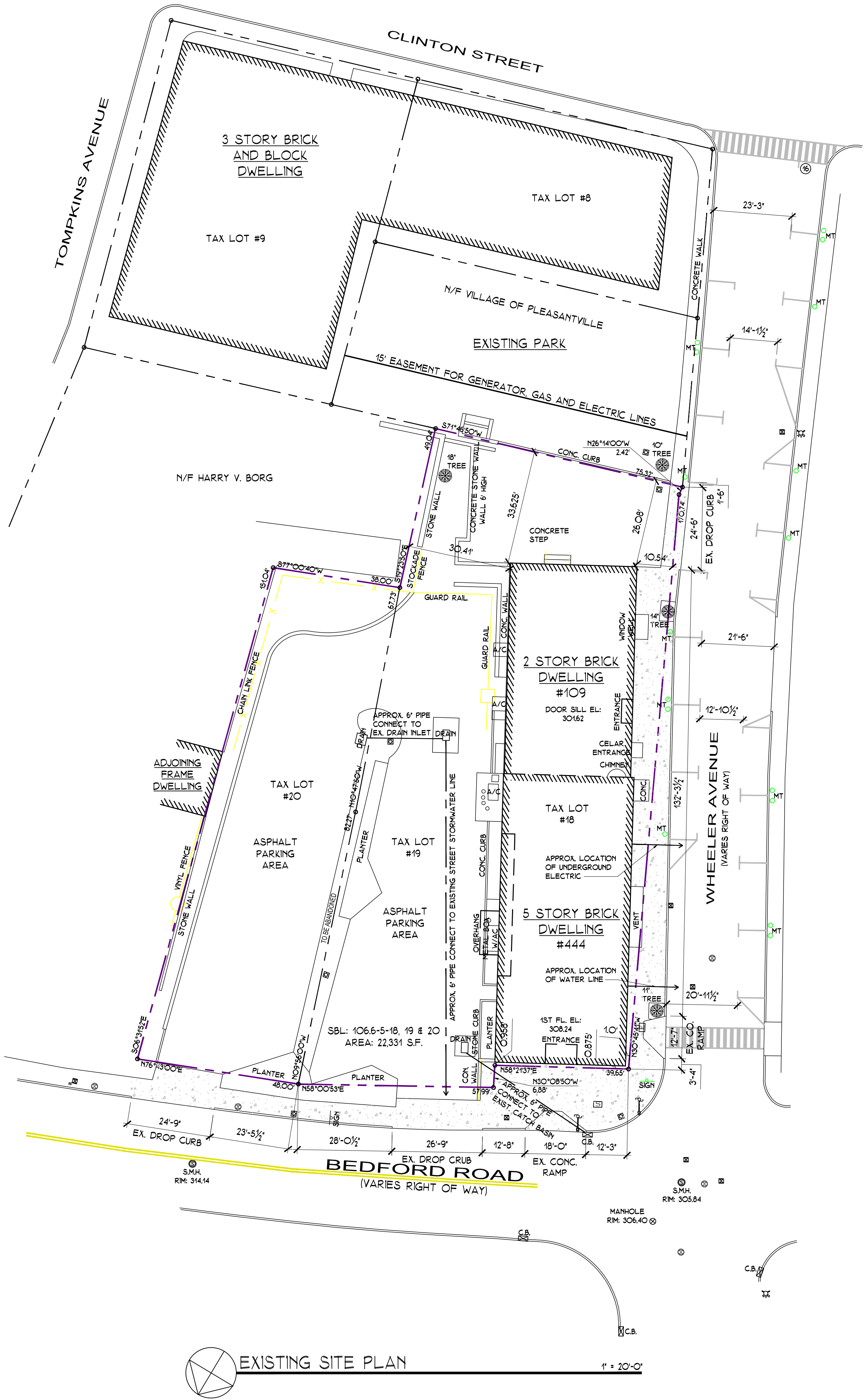
EXIST. BUILDING IN 2022

N.T.S.



EXIST. BUILDING IN 2022

N.T.S.



EXISTING SITE PLAN

1" = 20'-0"



100 EXECUTIVE BLVD. SUITE 204  
OSSING, NY 10562  
arqpc.com  
PHONE: (914) 944-3377  
FAX: (866) 567-5240

JORGE B. HERNANDEZ R.A. A.I.A.  
LICENSE NUMBER: 030424-1  
CERTIFICATE NUMBER: 2323801

REVISIONS	DATE	BY
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RESUBMITTAL	9/30/2024	ARQ
P.B. COMMENTS	09/11/2024	ARQ
WHEELER LOADING	09/25/2024	ARQ
REV. DRAWINGS	10/9/2024	ARQ
REV. DRAWINGS	2/26/2025	ARQ
REV. DRAWINGS	4/9/2025	ARQ
PUBLIC HEARING	4/30/2025	ARQ

DRAWING TITLE:  
EXIST. SITE PLAN, AND IMAGES

PROJECT:  
THE LANDMARK AT 444

PROJECT ADDRESS:  
444 BEDFORD RD  
PLEASANTVILLE  
NY 10570

NYS EDUCATION LAW  
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SEAL & SIGNATURE

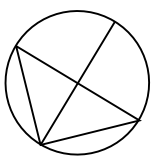
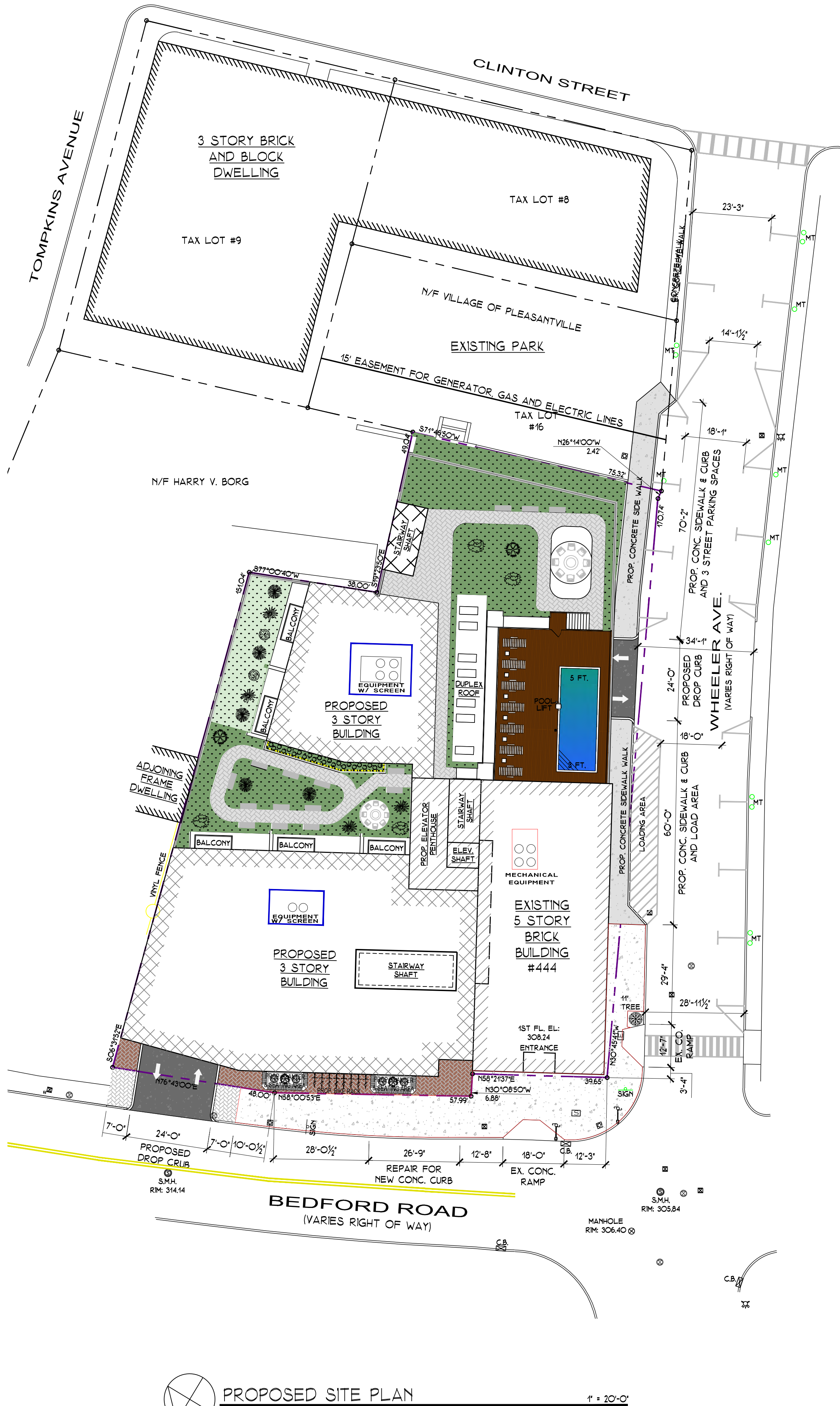
DATE:  
3/12/2021  
PROJECT NO:  
21-037  
DRAWING BY:  
ARQ  
CHECKED BY:  
JBH  
DWG. NO:  
S-100





PROPOSED DEVELOPMENT PLAN

N.T.S.



PROPOSED SITE PLAN

1" = 20'-0"

CONSTRUCTION NOTES:

- IMPROVEMENTS WITHIN THE VILLAGE RIGHT-OF-WAY (ROW) SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING DPW STANDARD CONSTRUCTION DETAILS (SD).
- BEDFORD ROAD AND WHEELER AVENUE EXISTING PORTLAND CEMENT CONCRETE (PCC) CURB, SIDEWALK AND DRIVEWAY APRONS FRONTING THE PROPOSED PROJECT SHALL BE REPLACED IN ACCORDANCE WITH APPLICABLE VOP DPW STANDARD CONSTRUCTION DETAILS.
- WHEELER AVENUE SHALL BE MILLED AND RESURFACED (2 INCH DEPTH) WITH NYSDOT 6 F3 HOT MIX ASPHALT (HMA) TOP COURSE BETWEEN THE WHEELER AVENUE AND CLINTON STREET EXISTING CROSSWALKS.
- EXISTING WATER SERVICE LINE SHALL BE DISCONNECTED IN ACCORDANCE WITH DPW REQUIREMENTS. PROPOSED DOMESTIC AND WATER SERVICES SHALL BE SEPARATE LINES AND CONNECTED TO THE WHEELER AVENUE 8 INCH CIP WATER MAIN WITH A PROPOSED 5 GATE VALVE CONFIGURATION AND DUCTILE IRON SOLID SLEEVE FITTINGS IN ACCORDANCE WITH DPW REQUIREMENTS (SD-3C).
- EXISTING SANITARY SEWER SERVICE LINE SHALL BE DISCONNECTED IN ACCORDANCE WITH DPW REQUIREMENTS (SD-4G). PROPOSED SANITARY SEWER SERVICE SHALL BE 4 INCH MINIMUM DIAMETER AND CONNECTED TO THE WHEELER AVENUE EXISTING 8 INCH SANITARY SEWER MAIN IN ACCORDANCE WITH DPW REQUIREMENTS (SD-4C).
- APPLICANT SHALL PERFORM SANITARY SEWER FLOW MONITORING IN THE WHEELER AVENUE SANITARY SEWER MANHOLE(S) FOR A DURATION AND SIGNIFICANT RAINFALL EVENTS AS DIRECTED BY DPW. APPLICANT SHALL PROVIDE SANITARY SEWER FLOW/LOADING CALCULATIONS FOR THE PROPOSED DEVELOPMENT. DPW REQUIRES THAT SANITARY SEWER PEAK FLOW DOES NOT EXCEED 67% OR 2/3 OF THE SANITARY SEWER MAIN CAPACITY/DIAMETER. THE APPLICANT WILL BE REQUIRED TO PERFORM DOWNSTREAM SANITARY SEWER IMPROVEMENTS IF FLOW WITHIN THE WHEELER AVENUE EXISTING SANITARY SEWER MAIN EXCEEDS 67% OF THE PIPE CAPACITY (AT PEAK FLOW).
- WHEELER AVENUE (BETWEEN BEDFORD ROAD AND CLINTON STREET) EXISTING 8 INCH VCP SANITARY SEWER MAIN SHALL BE CURED-IN-PLACE PIPE (CIPP) LINED TO MITIGATE INFLOW/INFILTRATION (I/I). APPLICANT SHALL INSPECT AND VERIFY IF THE WHEELER AVENUE SANITARY SEWER MAIN WAS PREVIOUSLY CIPP LINED. CIPP LINING WILL NOT BE REQUIRED IF THIS PREVIOUSLY COMPLETION FOR THIS PORTION OF SANITARY SEWER.
- WHEELER AVENUE EXISTING TWO (2) SANITARY SEWER MANHOLES SHALL REQUIRE TRENCHLESS (I.E. 1/2 INCH THICK CEMENTITIOUS LINING) MANHOLE REHABILITATION AND MANHOLE CASTING REPLACEMENT (REFER TO ATTACHED SD-3E AND 11).
- APPLICANT SHALL BE RESPONSIBLE TO CORE DRILL AND PROVIDE A SOLID 4 INCH PVC SDR-35 SLEEVE FOR REPLACEMENT OF EXISTING PARKING METER POSTS TEMPORARILY REMOVED FOR THE PROJECT.

- a. Proposed Domestic Water Service = 2 inch Type 'K' Copper (Class 54 DIP if >2")  
b. Proposed Fire Service = 4 Inch Class 54 Ductile Iron Pipe (DIP)  
c. Proposed Sanitary Sewer Service = 6 inch PVC SDR-35

		REQMENTS	EXISTING	PROPOSED	VARIANCE
MAX. BUILDING WALL LENGTH	FT.	N.R.	148.25'	166.16'	-
PARKING REQUIREMENTS					
EXISTING PARKING TABULATION					NO
24,124 SQ. FT. (BUSINESS OFFICE) / 300 S.F.					
TOTAL REQUIRED					
TOTAL PROVIDED		= 80.4			
		= 80 PARKING SPACES			
		= 16 PARKING SPACES			
PROPOSED PARKING TABULATION					
20 (1 BEDROOM APARTMENT) X 1 PARKING SPACE		= 20 PARKING SPACES			
16 (2 BEDROOMS APARTMENT) X 15 PARKING SPACE		= 24 PARKING SPACES			
RETAIL SPACE = 2,146 S.F. / 300 S.F.		= 7 PARKING SPACE			
TOTAL REQUIRED		= 51 PARKING SPACES			
TOTAL PROVIDED		= 51 PARKING SPACES			
ADDITIONAL PARKING TABULATIONS (#185-38 VILLAGE OF PLEASANTVILLE ZONING ORDINANCE)					
STANDARD SIZE PARKING SPACES (#185-38(C)) Min. 8.5'X10' = 44 PARKING SPACES = 86.28%					
COMPACT SIZE PARKING SPACES (#185-38(F)) Min. 7.5'X15' = 7 PARKING SPACES = 13.72%					
TOTAL = 51 PARKING SPACES = 100%					
<u>7 COMPACT SIZE PARKING SPACES = 13.72% LESS THAN 30% (#185-38(F)(3)) = OK</u>					
MINIMUM ACCESSIBLE PARKING SPACES					
(TABLE #208.2 2010 ADA STANDARDS)					

ZONING DATA - VILLAGE OF PLEASANTVILLE

NAME OF OWNER: 444 ASSOCIATES CO. LLC.					
NAME OF ARCHITECT: JORGE B. HERNANDEZ R.A. A.I.A. (ARQ. ARCHITECTURE PC)					
TAX MAP DESIGNATION: SECT: 106.6 BLOCK: 5 LOT: 16,17,18,19 & 20					
ZONING DISTRICT: A-1 CENTRAL BUSINESS DISTRICT					
		REQMENTS	EXISTING	PROPOSED	VARIANCE
MIN. LOT AREA	SQ. FT.	2,500 S.F.	22,331 S.F.	N.C.	NO
MIN. LOT WIDTH	FT.	N.R.	-	N.C.	-
MIN. LOT DEPTH	FT.	N.R.	-	N.C.	-
MIN. FRONT YARD SBK (BEDFORD ROAD)	FT.	N.R.	O	N.C.	-
MIN. FRONT YARD SBK (WHEELER AVENUE)	FT.	N.R.	O	N.C.	-
MIN. EACH SIDE YARD SBK	FT.	NONE OR 6' x	26.0'	6.0'	NO
MIN. BOTH SIDE YARD SBK	FT.	-	26.0'	6.0'	-
MIN. REAR YARD SBK	FT.	N.R.	-	O	-
MIN. EACH SIDE YARD SETBACK ADJACENT TO RESIDENCE DISTRICT	FT.	20.0'	NOT APPLICABLE	-	-
MIN. REAR YARD SETBACK ADJACENT TO RESIDENCE DISTRICT	FT.	20.0'	NOT APPLICABLE	-	-
MAX. FLOOR AREA RATIO (2.0)	SQ. FT.	44,662 S.F.	24,124 S.F.	48,510 S.F.	-
MAX. F.A.R. BONUS (15%)	SQ. FT.	51,361 S.F.	-	50,872 S.F.	-

SAFE DIG

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CALL US TOLL FREE 1-800-962-7962  
NY Industrial Code Rule 753 requires no less than two working days notice, but not more than ten days notice. **UFPO**



100 EXECUTIVE BLVD. SUITE 204  
OSSINING, NY 10562  
arqpc.com  
PHONE: (914) 944-3377  
FAX: (866) 567-5240

JORGE B. HERNANDEZ R.A. A.I.A.  
LICENSE NUMBER: 030424-1  
CERTIFICATE NUMBER: 2323801

REVISIONS	DATE	BY
RESUBMITTAL	9/14/2023	ARQ
RESUBMITTAL	4/26/2024	ARQ
RESUBMITTAL	9/30/2024	ARQ
P.B. COMMENTS	09/11/2024	ARQ
WHEELER LOADING	09/25/2024	ARQ
REV. DRAWINGS	10/9/2024	ARQ
REV. DRAWINGS	2/26/2025	ARQ
REV. DRAWINGS	4/9/2025	ARQ
PUBLIC HEARING	4/30/2025	ARQ

DRAWING TITLE:

PROPOSED SITE PLANS,  
DEVELOPMENT PLANS, ZONING  
DATA AND IMAGES

PROJECT:

THE LANDMARK AT 444

PROJECT ADDRESS:

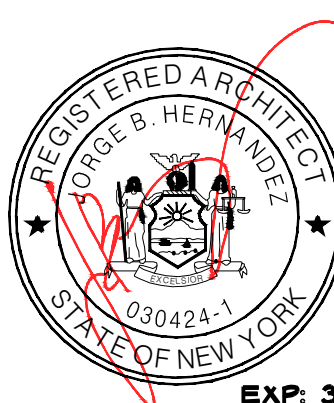
444 BEDFORD RD  
PLEASANTVILLE  
NY 10570

NY'S EDUCATION LAW

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SEAL & SIGNATURE



DATE:

3/12/2021

PROJECT NO.:

21-037

DRAWING BY:

ARQ

CHECKED BY:

JBH

DWG. NO.:

S-101





100 EXECUTIVE BLVD. SUITE 204  
OSSINING, NY 10562  
arqpc.com  
PHONE: (914) 944-3377  
FAX: (866) 567-5240

JORGE B. HERNANDEZ R.A. A.I.A.  
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REV. DRAWINGS	4/9/2025	ARQ
PUBLIC HEARING	4/30/2025	ARQ

DRAWING TITLE:

PROPOSED SITE PLAN  
3D VIEW

PROJECT:

THE LANDMARK AT 444

PROJECT ADDRESS:

444 BEDFORD RD  
PLEASANTVILLE  
NY 10570

NYS EDUCATION LAW

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SEAL & SIGNATURE



EXP. 3-31-2026

DATE:

3/12/2021

PROJECT NO.:

21-037

DRAWING BY:

ARQ

CHECKED BY:

JBH

DWG. NO.:

S-101  
(A)









RAMSAY LAND SURVEYING, P.C.  
PROFESSIONAL LAND SURVEYORS – PLANNERS

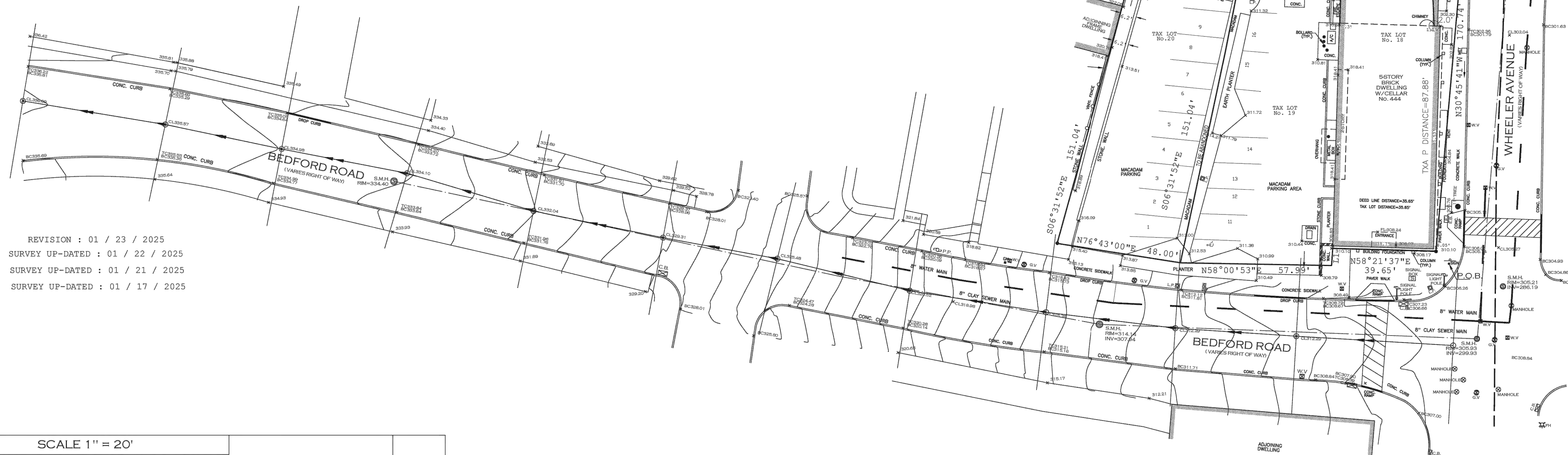
NOTE I:  
THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID CERTIFICATIONS SHALL RUN ONLY TO THE PERSON AND OR THE ORGANIZATION FOR WHOM THIS SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENT AGENCY AND LENDING INSTITUTION LISTED HEREON AND TO THE SUCCESSORS AND OR ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE. UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBSECTION 2, OF THE NEW YORK STATE EDUCATION LAW. ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY STAMPED WITH AN ORIGINAL OF THE LAND SURVEYOR'S EMBOSSED OR INKED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.

NOTE II:  
THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE OR A FULL TITLE REPORT AND IS THEREFORE SUBJECT TO ANY STATE OF FACTS THAT MAY BE REVEALED BY AN EXAMINATION OF SUCH DOCUMENTS.

NOTE III:  
THERE ARE NO ACTIVE OR VISIBLE STREAM OR WATERCOURSE ON LOT No.18 & 19 IN BLOCK No. 5.  
LOCATION OF SUBSURFACE UTILITIES SHOWN HEREON ARE BASED ON RECORD INFORMATION AND / OR ELECTRONIC DETECTION METHODS AND ARE SUBJECT TO THE ACCURACY THEREOF. LOCATION OF SUBSURFACE FACILITIES SHOULD BE VERIFIED PRIOR TO EXCAVATION AND /OR CONSTRUCTION. CONSULT WITH THE APPROPRIATE UTILITY COMPANY OR AGENCY PRIOR TO DESIGNING IMPROVEMENTS.

NOTE IV:  
ELEVATIONS SHOWN HEREON REFER TO THE CITY OF PLEASANTVILLE.

L1  
N30°08'50"W 6.88'  
L2  
N26°14'00"W 2.42'



REVISION : 01 / 23 / 2025  
SURVEY UP-DATED : 01 / 22 / 2025  
SURVEY UP-DATED : 01 / 21 / 2025  
SURVEY UP-DATED : 01 / 17 / 2025

SCALE 1" = 20'

DESIGNATED AS SECTION 3, BLOCK 22, LOTS 4, 5, 5A, 6 AND 6A ON THE TAX ASSESSMENT MAP OF THE TOWN OF MOUNT PLEASANT, WESTCHESTER COUNTY, NEW YORK, AND ALSO KNOWN AS 444 BEDFORD ROAD AND 109 WHEELER AVENUE, PLEASANTVILLE, NEW YORK.

SEC. No. 106.6  
BLOCK No. 5

CERTIFIED TO :- 444 ASSOCIATES LLC  
WESTCHESTER COUNTY  
BUILDING DEPARTMENT.

DATE OF SURVEY : JANUARY 14, 2025  
MAP DRAFTED : JANUARY 21, 2025



RAMSAY LAND SURVEYING, P.C.  
PROFESSIONAL LAND SURVEYORS – PLANNERS

3024 RADCLIFF AVENUE  
BRONX, NEW YORK 10469  
MOBILE # 917 544 8174  
PHONE: 718 884 0238  
EMAIL:

NRVPC@LANDSURVY@YAHOO.COM



CROSS-CUT TOPOGRAPHICAL SURVEY  
OF  
444 BEDFORD ROAD AND  
109 WHEELER AVENUE,  
IN THE VILLAGE  
OF PLEASANTVILLE  
TOWN OF  
MOUNT PLEASANT  
WESTCHESTER COUNTY  
STATE OF NEW YORK.

NEVILLE V. RAMSAY, PROFESSIONAL LAND SURVEYOR  
NEW YORK STATE LICENCE No. 050294-1



100 EXECUTIVE BLVD. SUITE 204  
OSSING, NY 10562  
arqpc.com  
PHONE: (914) 944-3377  
FAX: (866) 567-5240

JORGE B. HERNANDEZ R.A. A.I.A.  
LICENSE NUMBER: 030424-1  
CERTIFICATE NUMBER: 2323801

REVISIONS	DATE	BY
RESUBMITTAL	9/14/2023	ARQ
RESUBMITTAL	4/26/2024	ARQ
RESUBMITTAL	6/30/2024	ARQ
P.B. COMMENTS	09/11/2024	ARQ
WHEELER LOADING	09/25/2024	ARQ
REV. DRAWINGS	10/9/2024	ARQ
REV. DRAWINGS	2/26/2025	ARQ
REV. DRAWINGS	4/9/2025	ARQ
PUBLIC HEARING	4/30/2025	ARQ

DRAWING TITLE:

RAMSAY LAND SURVEY

PROJECT:

THE LANDMARK AT 444

PROJECT ADDRESS:

444 BEDFORD RD  
PLEASANTVILLE  
NY 10570

NYS EDUCATION LAW

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SEAL & SIGNATURE



EXP. 3-31-2026

DATE:

3/12/2021

PROJECT NO.:

21-037

DRAWN BY:

ARQ

CHECKED BY:

JBH

DWG. NO.:

S-103





RAMSAY LAND SURVEYING, P.C.  
PROFESSIONAL LAND SURVEYORS – PLANNERS

CROSS- SECTIONS ALONG BEDFORD ROAD .

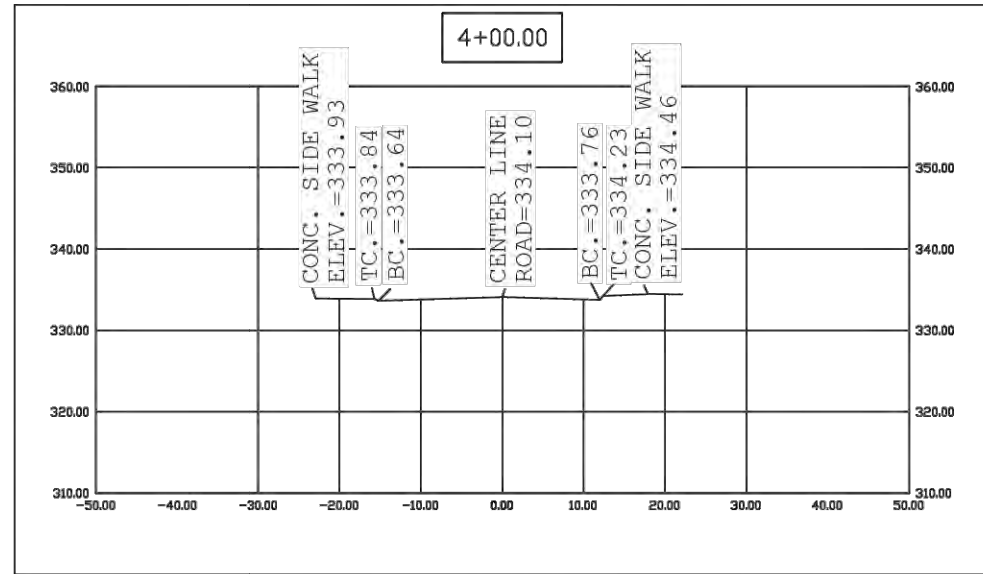
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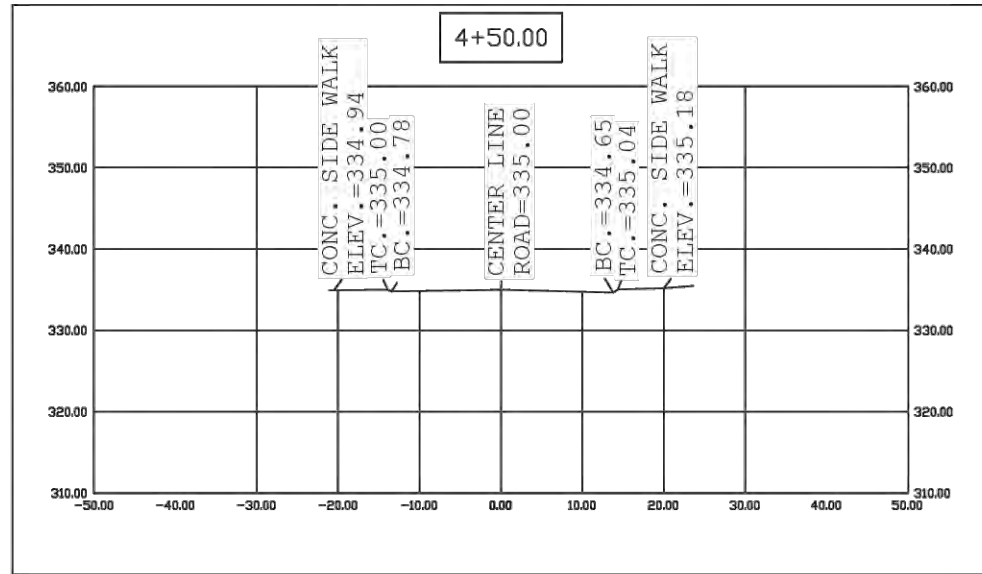
100 EXECUTIVE BLVD. SUITE 204  
OSSINING, NY 10562  
arqpc.com  
PHONE: (914) 944-3377  
FAX: (866) 567-5240

JORGE B. HERNANDEZ R.A. A.I.A.  
LICENSE NUMBER: 030424-1  
CERTIFICATE NUMBER: 2323801

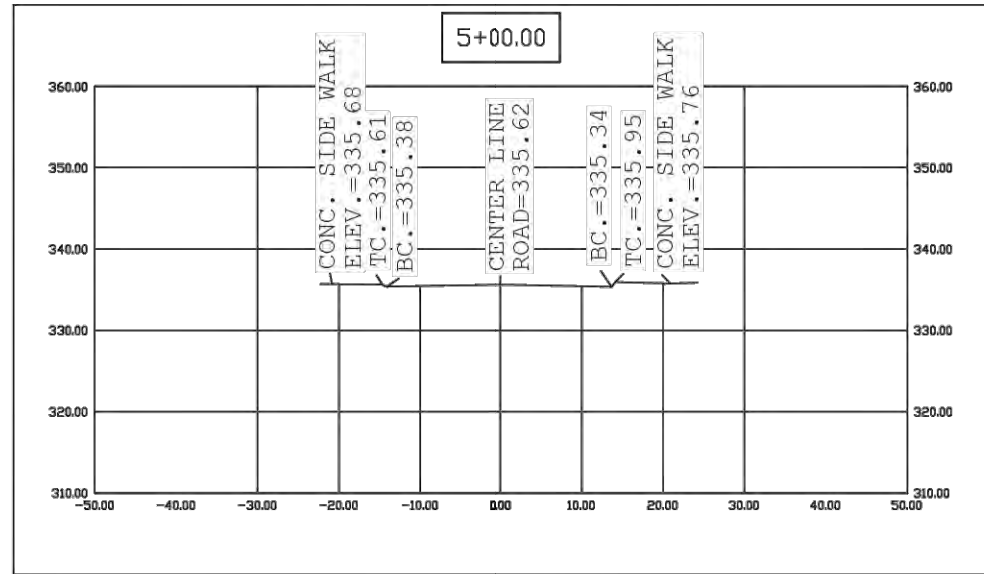
REVISIONS	DATE	BY
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RESUBMITTAL	4/26/2024	ARQ
RESUBMITTAL	9/30/2024	ARQ
P.B. COMMENTS	09/11/2024	ARQ
WHEELER LOADING	09/26/2024	ARQ
REV. DRAWINGS	10/9/2024	ARQ
REV. DRAWINGS	2/26/2025	ARQ
REV. DRAWINGS	4/9/2025	ARQ
PUBLIC HEARING	4/30/2025	ARQ



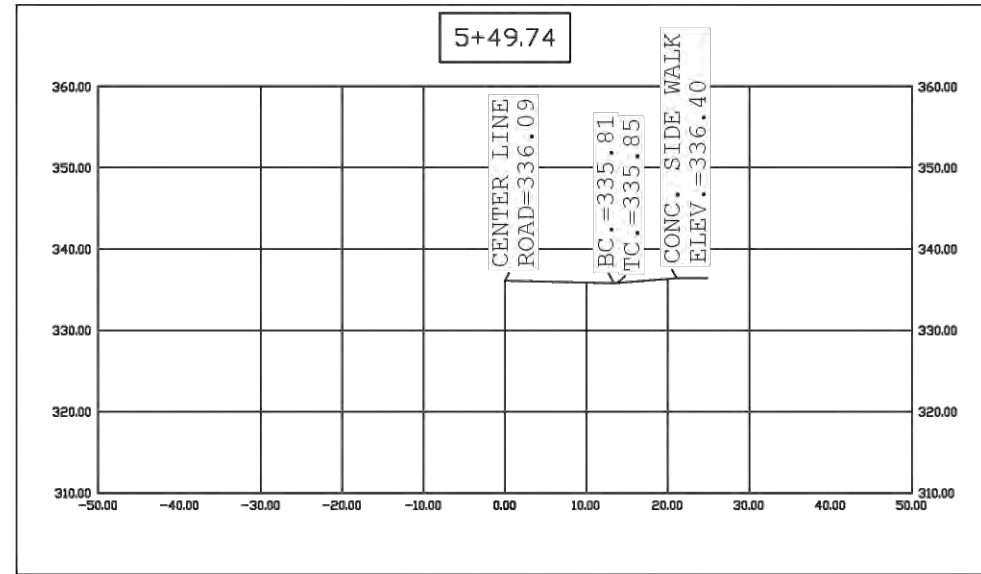
SECTION 9



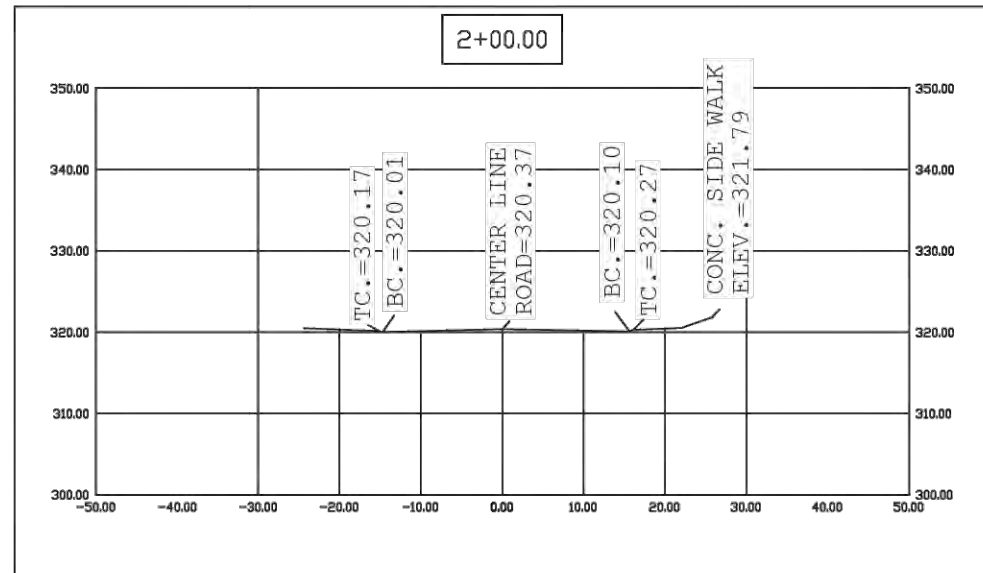
SECTION 10



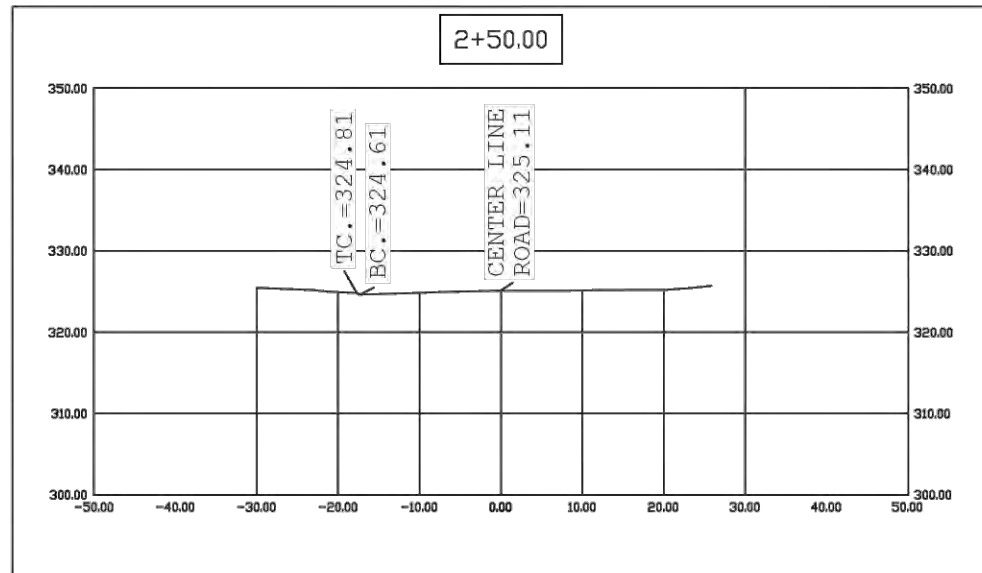
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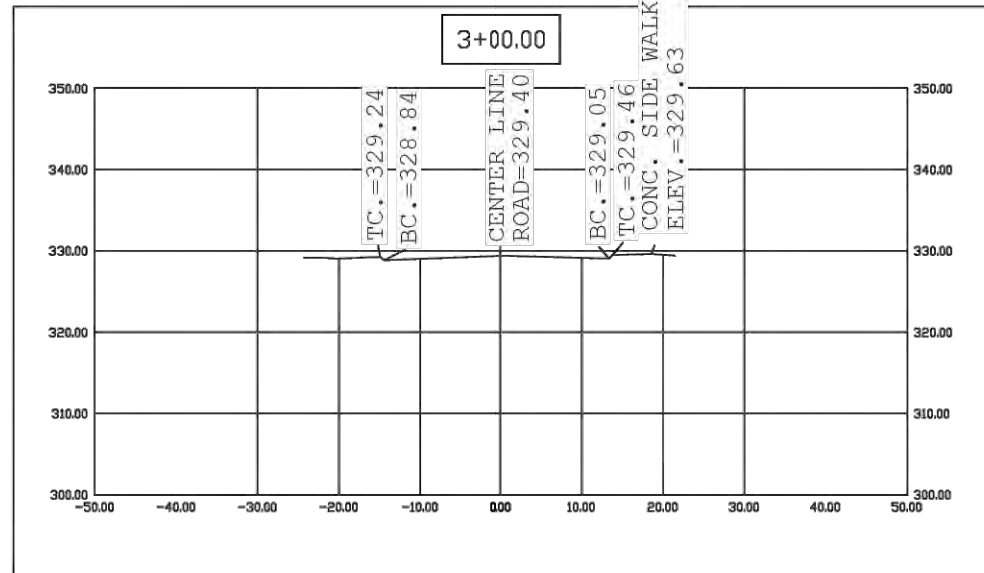
SECTION 11



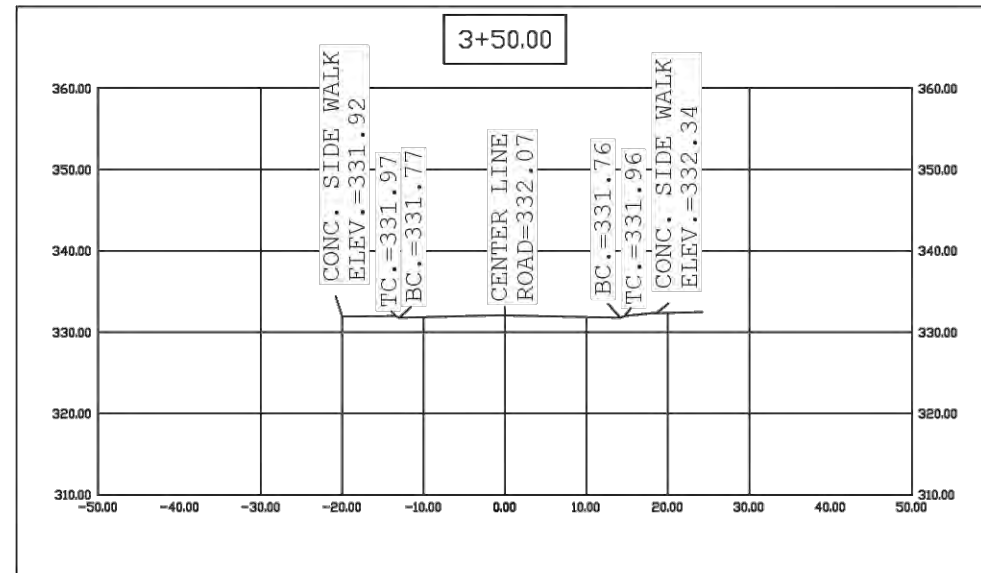
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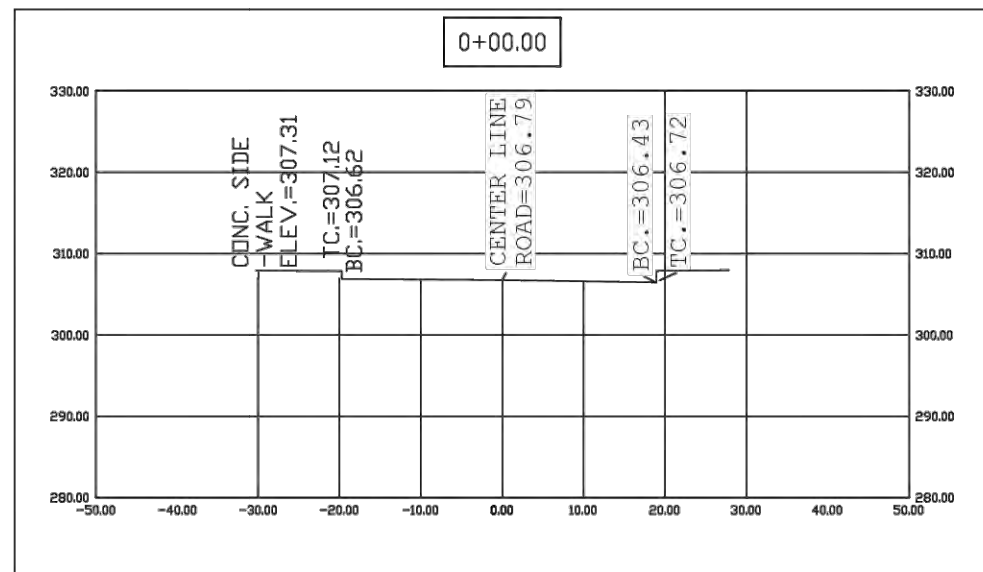
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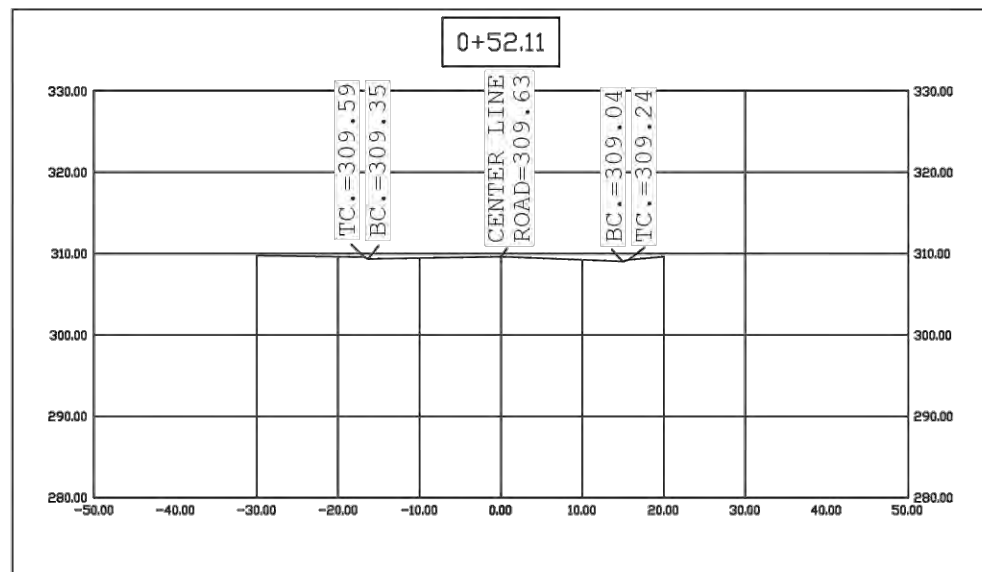
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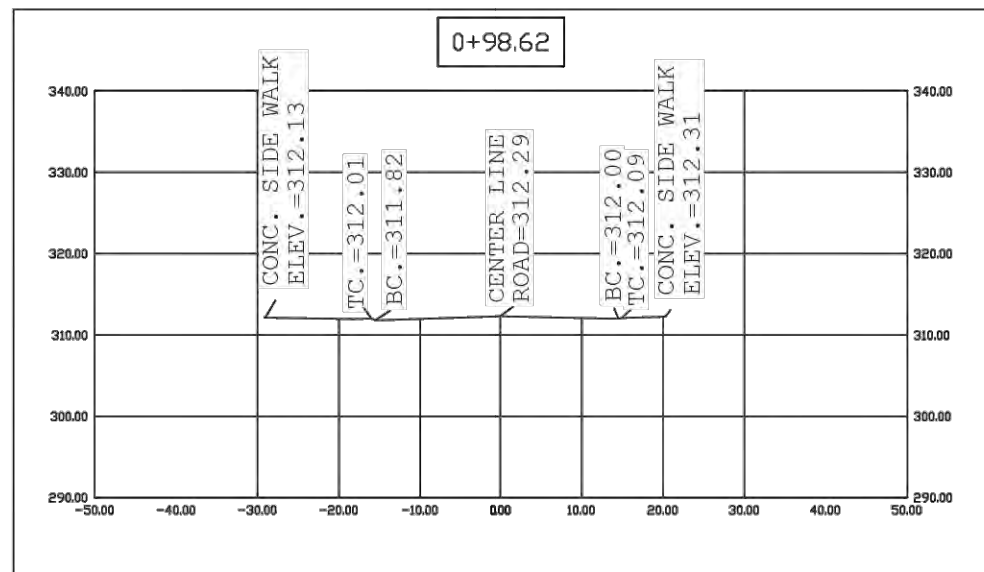
SECTION 8



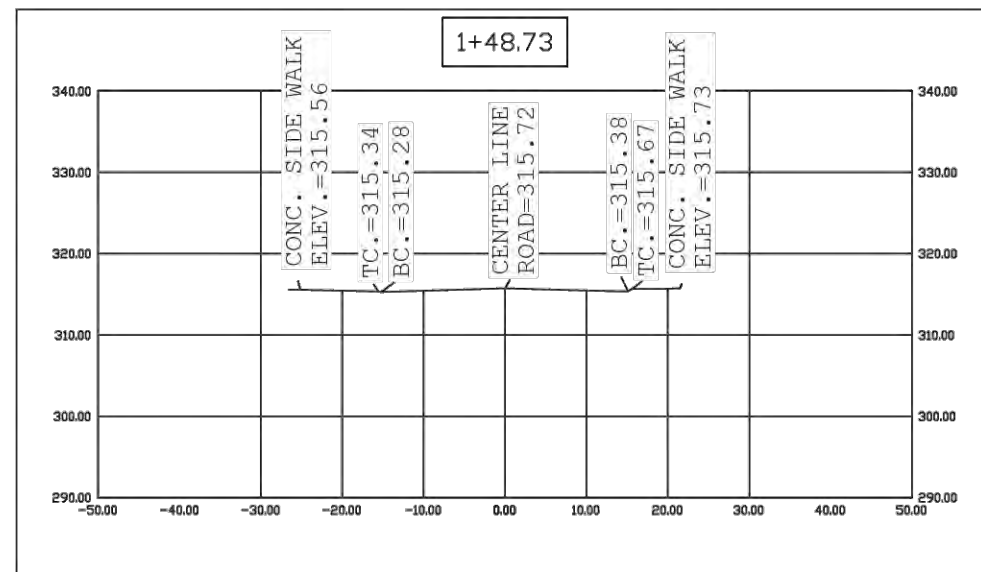
SECTION 1



SECTION 2



SECTION 3



SECTION 4

SCALE 1" = 20'

DESIGNATED AS SECTION 3, BLOCK 22, LOTS 4, 5, 5A, 6 AND 6A  
ON THE TAX ASSESSMENT MAP OF THE TOWN OF MOUNT PLEASANT,  
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SEC. No. 106.6  
BLOCK No. 5

CERTIFIED TO : 444 ASSOCIATES LLC  
WESTCHESTER COUNTY  
BUILDING DEPARTMENT.

DATE OF SURVEY : JANUARY 14, 2025  
MAP DRAFTED : JANUARY 21, 2025



RAMSAY LAND SURVEYING, P.C.  
PROFESSIONAL LAND SURVEYORS – PLANNERS

3024 RADCLIFF AVENUE  
BRONX, NEW YORK 10469  
MOBILE # 917 544 8174  
PHONE: 718 884 0238  
EMAIL:

RVNPTCLANDSURV@YAHOO.COM



CROSS-CUT TOPOGRAPHICAL SURVEY  
OF  
444 BEDFORD ROAD AND  
109 WHEELER AVENUE,  
IN THE VILLAGE  
OF PLEASANTVILLE  
TOWN OF  
MOUNT PLEASANT  
WESTCHESTER COUNTY  
STATE OF NEW YORK.

NEVILLE V. RAMSAY, PROFESSIONAL LAND SURVEYOR  
NEW YORK STATE LICENCE No. 050294-1

DRAWING TITLE:

CROSS SECTIONS ALONG  
BEDFORD ROAD

PROJECT:

THE LANDMARK AT 444

PROJECT ADDRESS:

444 BEDFORD RD  
PLEASANTVILLE  
NY 10570

NYS EDUCATION LAW

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SEAL & SIGNATURE



EXP. 3-31-2026

DATE:

3/12/2021

PROJECT NO:

21-037

DRAWING BY:

ARQ

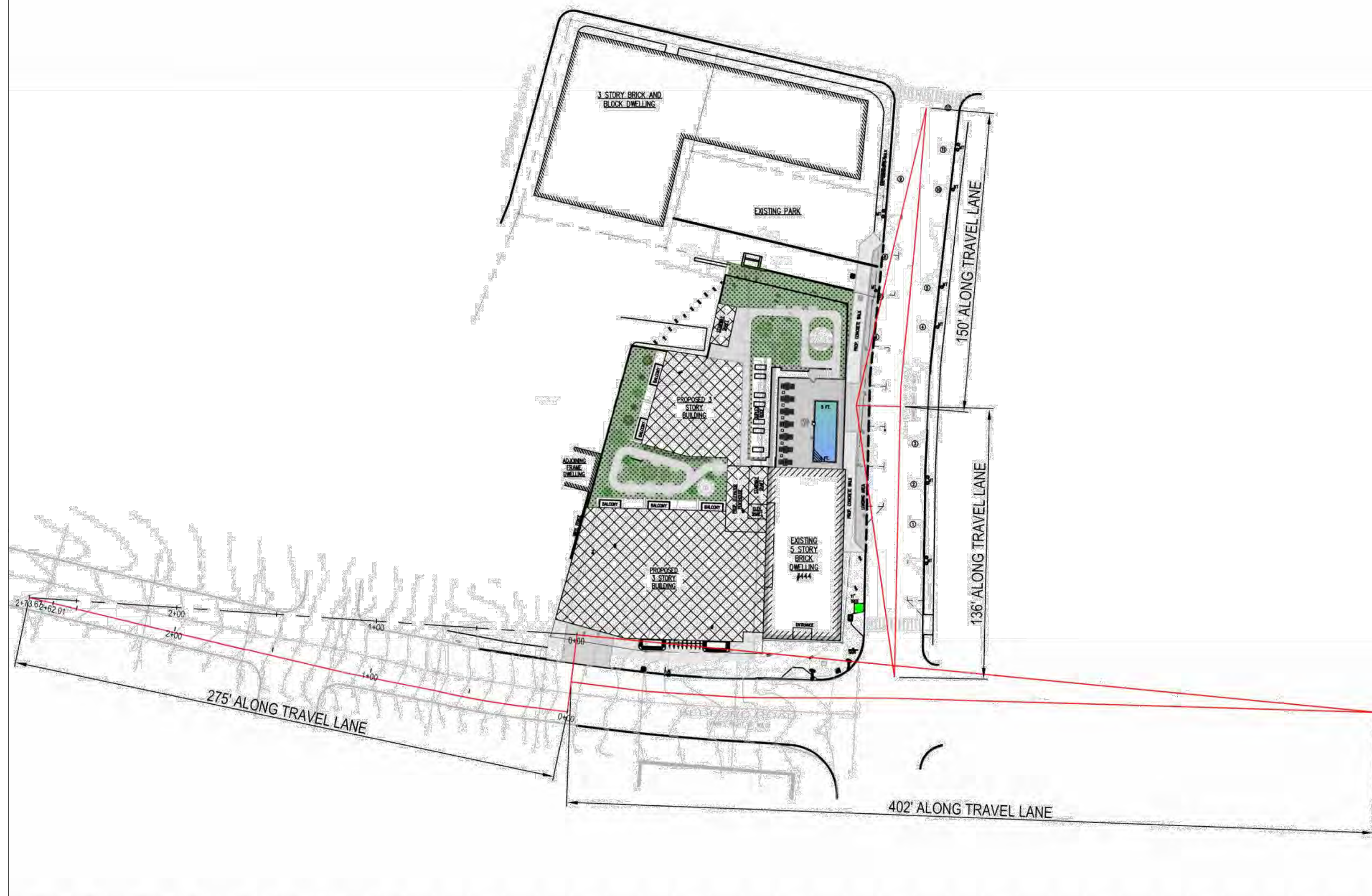
CHECKED BY:

JBH

DWG. NO:

S-104





1 INTERSECTION SIGHT DISTANCE PLAN DATE: 4/4/2025  
SCALE: 1"=40'  
ORIGINAL SCALE 1"=40'



1 WHEELER AVE INTERSECTION SIGHT DISTANCE PLAN DATE: 4/4/2025  
SCALE: 1"=30'  
ORIGINAL SCALE 1"=30'



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OSSING, NY 10562  
arqpc.com  
PHONE: (914) 944-3377  
FAX: (866) 567-5240

JORGE B. HERNANDEZ R.A. A.I.A.  
LICENSE NUMBER: 030424-1  
CERTIFICATE NUMBER: 2323801

REVISIONS	DATE	BY
RESUBMITTAL	9/14/2023	ARQ
RESUBMITTAL	4/26/2024	ARQ
RESUBMITTAL	9/30/2024	ARQ
P.B. COMMENTS	09/11/2024	ARQ
WHEELER LOADING	09/26/2024	ARQ
REV. DRAWINGS	10/9/2024	ARQ
REV. DRAWINGS	2/26/2025	ARQ
REV. DRAWINGS	4/9/2025	ARQ
PUBLIC HEARING	4/30/2025	ARQ

DRAWING TITLE:  
PROPOSED INTERSECTION  
SIGHT DISTANCES PLANS

PROJECT:  
THE LANDMARK AT 444

PROJECT ADDRESS:  
444 BEDFORD RD  
PLEASANTVILLE  
NY 10570

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PROJECT NO.:	
21-037	
DRAWING BY:	
ARQ	
CHECKED BY:	
JBH	

S-105





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JORGE B. HERNANDEZ R.A. A.I.A.  
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P.B. COMMENTS	09/11/2024	ARQ
WHEELER LOADING	09/26/2024	ARQ
REV. DRAWINGS	10/9/2024	ARQ
REV. DRAWINGS	2/26/2025	ARQ
REV. DRAWINGS	4/9/2025	ARQ
PUBLIC HEARING	4/30/2025	ARQ

DRAWING TITLE:

PROPOSED INTERSECTION  
SIGHT DISTANCE PLAN W/  
AERIAL VIEW

PROJECT:

THE LANDMARK AT 444

PROJECT ADDRESS:

444 BEDFORD RD  
PLEASANTVILLE  
NY 10570

NYS EDUCATION LAW

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3/12/2021

PROJECT NO.:

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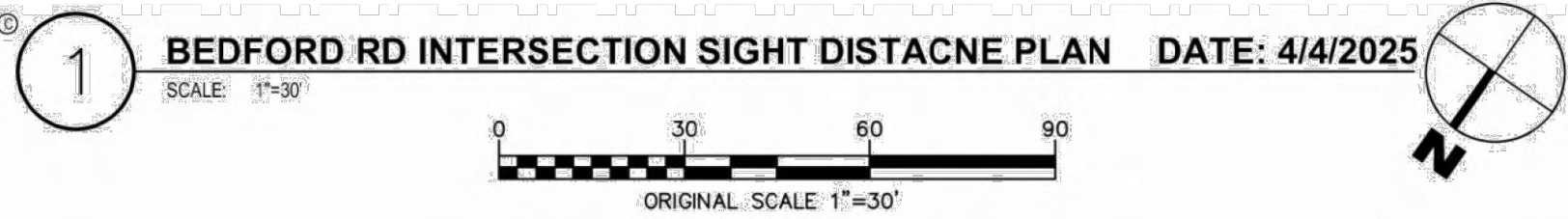
ARQ

CHECKED BY:

JBH

DWG. NO.:

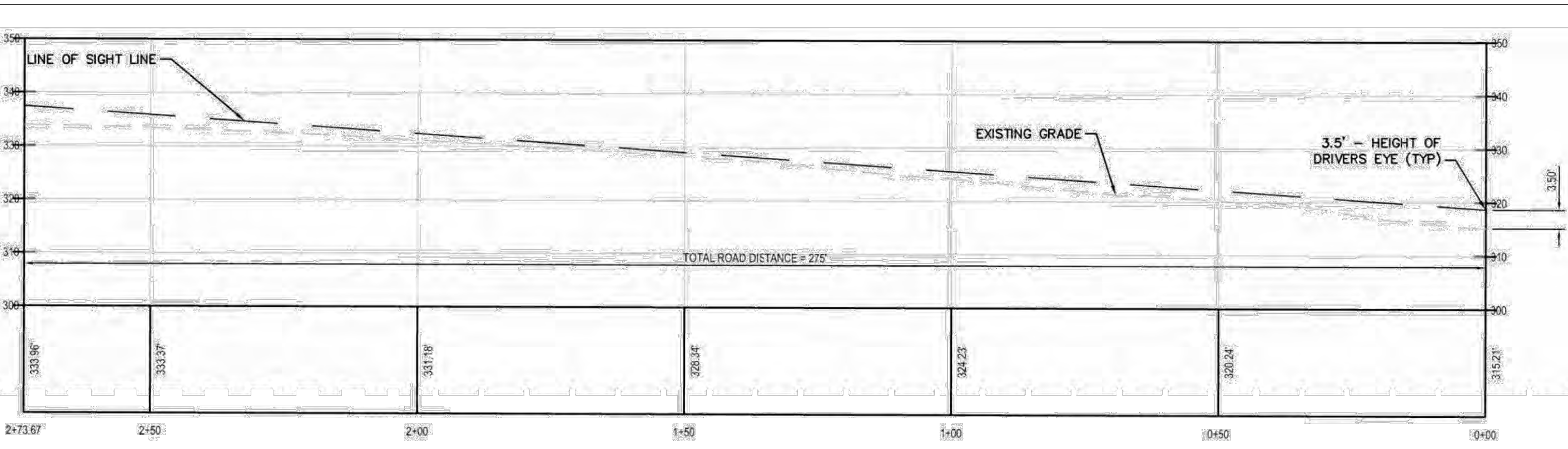
S-106



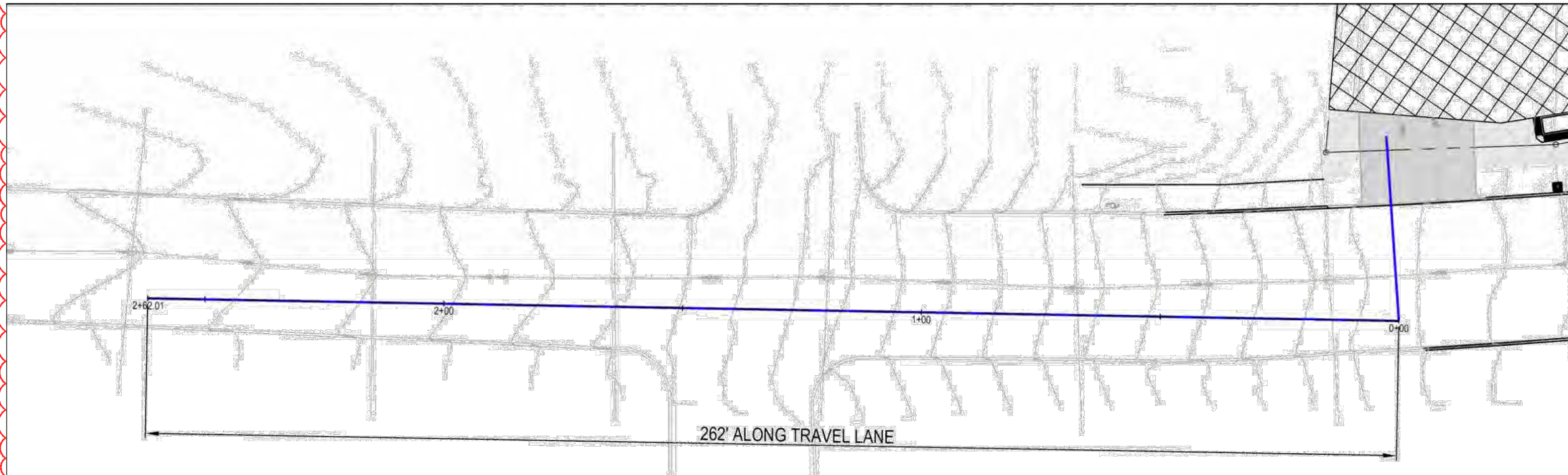




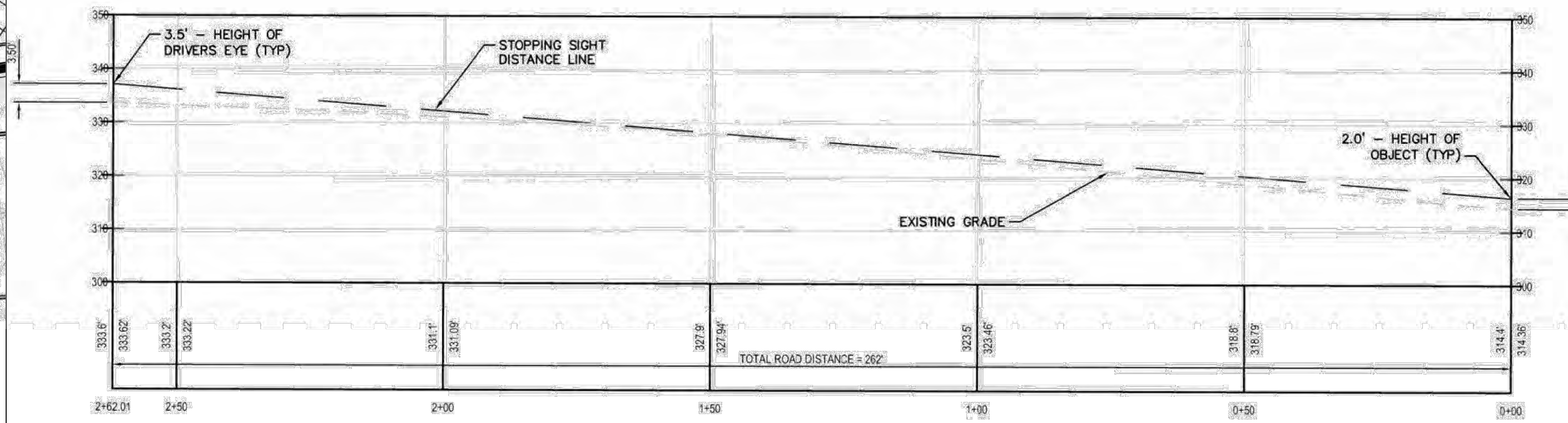
1 BEDFORD INTERSECTION SIGHT DISTANCE PLAN VIEW DATE: 4/4/2025  
SCALE: 1"=20'  
ORIGINAL SCALE 1"=20'



1 BEDFORD ROAD INTERSECTION SIGHT DISTANCE PROFILE DATE: 4/4/2025  
SCALE: H: 1"=20' V: 1"=20'



1 BEDFORD ROAD STOPPING SIGHT DISTANCE PLAN VIEW DATE: 4/4/2025  
SCALE: 1"=20'  
ORIGINAL SCALE 1"=20'



1 BEDFORD ROAD STOPPING SIGHT DISTANCE PROFILE DATE: 4/4/2025  
SCALE: H: 1"=20' V: 1"=20'



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REVISIONS	DATE	BY
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REV. DRAWINGS	10/9/2024	ARQ
REV. DRAWINGS	2/26/2025	ARQ
REV. DRAWINGS	4/9/2025	ARQ
PUBLIC HEARING	4/30/2025	ARQ

DRAWING TITLE:  
PROPOSED INTERSECTION  
SIGHT DISTANCE, STOPPING  
SIGHT DISTANCE PLANS &  
PROFILES

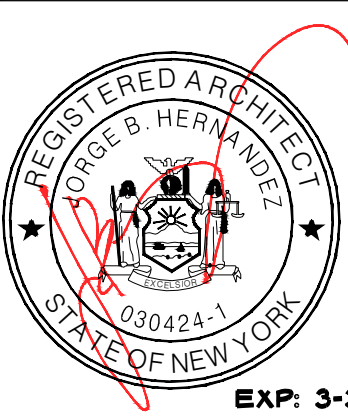
PROJECT:  
THE LANDMARK AT 444

PROJECT ADDRESS:  
444 BEDFORD RD  
PLEASANTVILLE  
NY 10570

NY'S EDUCATION LAW  
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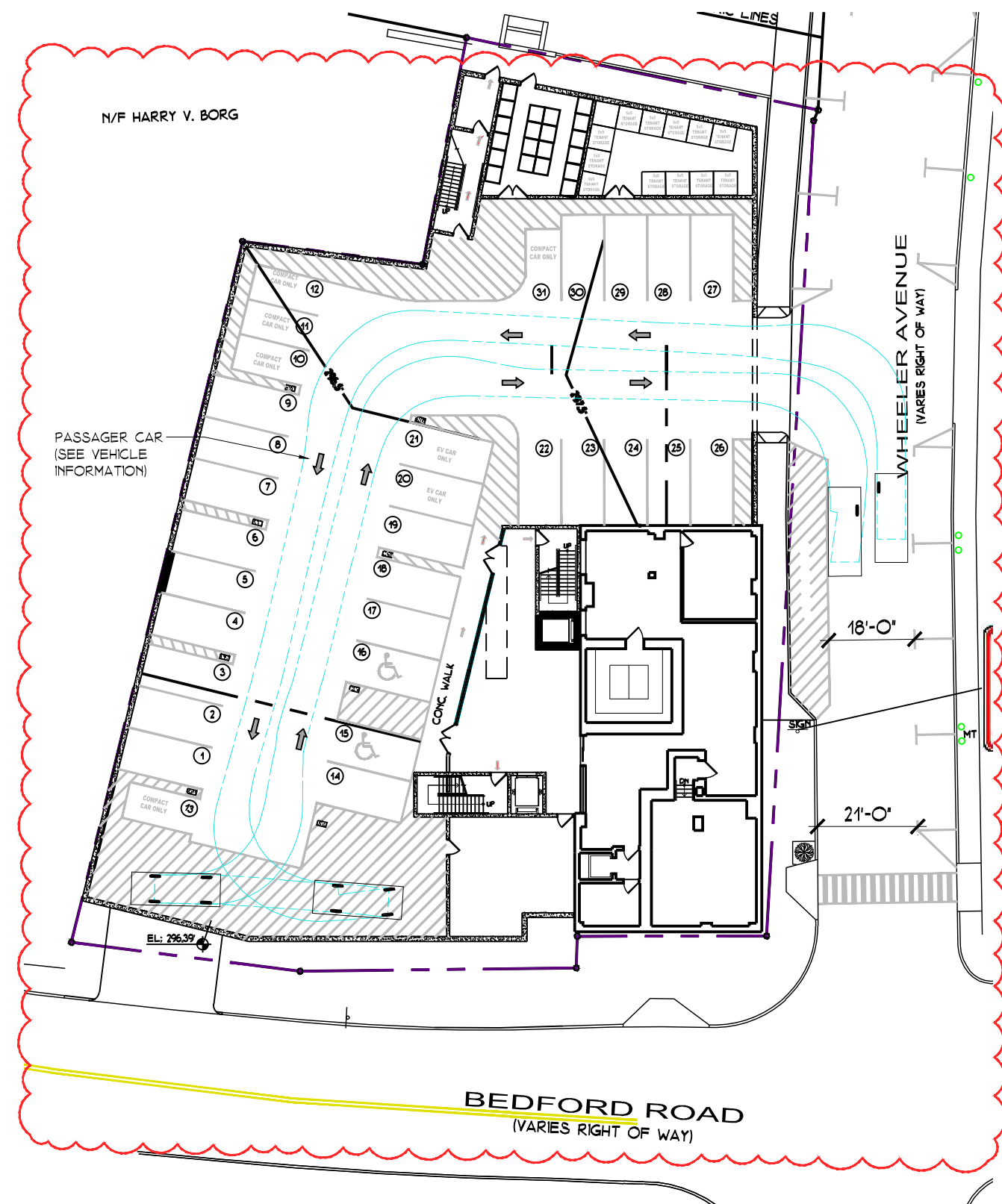
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SEAL & SIGNATURE



DATE: 3/12/2021  
PROJECT NO: 21-037  
DRAWING BY: ARQ  
CHECKED BY: JBH  
DWG. NO: S-107



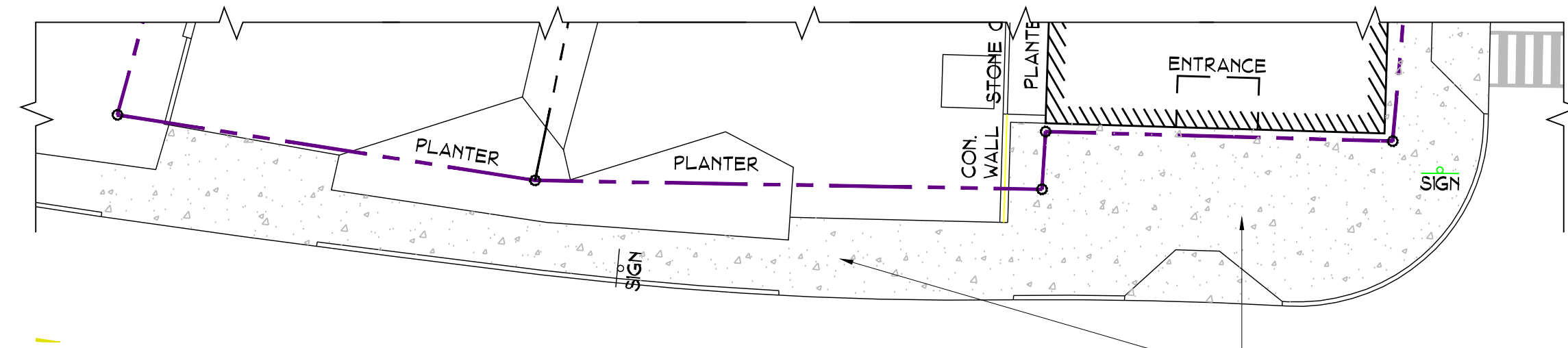


PROPOSED LOWER LEVEL  
VEHICLE MANEUVERABILITY  
(PASSENGER CAR)  
1" = 30'-0"

VEHICLE INFORMATION		N.T.S.	
PASSENGER CAR:	19'-0"	22' DELIVERY VEHICLE:	22'-9"
OVERALL LENGTH:	19'-0"	OVERALL LENGTH:	22'-9"
OVERALL WIDTH:	7'-0"	OVERALL WIDTH:	6'-5"
OVERALL BODY HEIGHT:	4'-3"	OVERALL BODY HEIGHT:	8'-9"
TRACK WIDTH:	6'-0"	TRACK WIDTH:	6'-5"

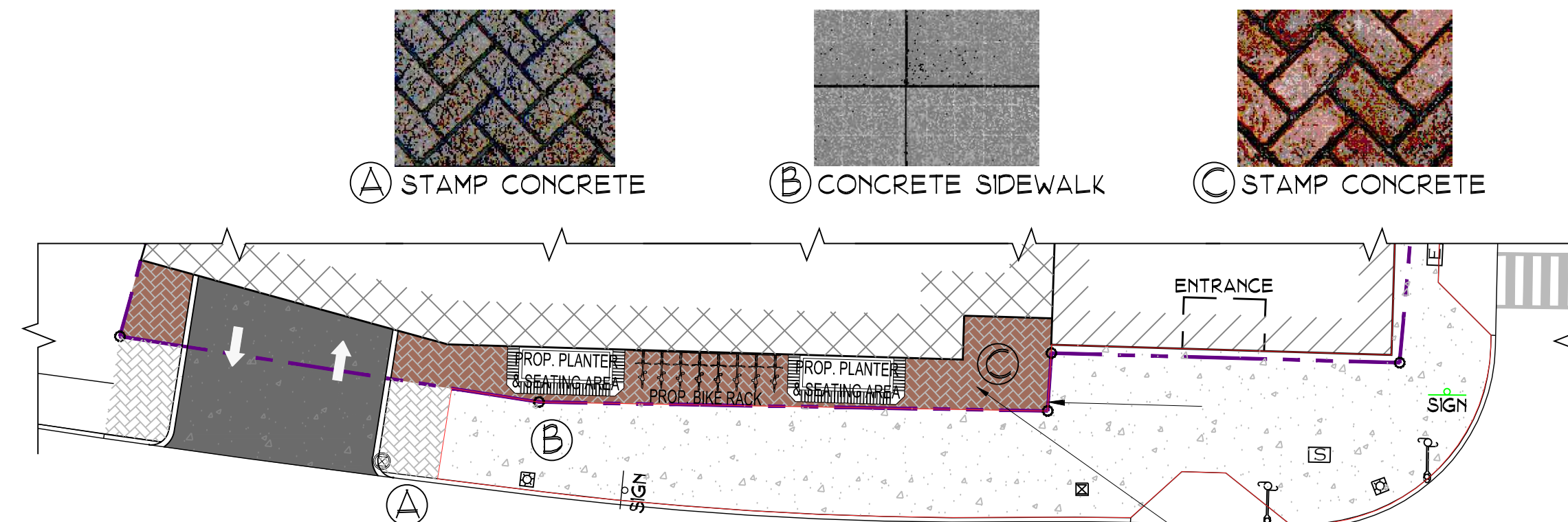


PROPOSED MAIN LEVEL  
VEHICLE MANEUVERABILITY  
(PASSENGER CAR AND DELIVERY VAN)  
1" = 30'-0"



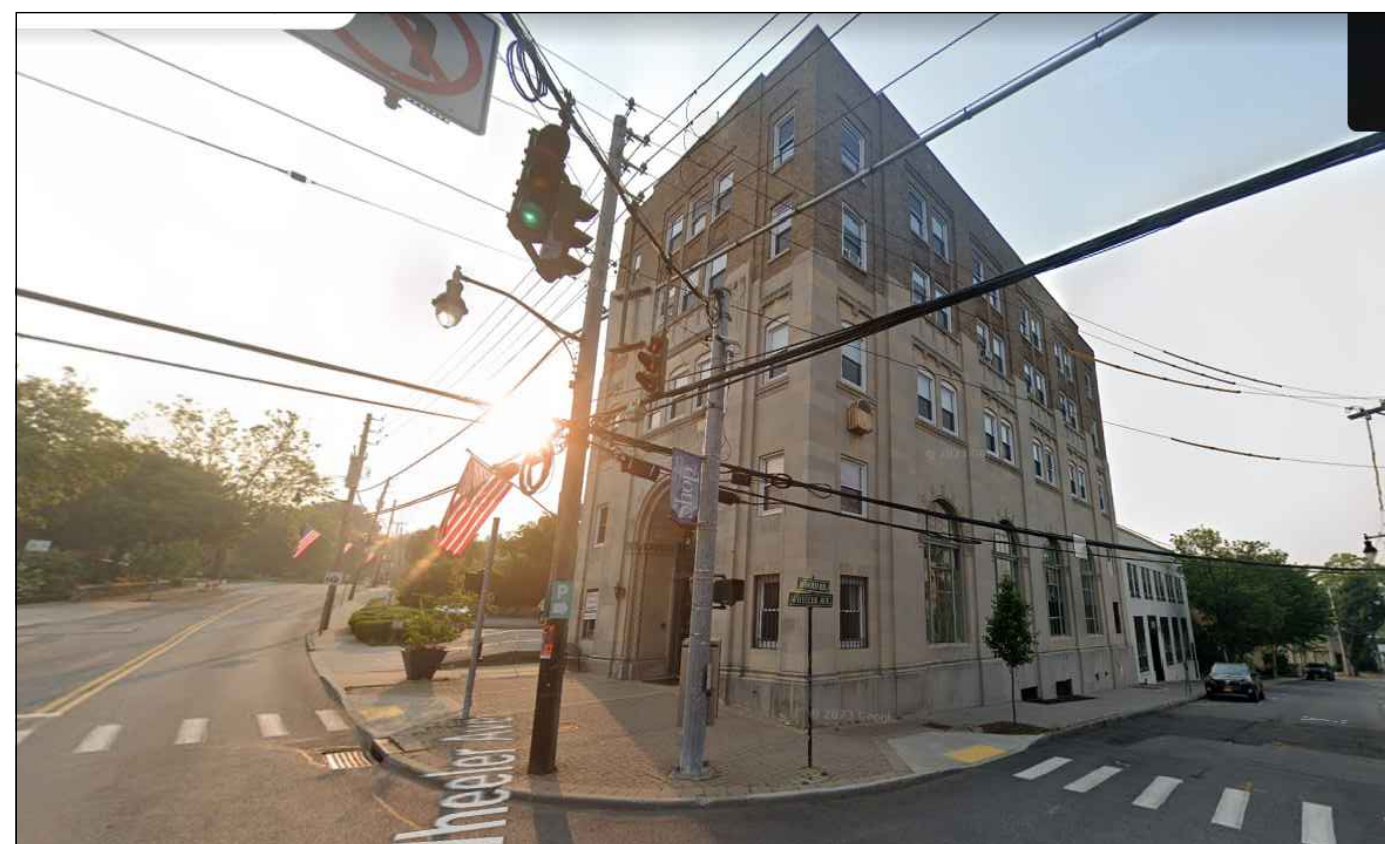
EXISTING CIVIC SPACE PLAN  
1" = 20'-0"

EXIST.  
SIDEWALK CIVIC SPACE  
AREA= 1,149 SQ.FT.

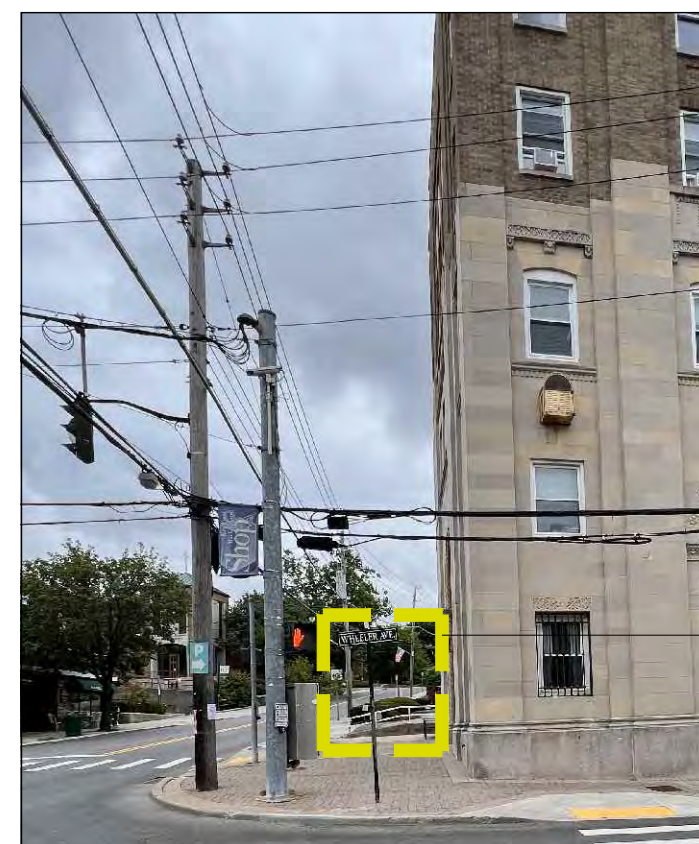


PROPOSED CIVIC SPACE PLAN  
1" = 20'-0"

PROPOSED  
CONTIGUOUS SIDEWALK  
CIVIC SPACE  
AREA= 2,323 SQ.FT.



EXISTING CIVIC SPACE CONDITIONS PLAN  
N.T.S.



PROPOSED  
ADDITIONAL SPACE



PROPOSED CIVIC SPACE  
N.T.S.



100 EXECUTIVE BLVD. SUITE 204  
OSSING, NY 10562  
arqpc.com  
PHONE: (914) 944-3377  
FAX: (866) 567-5240

JORGE B. HERNANDEZ R.A. A.I.A.  
LICENSE NUMBER: 030424-1  
CERTIFICATE NUMBER: 2323801

REVISIONS	DATE	BY
RESUBMITTAL	9/14/2023	ARQ
RESUBMITTAL	4/26/2024	ARQ
RESUBMITTAL	9/30/2024	ARQ
P.B. COMMENTS	09/11/2024	ARQ
WHEELER LOADING	09/25/2024	ARQ
REV. DRAWINGS	10/9/2024	ARQ
REV. DRAWINGS	2/26/2025	ARQ
REV. DRAWINGS	4/9/2025	ARQ
PUBLIC HEARING	4/30/2025	ARQ

DRAWING TITLE:  
PROPOSED VEHICLE  
MANEUVERABILITY PLANS AND  
EXIST. & PROPOSED CIVIC  
SPACE PLANS WITH IMAGES

PROJECT:  
THE LANDMARK AT 444

PROJECT ADDRESS:  
444 BEDFORD RD  
PLEASANTVILLE  
NY 10570

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"ALTERED BY FOLLOWED BY THEIR SIGNATURE AND THE  
DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION  
OF THE ALTERATION."

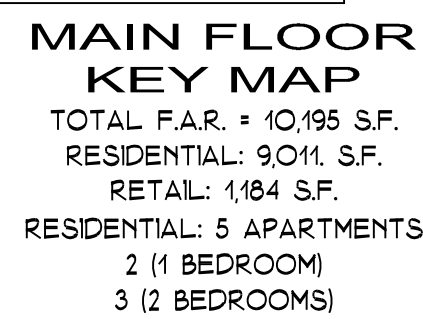
SEAL & SIGNATURE



DATE: 3/12/2021	DWG. NO.:
PROJECT NO.:	
21-037	
DRAWING BY:	
ARQ	
CHECKED BY:	
JBH	

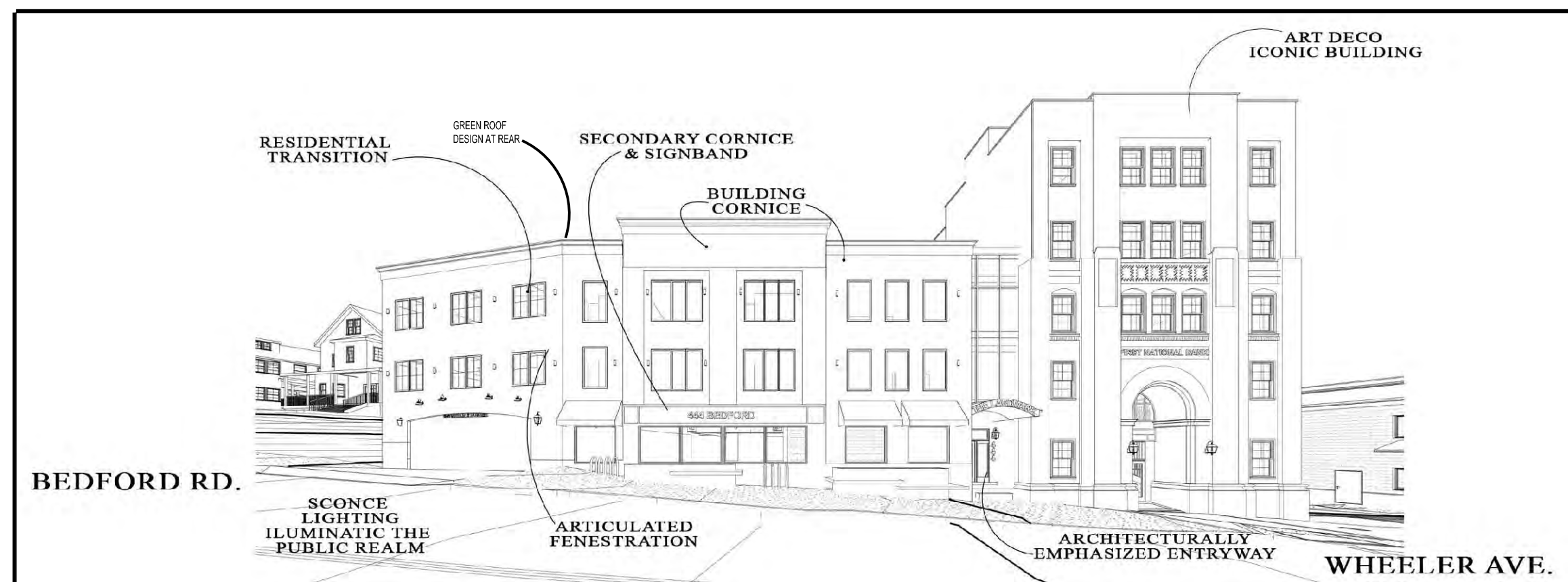
S-108



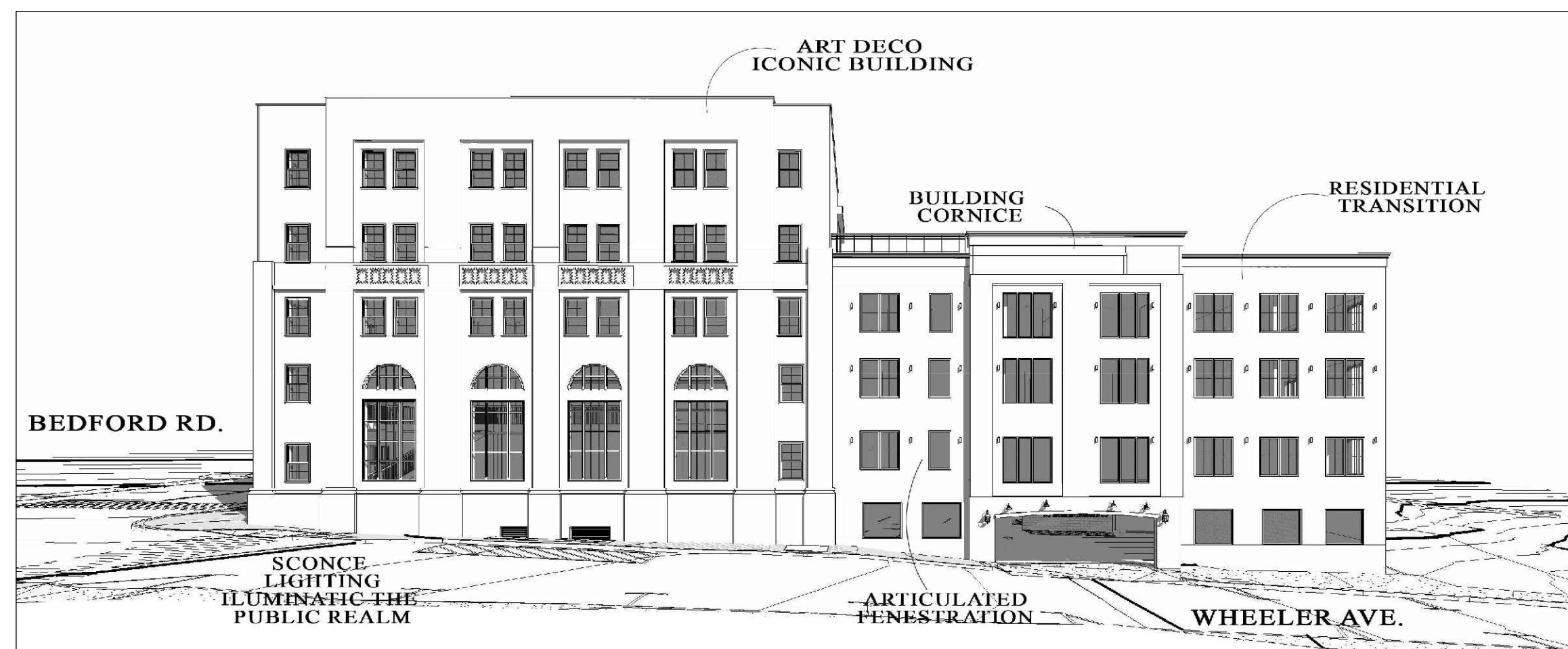

$$1' = 3O' - O'$$

PROPOSED NEW DEVELOPMENT				
FLOOR:	1 BEDROOM APARTMENT:	1 BEDROOMS APT. (DUPLEX):	2 BEDROOMS APARTMENT:	TOTAL
MAIN	2	0	3	5
SECOND	7	4	4	15
THIRD	7	-	5	12
FOURTH	0	0	2	2
FIFTH	0	0	2	2
TOTAL:	16	4	16	36

FLOOR AREA RATIO (F.A.R.)	
LOT SIZE: 22,331 X 2	= 44,662 S.F.
23,482 X 2.3 (15% F.A.R. BONUS)	= 51,361 S.F.
EXISTING 5 STORY = 3,368 S.F. X5	= 15,940 S.F.
EXISTING 3 STORY = 2,428 S.F. X3	= 7,284 S.F.
TOTAL EXISTING F.A.R.	= 24,124 S.F.
TOTAL PROPOSED	
NEW DEVELOPMENT F.A.R.	= 50,872 S.F.



PROPOSED  
DEVELOPMENT / BEDFORD RD. ELEVATION N.T.S.

PROPOSED  
DEVELOPMENT / WHEELER AVE. ELEVATION N.T.S.[illegible]

DRAWING TITLE:

## KEY MAPS, TABLE AND PROPOSED DEVELOPMENT ELEVATIONS

PROJECT:

THE LANDMARK AT 444

PROJECT ADDRESS:

444 BEDFORD RD  
PLEASANTVILLE  
NY 10570

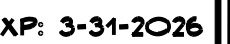
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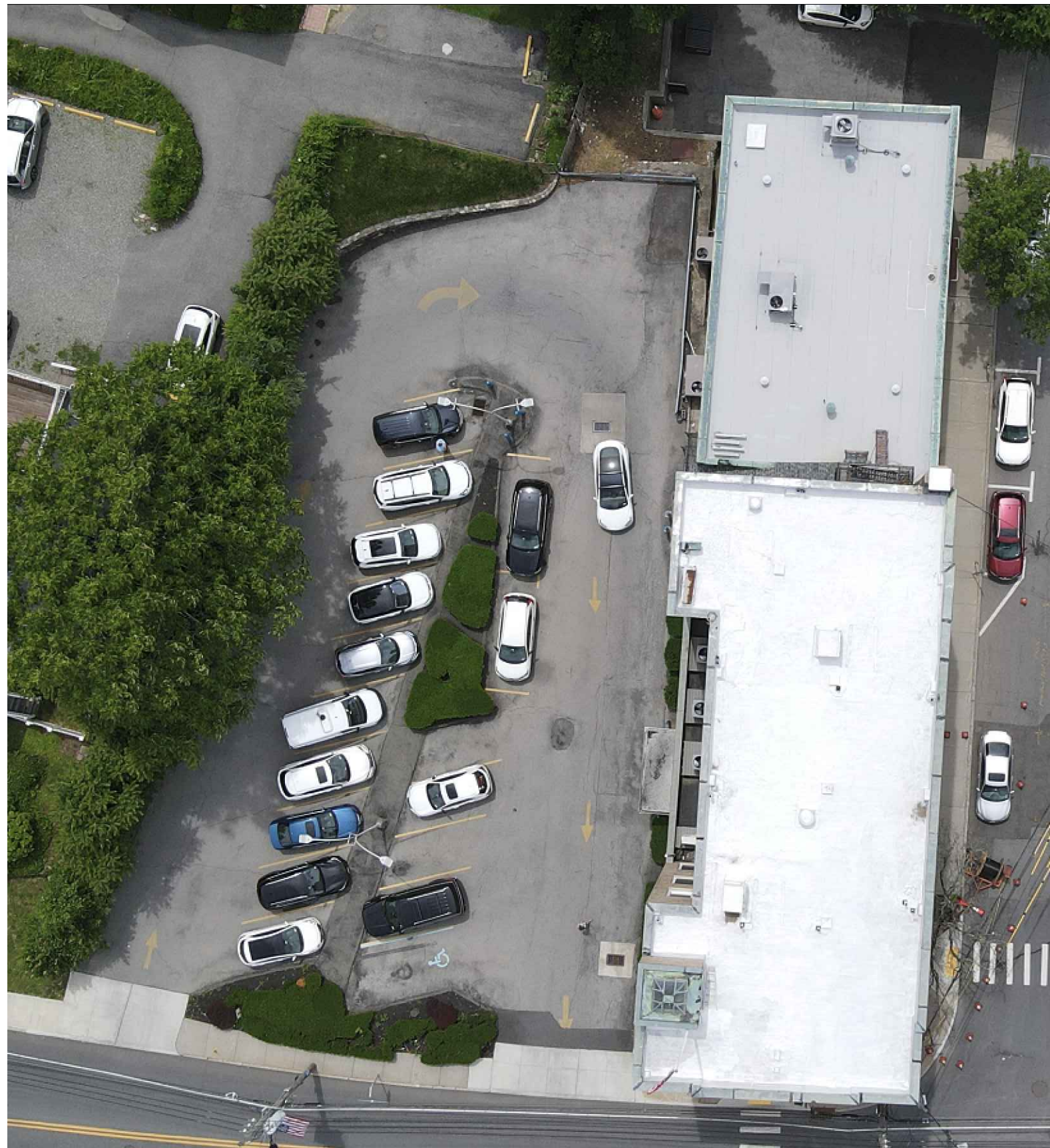
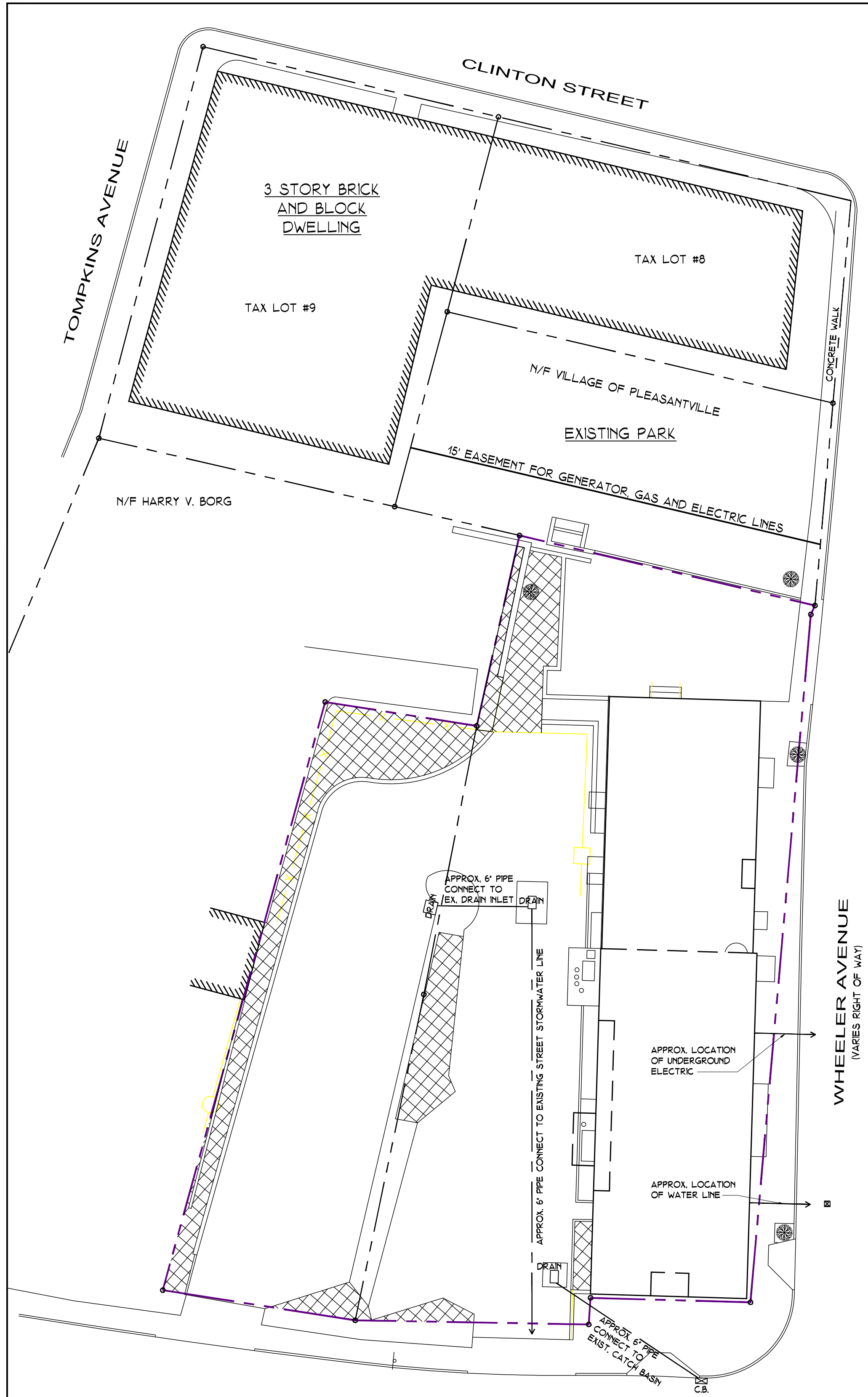
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SEAL &amp; SIGNATURE



DATE:	DWG. NO.:
3/12/2021	
PROJECT NO.:	
21-O37	
DRAWING BY:	S-109
ARQ	
CHECKED BY:	
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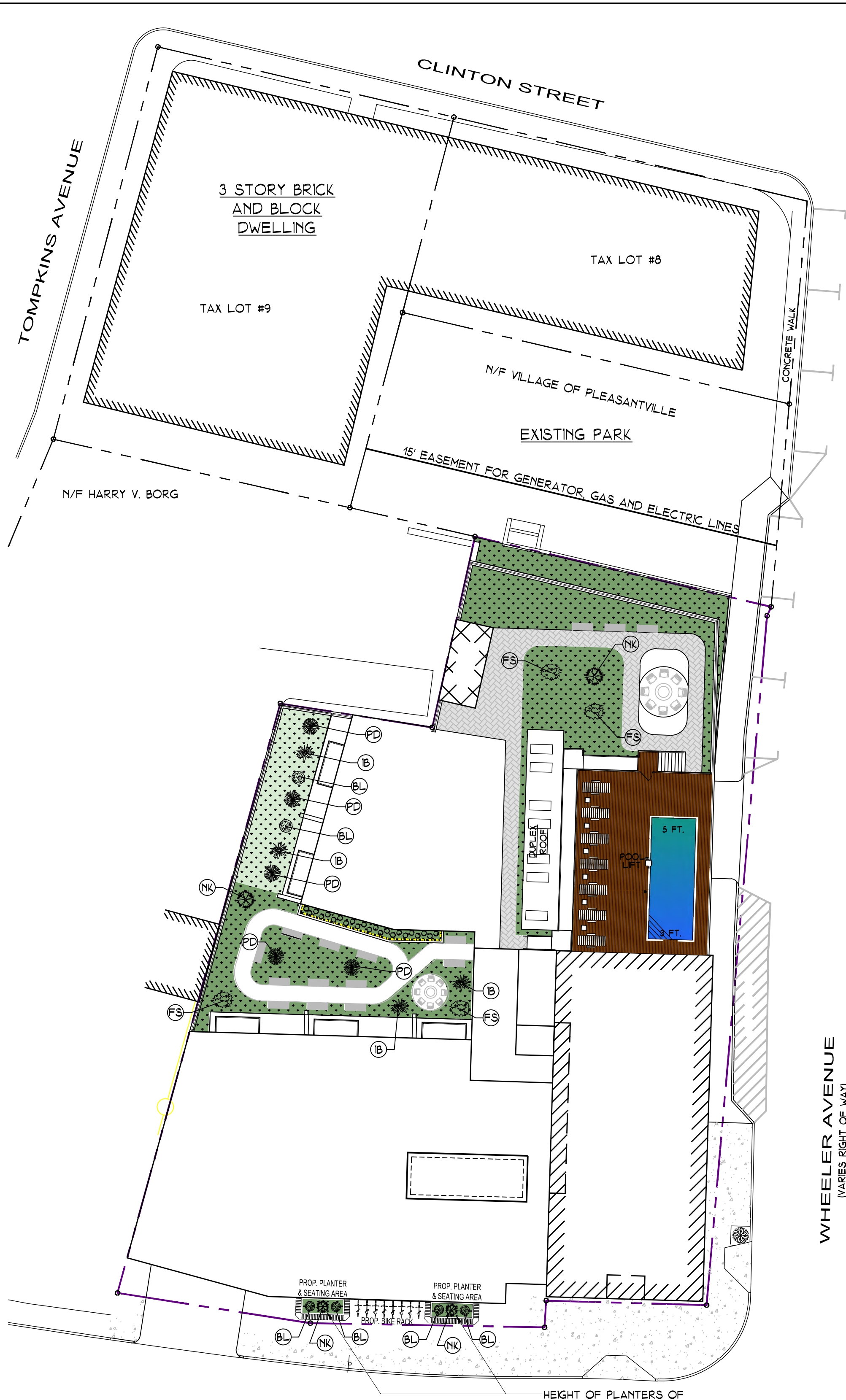
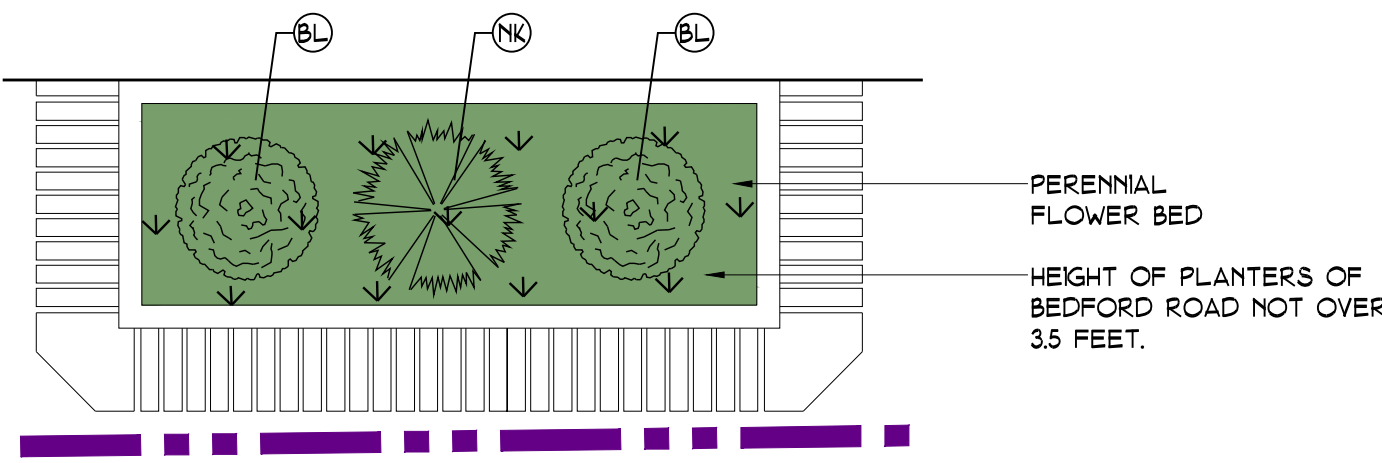


**STORMWATER SITE MANAGEMENT TABULATION LEGEND**

	EXISTING PERVIOUS AREA	= 2,510 SQ.FT.
	PROPOSED PERVIOUS AREA	= 1,822 SQ.FT.
	PROPOSED PERVIOUS AREA GREEN ROOF DESIGN	= 500 SQ.FT.

NOTE:  
1. PROVIDE 500 S.F. OF EXTENSIVE GREEN ROOF PER NYS STORM WATER DESIGN MANUAL.  
2. THE INTENSIVE GREEN ROOF PROPOSED OVER THE PARKING AREA WILL REPLICATE AND/OR IMPROVE THE CURRENT RUNOFF VALUE AT THE SITE

PROPOSED PLANTING LEGEND					
SYM.	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	QUANTITY
	PD	NORTHERN PRAIRIE DROPSEED	SPOROBOLUS HETEROLEPIS x	2' HGT	5
	BL	BROAD-LEAVED SEDGE	CAREX PLATYPHYLLA x	1' HGT	6
	NK	NINEBARK	PHYSOCARPUS OPULIFOLIUS x	2' HGT	4
	FS	FRAGRANT SUMAC	RHUS AROMATICA x	4' HGT	4
	IB	INKBERRY	ILEX GLABRA x	3' HGT	4
* RECOMMENDED WESTCHESTER COUNTY NATIVE PLANTS BY NEW YORK FLORA ATLAS					



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LICENSE NUMBER: 030424-1  
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RESUBMITTAL	9/30/2024	ARQ
P.B. COMMENTS	09/11/2024	ARQ
WHEELER LOADING	09/26/2024	ARQ
REV. DRAWINGS	10/9/2024	ARQ
REV. DRAWINGS	2/26/2025	ARQ
REV. DRAWINGS	4/9/2025	ARQ
PUBLIC HEARING	4/30/2025	ARQ

**DRAWING TITLE:**  
EXIST. & PROPOSED PERVIOUS AREA AND LANDSCAPING PLANS

**PROJECT:**  
THE LANDMARK AT 444

**PROJECT ADDRESS:**  
444 BEDFORD RD  
PLEASANTVILLE  
NY 10570

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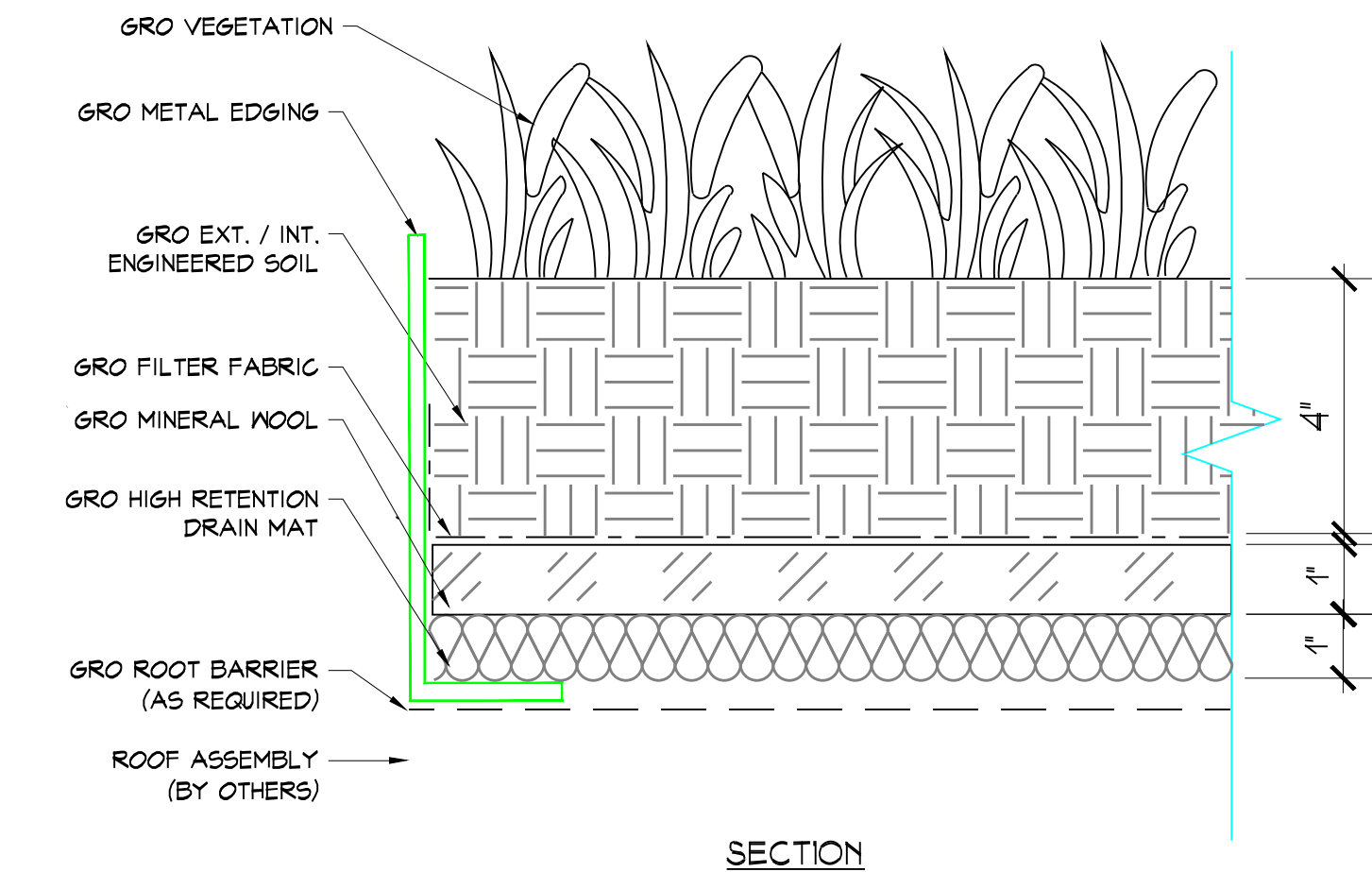
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PROJECT NO: 21-037  
DRAWING BY: ARQ  
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DWG. NO: S-110

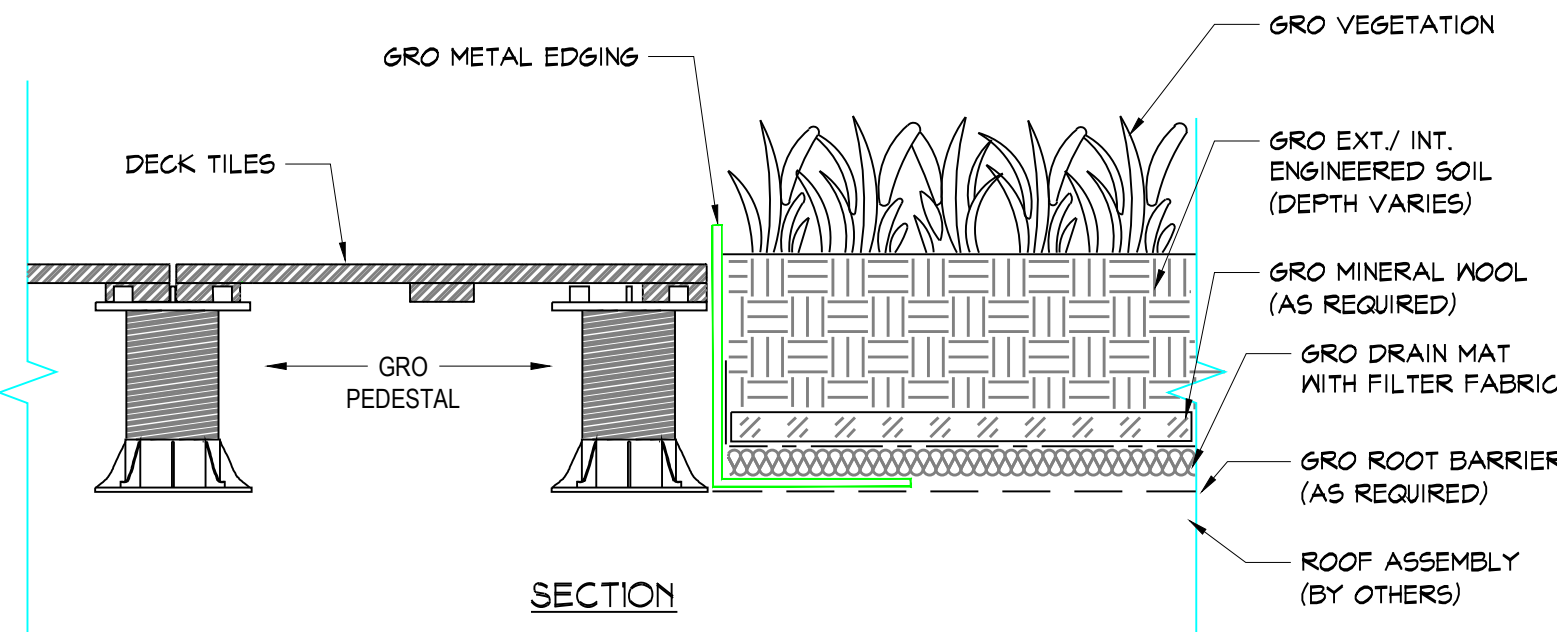




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### DETAIL GRO WATERHOG XL LAYERED GREEN ROOF SYSTEM

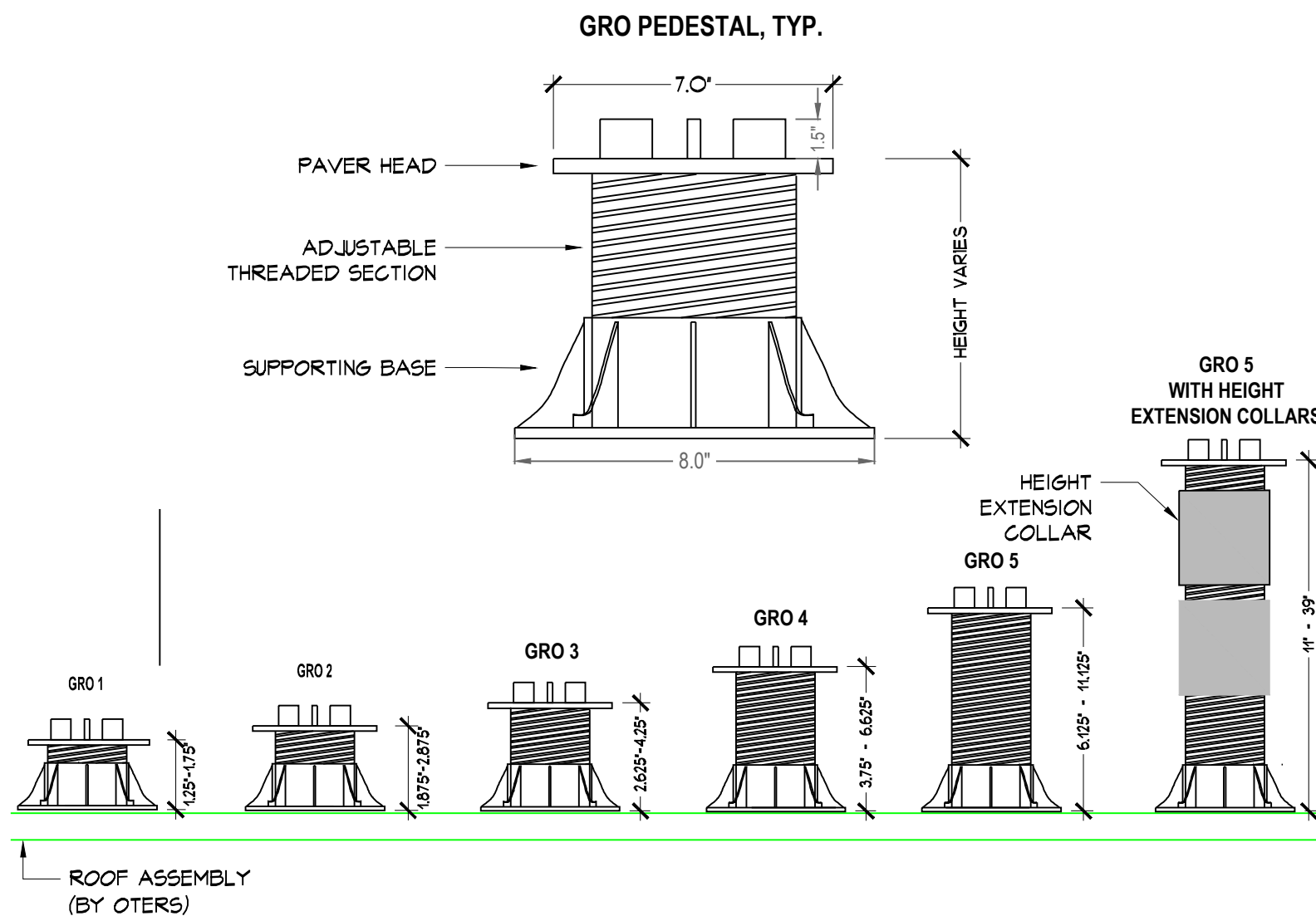
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### GRO LAYERED GREEN ROOF SYSTEM DETAIL ADJACENT TO GRO DECK TILES WITH GRO PEDESTALS

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### DETAIL GRO FIXED HEAD PEDESTALS

GREEN RISE COPYRIGHT



### GRT WATERHOG XL LAYERED SYSTEM SPECIFICATIONS

#### GRT WATERHOG XL LAYERED SYSTEM

The GRT WaterHog XL Layered System is a premium, high-performance system for stormwater management. This system is the standard WaterHog system with an additional 1" layer of premium rock wool, which increases the retention capacity to over 50% above the Classic system!

DEPTH	6"
SOIL	4"
MINERAL WOOL	1"
DRAIN MAT	1"
SATURATED WEIGHT	42 psf
WATER RETENTION	2.4 gal/sf
IRRIGATION	Site Specific

\*soil depths can be customized



[www.greenrisetech.com](http://www.greenrisetech.com)

[info@greenrisetech.com](mailto:info@greenrisetech.com)



### GRT 2" STORMWATER DETENTION MODULES SPECIFICATIONS

#### GRT 2" STORMWATER DETENTION MODULES

GRT 2" Stormwater Detention Modules are a lightweight, effective stormwater storage solution to maximize retention and/or detention. Each detention module is 2" thick, can be stacked up to 10' high, and easily configured for efficient use of space. Designed as an open shell, these modules encourage infiltration with 90% internal and surface void area available for high capacity stormwater capture. They are lightweight, making them quick to install, but also strong enough to accommodate heavy loads with a minimum of 6" of cover. Typically installed with GRT Filter Fabric and GRT Root Barrier.



MATERIAL	100% Recycled Polypropylene
MODULE DIMENSIONS & WEIGHT	20" x 24" x 2" (nominal); 4 lbs. 19.68" x 23.62" x 1.97" (actual); 4 lbs.
AREA VOLUME & WATER CAPACITY	0.53 cf & 0.48 cf
MODULE STACKING	Maximum 10' = 60 layers
VOID AREA	90% volume available for water storage
SURFACE AREA VOID	90% of exterior available for infiltration
COMPRESSIVE STRENGTH	240.2 psi (ASTM D 2412 / ASTM F2318)
UNIT WEIGHT	7.55 lbs/cf FS-3 (ASTM 2322)
SERVICE TEMPERATURE	-14°F to 167°F safe temperature range for use
MIN. & MAX. COVER DEPTH	6" to 16.7"

[www.greenrisetech.com](http://www.greenrisetech.com)

[info@greenrisetech.com](mailto:info@greenrisetech.com)



### GRT PORCELAIN PAVERS SPECIFICATIONS

#### GRT PORCELAIN PAVERS

GRT Porcelain Pavers can be used to create patio, terrace, and gathering spaces or to add walking paths to rooftop areas. Made for outdoor use, these pavers are slip, chemical, and fade resistant, and a no-maintenance product. When installed on GRT Pedestals, they offer a practical way to hide and protect roof penetrations, pipes, and uneven surfaces. GRT Porcelain Pavers are available in a variety of aesthetic colors, textures, and sizes, and are a MADE IN THE USA product.



MATERIAL	Porcelain
DIMENSIONS	24" x 24" x 3/4" (nominal); 23 1/2" x 23 1/2" x 3/4" (actual) *Other sizes, including mixed, available per request
WEIGHT	25 lbs.
COLORS	Various colors and styles available
FREEZE / THAW	Resistant (ASTM C1026)
WATER ABSORPTION	≤ 0.5% (ASTM C)
BREAKING STRENGTH	≥ 250 lbf (ASTM C648)
CHEMICAL RESISTANCE	Unaffected (ASTM C650)
ACCOMPANYING GRT PRODUCTS	GRT PEDESTALS



[www.greenrisetech.com](http://www.greenrisetech.com)

[info@greenrisetech.com](mailto:info@greenrisetech.com)



### GRT FIXED HEAD PEDESTALS SPECIFICATIONS

#### GRT FIXED HEAD PEDESTALS

GRT Pedestals work perfectly with all deck pavers; including wood, porcelain, and concrete. They provide rigid support for pavers and can hold thousands of pounds each. The pedestals help conceal roof extrusions, like anchor points and pipes. GRT Pedestals allow our fastening kit to secure wood and porcelain pavers down to mitigate movement and wind uplift.

MATERIAL	Polypropylene and rubber (head top)
HEIGHT	1" - 39"
BASE DIAMETER & THICKNESS	8" x 1/16"
HEAD DIAMETER	7"
BASE CONTACT SURFACE AREA	49 in²
TAB HEIGHT & THICKNESS	1/2" x 5/32"
COMPRESSION STRENGTH	> 3,000 PSF
FIRE RATING	Class E (UNI EN 13501-1: 2009)
CHARACTERISTICS	Adjustable height Security lock to prevent unlocking Recyclable material
ACCOMPANYING GRT PRODUCTS	GRT Deck Tiles GRT Structural Grate GRT Concrete & 3 Pavers GRT Fastening Kits



**Deck Paver Head:** Heavy duty fixed head; Designed specifically to hold and align all deck pavers and tiles.

**Adjustable Threaded Section:** Allows you to adjust the height in minute increments, within the given range.

**Height Extension Collar:** A simple design with a single 'click' motion to attach these extension collars build up the pedestals to a maximum height of 39".

**Wide Supporting Base:** Pedestals are loosely laid and do not require fixing to the floor. Large diameter spreads loads and ensures stability.

[www.greenrisetech.com](http://www.greenrisetech.com)

[info@greenrisetech.com](mailto:info@greenrisetech.com)



100 EXECUTIVE BLVD. SUITE 204  
 OSSINING, NY 10562  
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 PHONE: (914) 944-3377  
 FAX: (866) 567-5240

**JORGE B. HERNANDEZ R.A. A.I.A.**  
 LICENSE NUMBER: 030424-1  
 CERTIFICATE NUMBER: 2323801

REVISIONS	DATE	BY
RESUBMITTAL	9/14/2023	ARQ
RESUBMITTAL	4/26/2024	ARQ
RESUBMITTAL	6/30/2024	ARQ
P.B. COMMENTS	09/11/2024	ARQ
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REV. DRAWINGS	2/26/2025	ARQ
REV. DRAWINGS	4/9/2025	ARQ
PUBLIC HEARING	4/30/2025	ARQ

#### DRAWING TITLE:

GREEN ROOF DETAILS &  
 SPECIFICATION SHEETS

#### PROJECT:

THE LANDMARK AT 444

#### PROJECT ADDRESS:

444 BEDFORD RD  
 PLEASANTVILLE  
 NY 10570

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#### SEAL & SIGNATURE



EXP. 3-31-2026

#### DATE:

3/12/2021

#### PROJECT NO.:

21-037

#### DRAWING BY:

ARQ

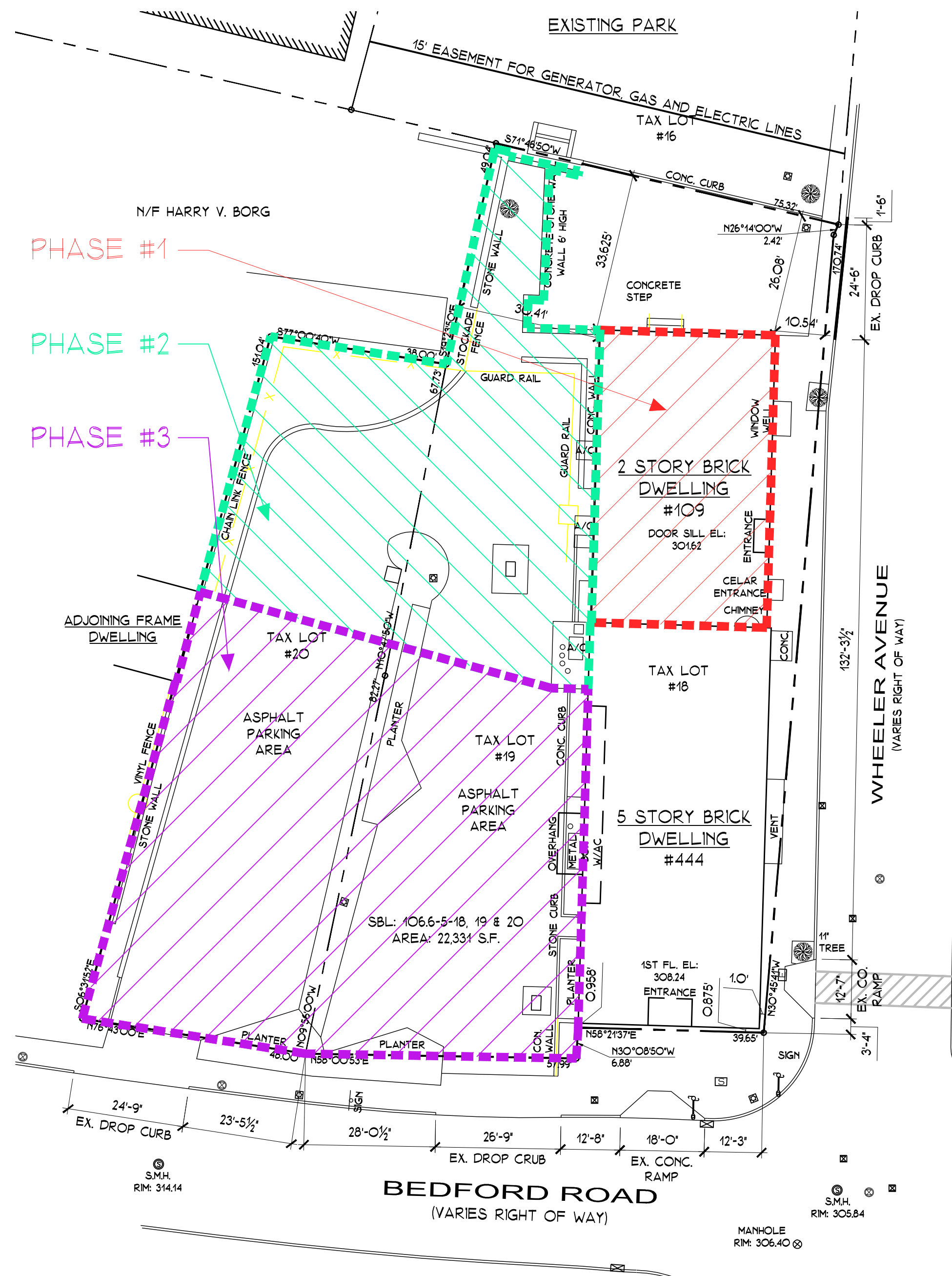
#### CHECKED BY:

JBH

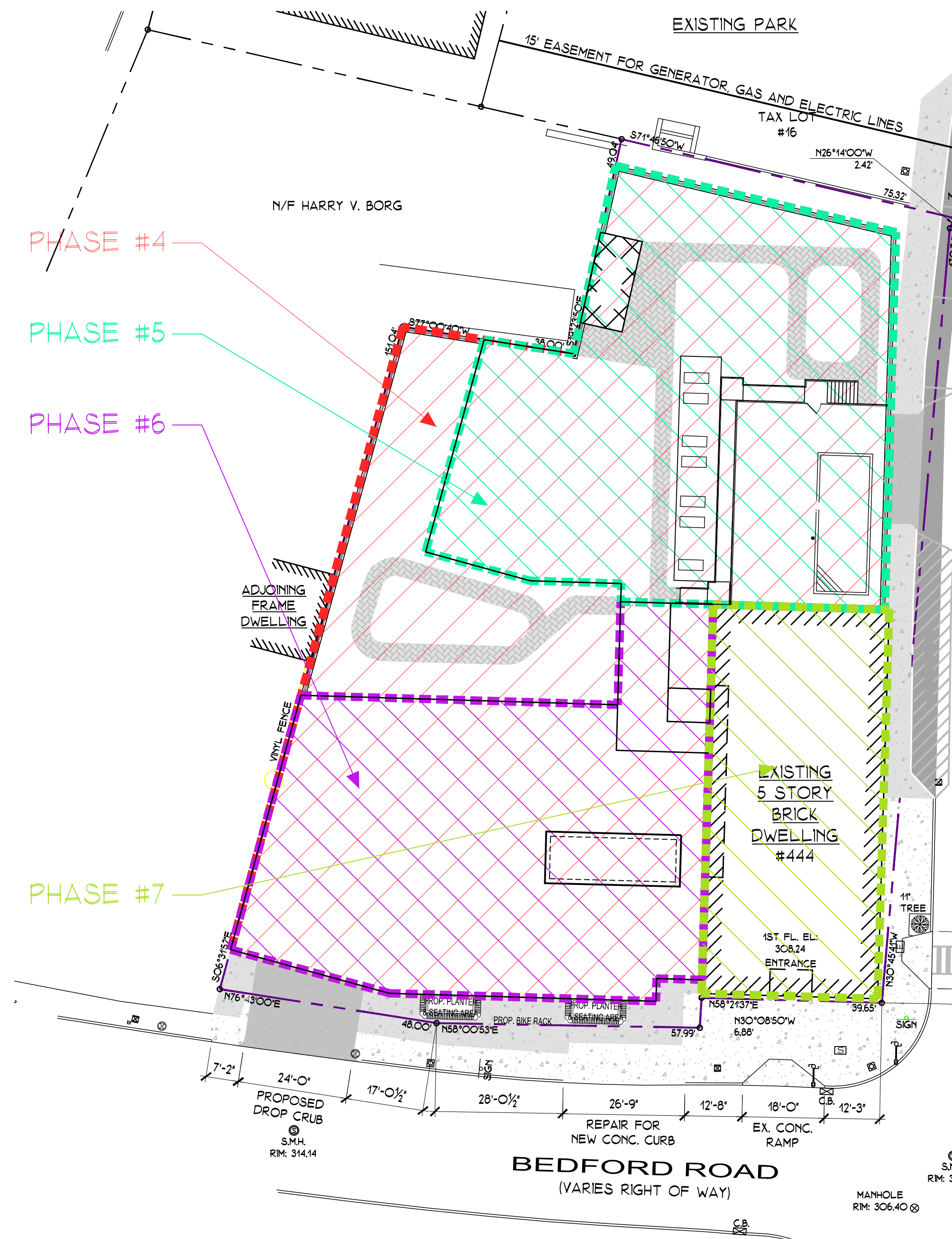
#### DWG. NO.:

S-111

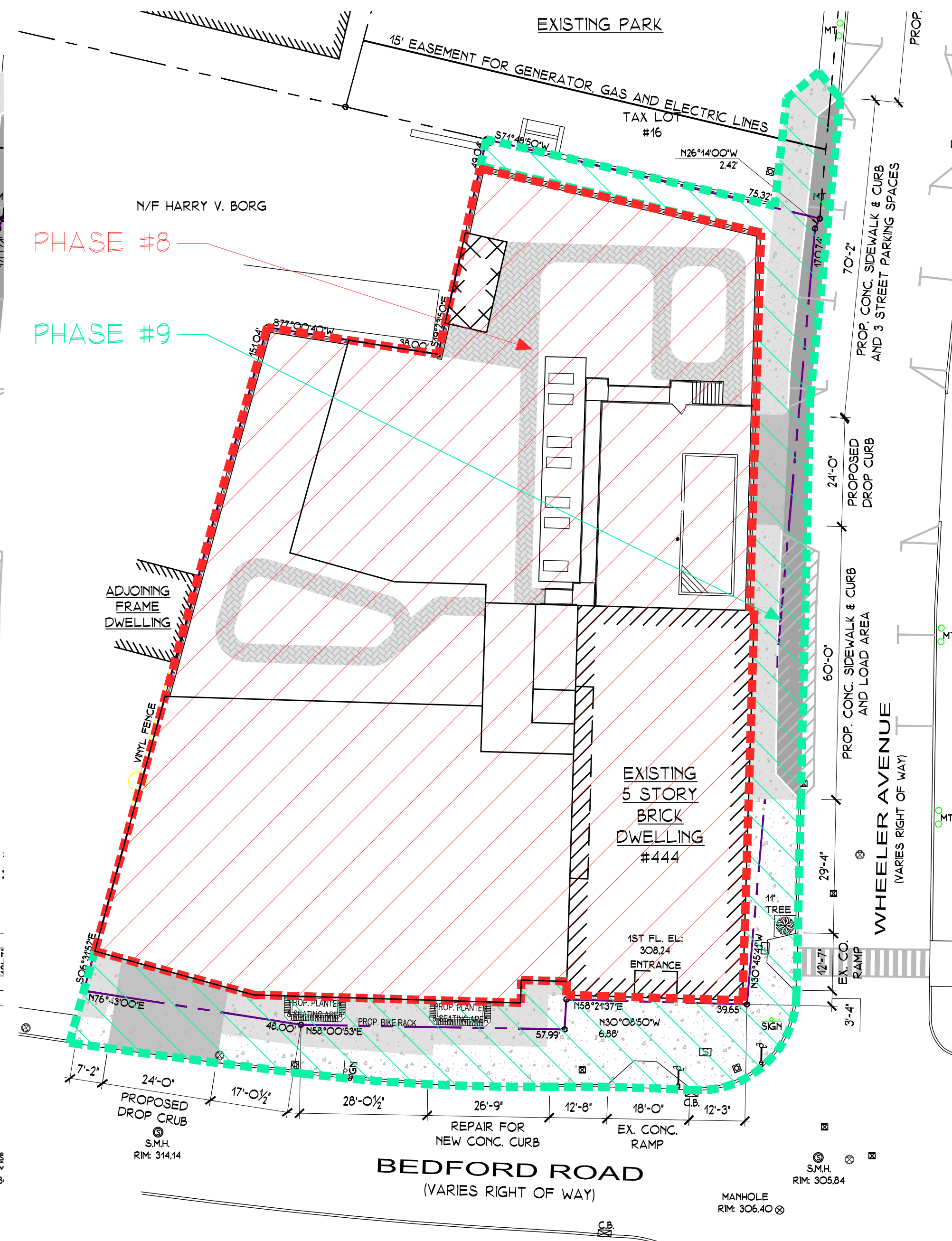




PHASE PLAN @ EXISTING CONDITIONS 1" = 20'-0"



PHASE PLAN @ PROPOSED CONDITIONS 1" = 20'-0"



PHASE PLAN @ PROPOSED CONDITIONS 1" = 20'-0"

CONSTRUCTION SEQUENCE - 444 BEDFORD ROAD		MONTHS																							
PHASE	STAGE	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24
	I DEMOLITION EXISTING BUILDING (#109) AND EXCAVATION																								
	II EXCAVATION AND ROCK REMOVAL																								
	III EXCAVATION AND ROCK REMOVAL																								
	IV PARKING AREA (WHEELER AND BEDFORD WING)																								
	V BUILDING (WHEELER WING)																								
	VI BUILDING (BEDFORD WING)																								
	VII RENOVATION AT EXISTING BUILDING (#444)																								
	VIII FINISHES																								
	IX RENOVATION AT STREET CURB, SIDEWALK AND SITE WORK																								

NOTE:  
ALL INFORMATION ON THIS DRAWING IS FOR  
ILLUSTRATION OF JOB SEQUENCE (PHASING ONLY)



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JORGE B. HERNANDEZ R.A. A.I.A.  
LICENSE NUMBER: 030424-1  
CERTIFICATE NUMBER: 2323801

REVISIONS	DATE	BY
RESUBMITTAL	9/14/2023	ARQ
RESUBMITTAL	4/26/2024	ARQ
RESUBMITTAL	9/30/2024	ARQ
P.B. COMMENTS	09/11/2024	ARQ
WHEELER LOADING	09/25/2024	ARQ
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REV. DRAWINGS	2/26/2025	ARQ
REV. DRAWINGS	4/9/2025	ARQ
PUBLIC HEARING	4/30/2025	ARQ

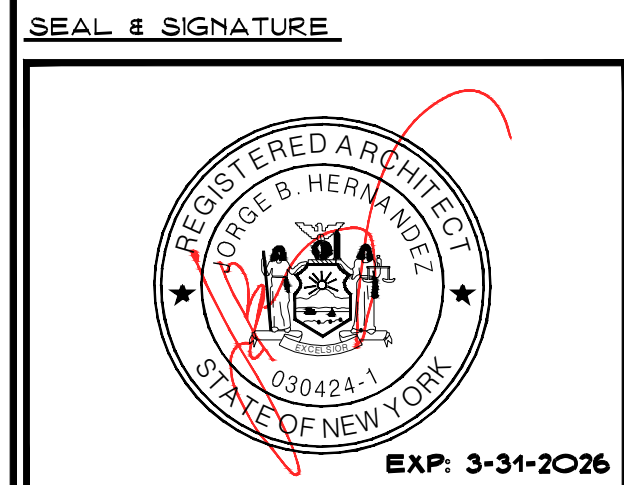
DRAWING TITLE:  
PHASE PLANS AND  
CONSTRUCTION SEQUENCE

PROJECT:  
THE LANDMARK AT 444

PROJECT ADDRESS:  
444 BEDFORD RD  
PLEASANTVILLE  
NY 10570

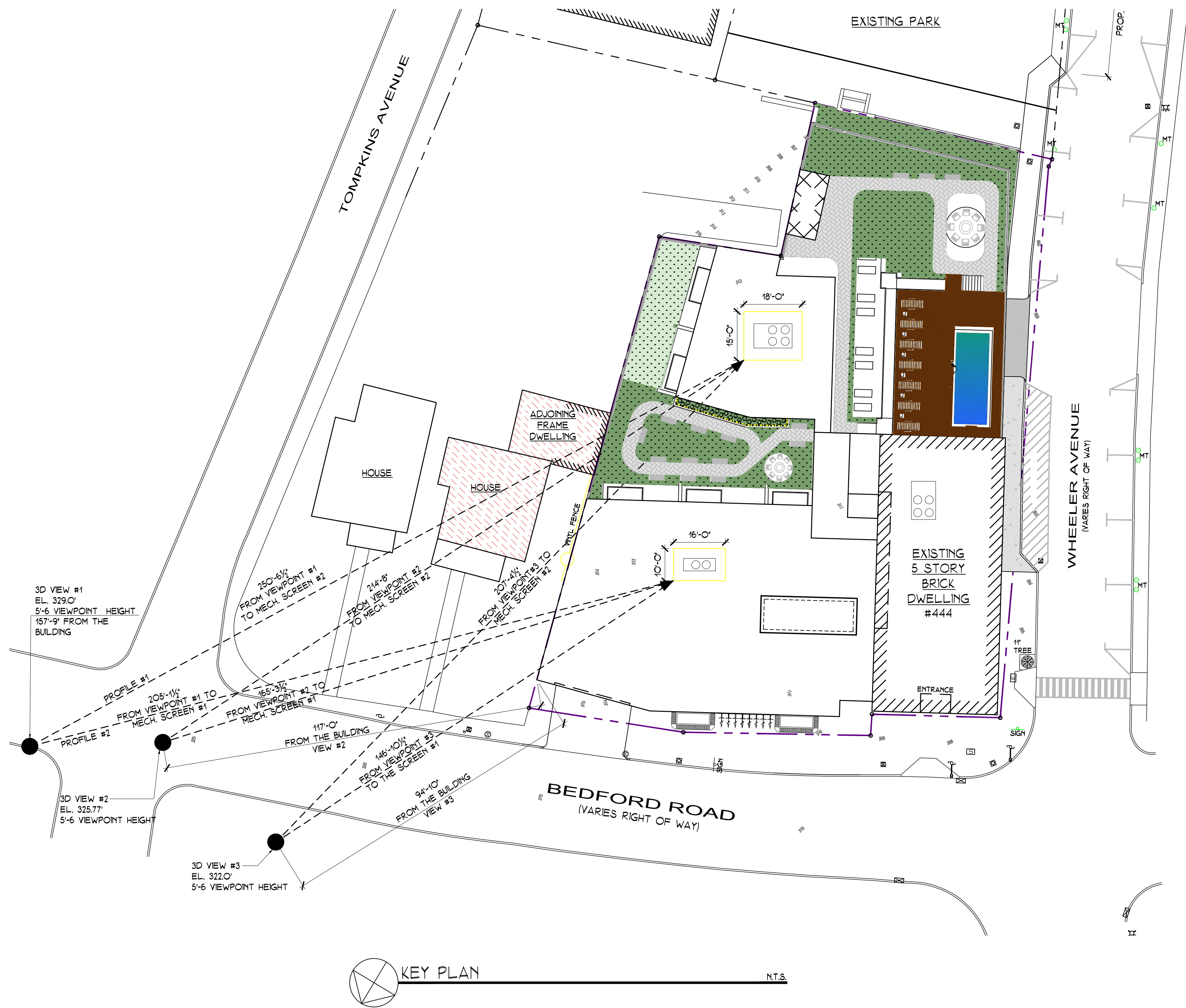
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"ALTERED BY FOLLOWED BY THEIR SIGNATURE AND THE  
DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION  
OF THE ALTERATION."



DATE:  
3/12/2021  
PROJECT NO:  
21-037  
DRAWN BY:  
ARQ  
CHECKED BY:  
JBH  
DWG. NO:  
S-112





3D VIEW #1 N.T.S.



3D VIEW #2 N.T.S.



3D VIEW #3 N.T.S.



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REV. DRAWINGS	2/26/2025	ARQ
REV. DRAWINGS	4/9/2025	ARQ
PUBLIC HEARING	4/30/2025	ARQ

DRAWING TITLE:

KEY PLAN & 3D VIEWS TO  
EQUIPMENT SCREENING

PROJECT:

THE LANDMARK AT 444

PROJECT ADDRESS:

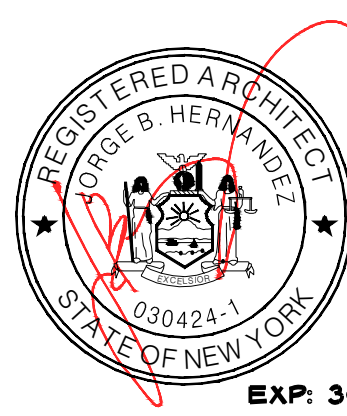
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NY 10570

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SEAL & SIGNATURE

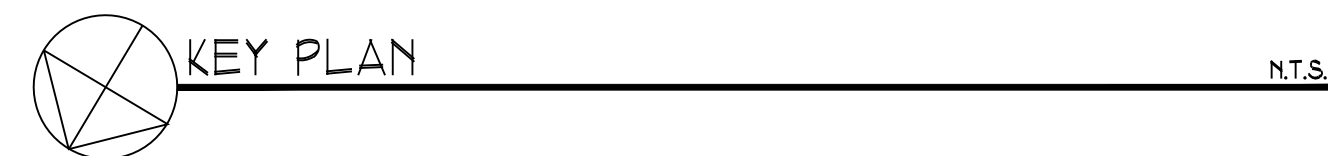
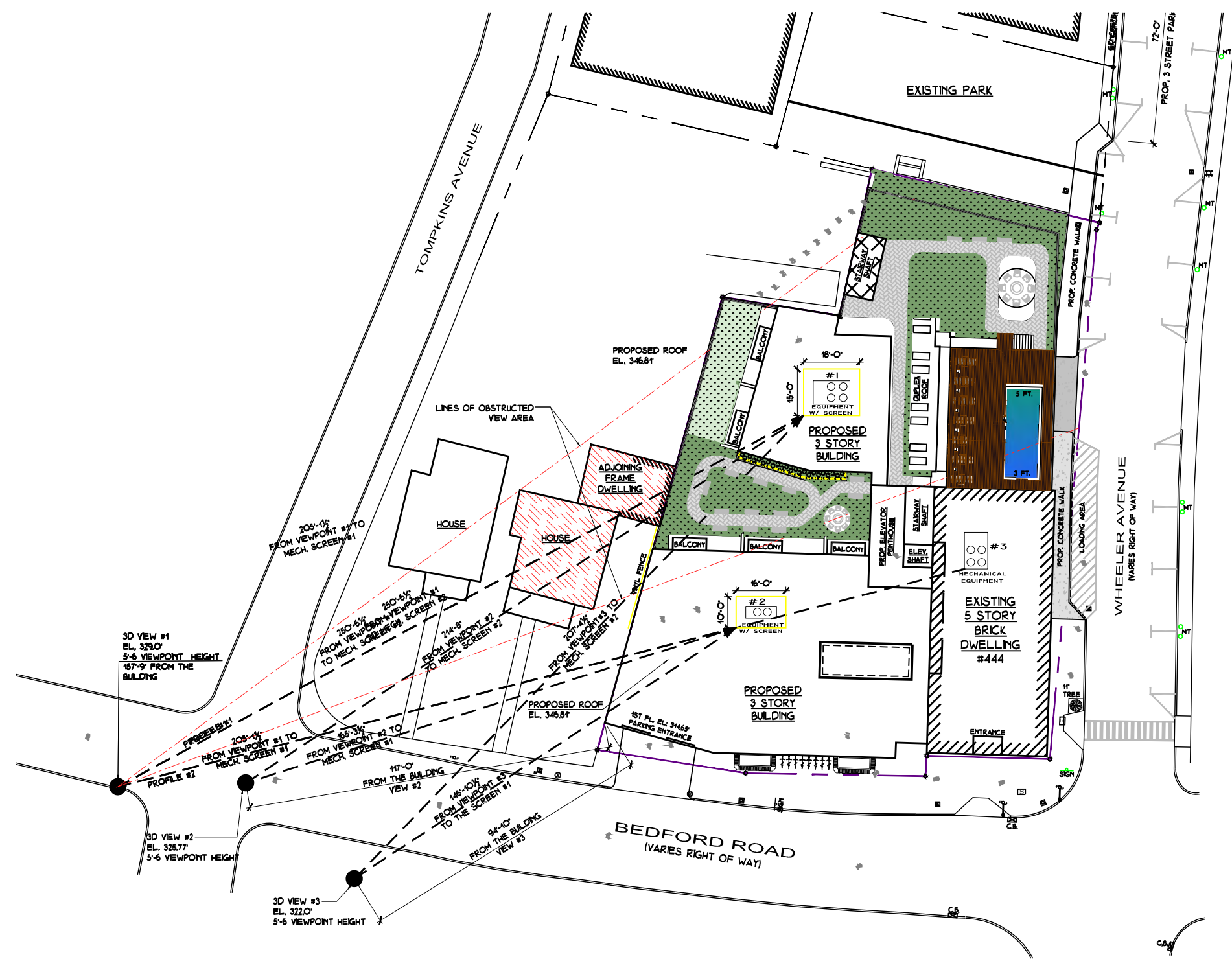


DATE:  
3/12/2021  
PROJECT NO.:  
21-037  
DRAWING BY:  
ARQ  
CHECKED BY:  
JBH

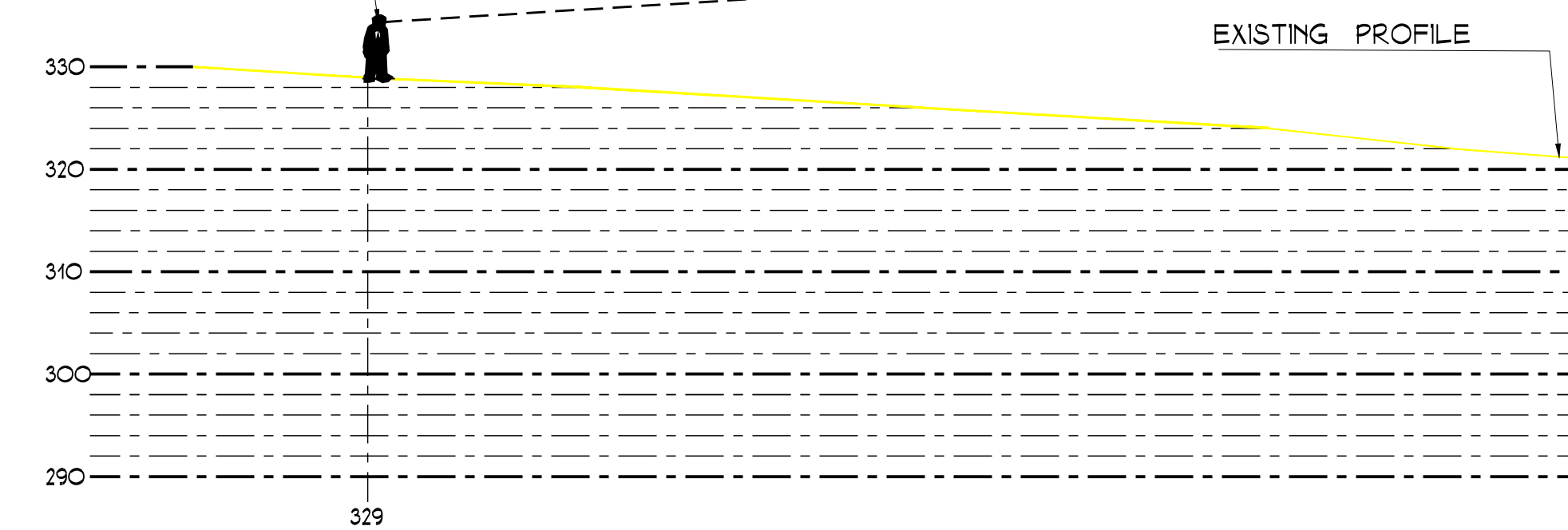
DWG. NO.:

S-113





3D VIEW #1  
EL. 329.0'  
5'-6 VIEWPOINT HEIGHT



NOTE:  
NW VIEW SHAPE OF MECHANICAL EQUIPMENT FROM  
HIGHEST POINT AT BEDFORD ROAD

LINES REPRESENTING THE  
EYES VIEW PROJECTION

ADJACENT HOUSE  
OBSTRUCTING MECHANICAL  
SCREEN (#1) VIEW

PROPOSED ROOF  
EL. 346.12'  
PARAPET

1'-1" VISIBLE

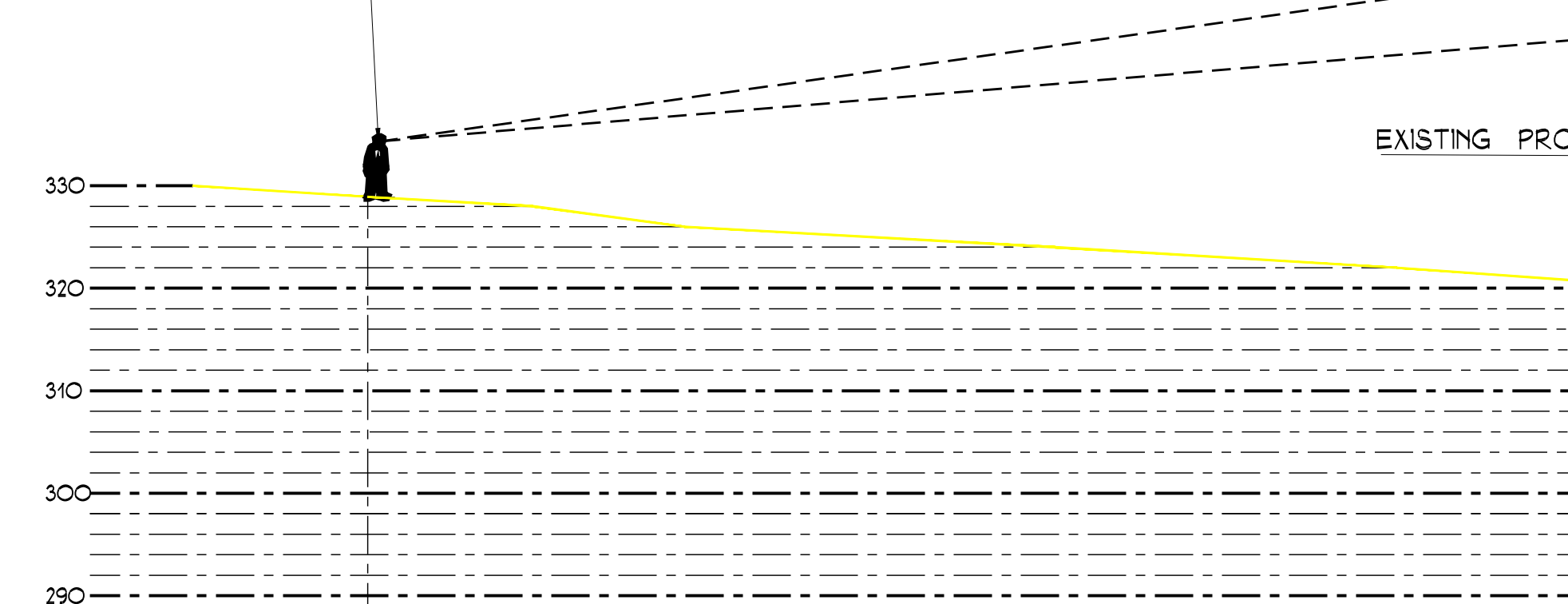
MECHANICAL  
SCREEN #1

5'-0" SCREEN HEIGHT

EXISTING & PROPOSED  
BUILDING

PROFILE #1 N.T.S.

3D VIEW #1  
EL. 329.0'  
5'-6 VIEWPOINT HEIGHT



NOTE:  
NW VIEW SHAPE OF MECHANICAL EQUIPMENT FROM  
HIGHEST POINT AT BEDFORD ROAD

LINES REPRESENTING THE  
EYES VIEW PROJECTION

PROPOSED ROOF  
EL. 342.86'  
PARAPET

MECHANICAL  
SCREEN #2

5'-0" SCREEN HEIGHT

EXISTING ROOF  
EL. 367.65'  
PARAPET

4'-0"

MACHANICAL  
UNIT

EXISTING & PROPOSED  
BUILDING

PROFILE #2 N.T.S.



SIMILAR VIEWPOINT  
GOOGLE STREET VIEW

N.T.S.



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LICENSE NUMBER: 030424-1  
CERTIFICATE NUMBER: 2323801

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REV. DRAWINGS	2/26/2025	ARQ
REV. DRAWINGS	4/9/2025	ARQ
PUBLIC HEARING	4/30/2025	ARQ

DRAWING TITLE:

KEY PLAN & VIEW TO  
EQUIPMENT SCREENING

PROJECT:

THE LANDMARK AT 444

PROJECT ADDRESS:

444 BEDFORD RD  
PLEASANTVILLE  
NY 10570

NYS EDUCATION LAW

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DATE:

3/12/2021

PROJECT NO.:

21-037

DRAWING BY:

ARQ

CHECKED BY:

JBH

DWG. NO.:

S-114





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JORGE B. HERNANDEZ R.A. A.I.A.  
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REV. DRAWINGS	2/26/2025	ARQ
REV. DRAWINGS	4/9/2025	ARQ
PUBLIC HEARING	4/30/2025	ARQ

DRAWING TITLE:  
EXIST. & PROPOSED FLOOR  
PLANS

PROJECT:  
THE LANDMARK AT 444

PROJECT ADDRESS:  
444 BEDFORD RD  
PLEASANTVILLE  
NY 10570

NYS EDUCATION LAW

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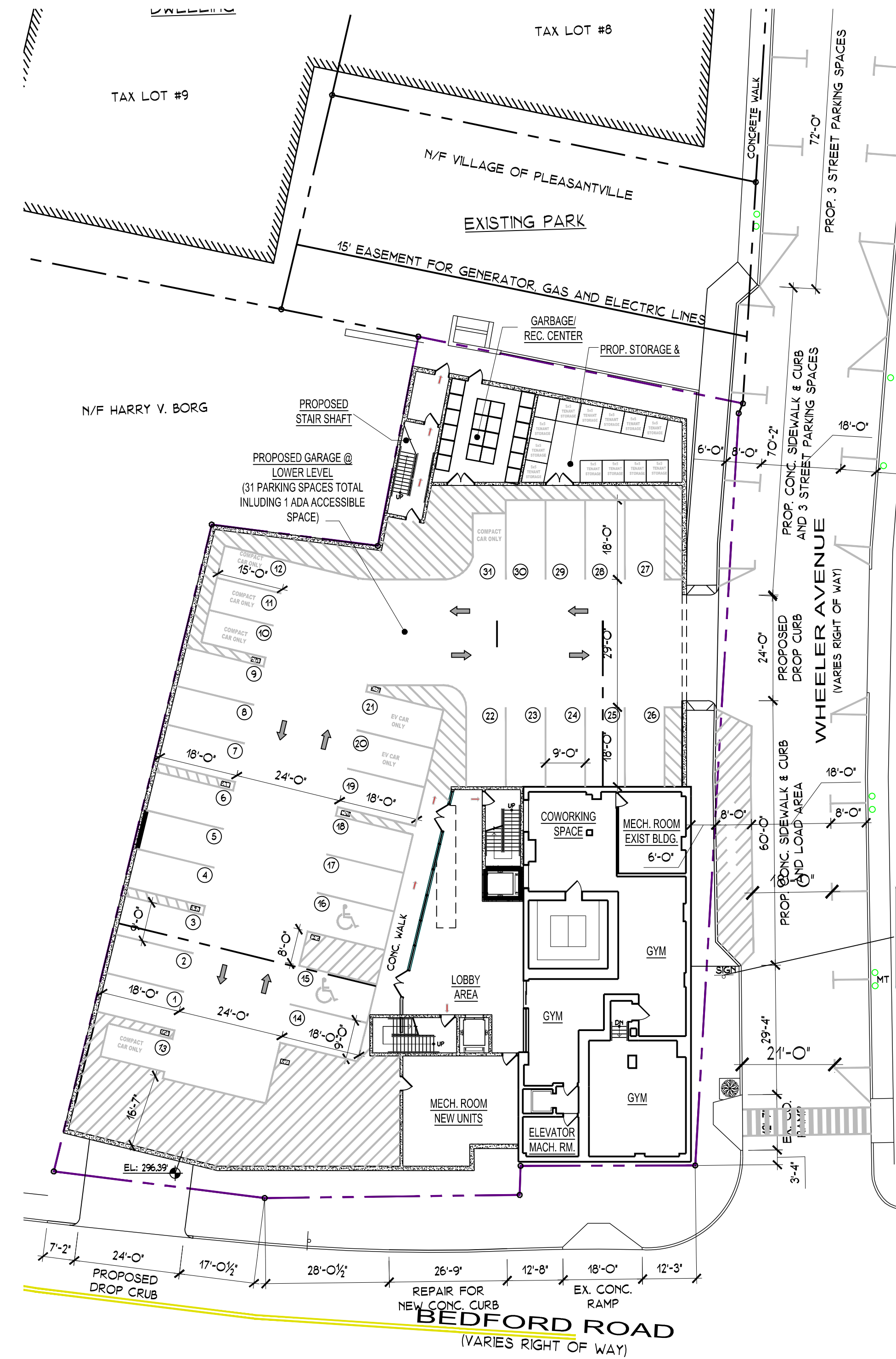
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EXP. 3-31-2026

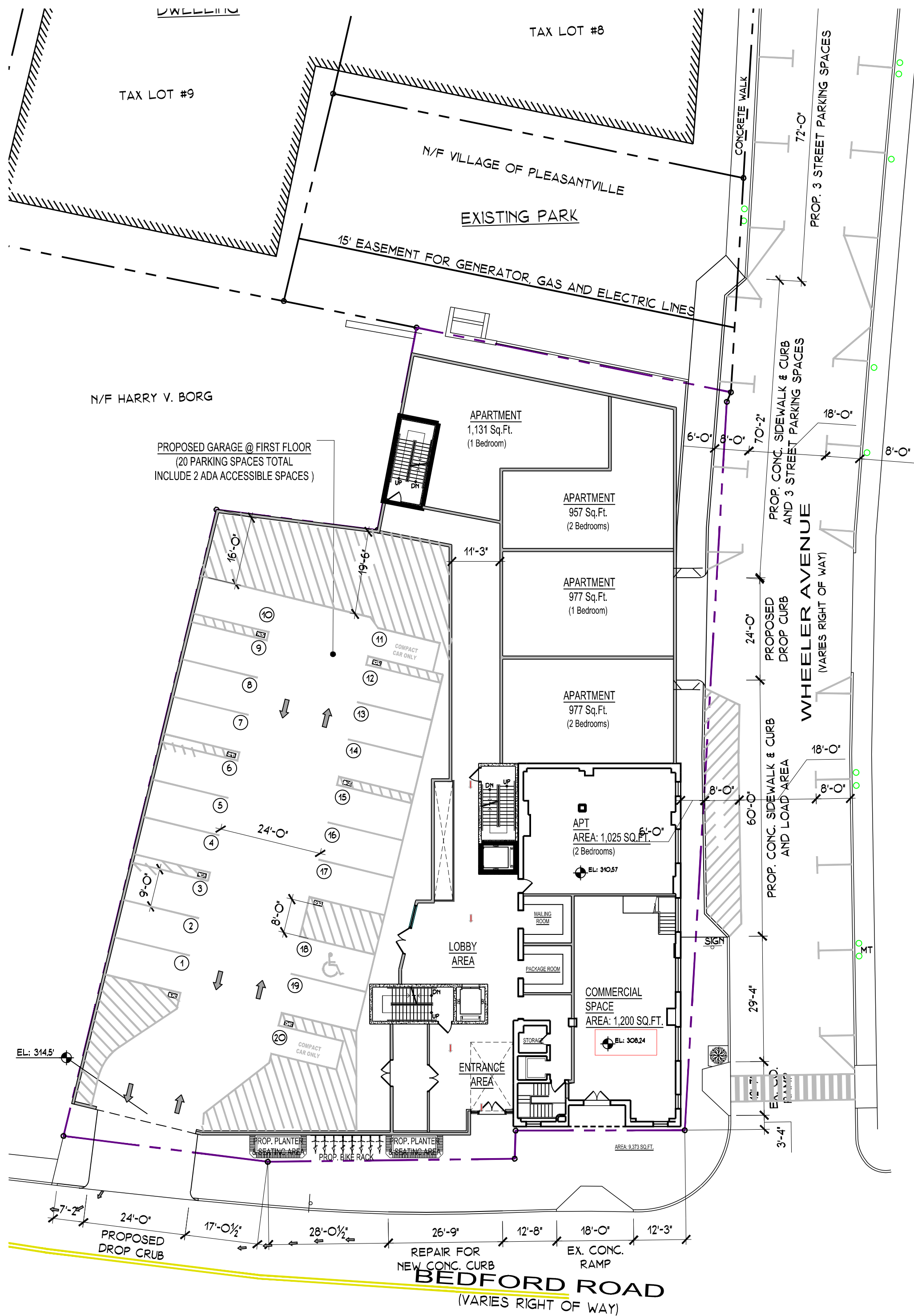
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PROJECT NO.:	
21-037	
DRAWING BY:	
ARQ	
CHECKED BY:	
JBH	

A-100



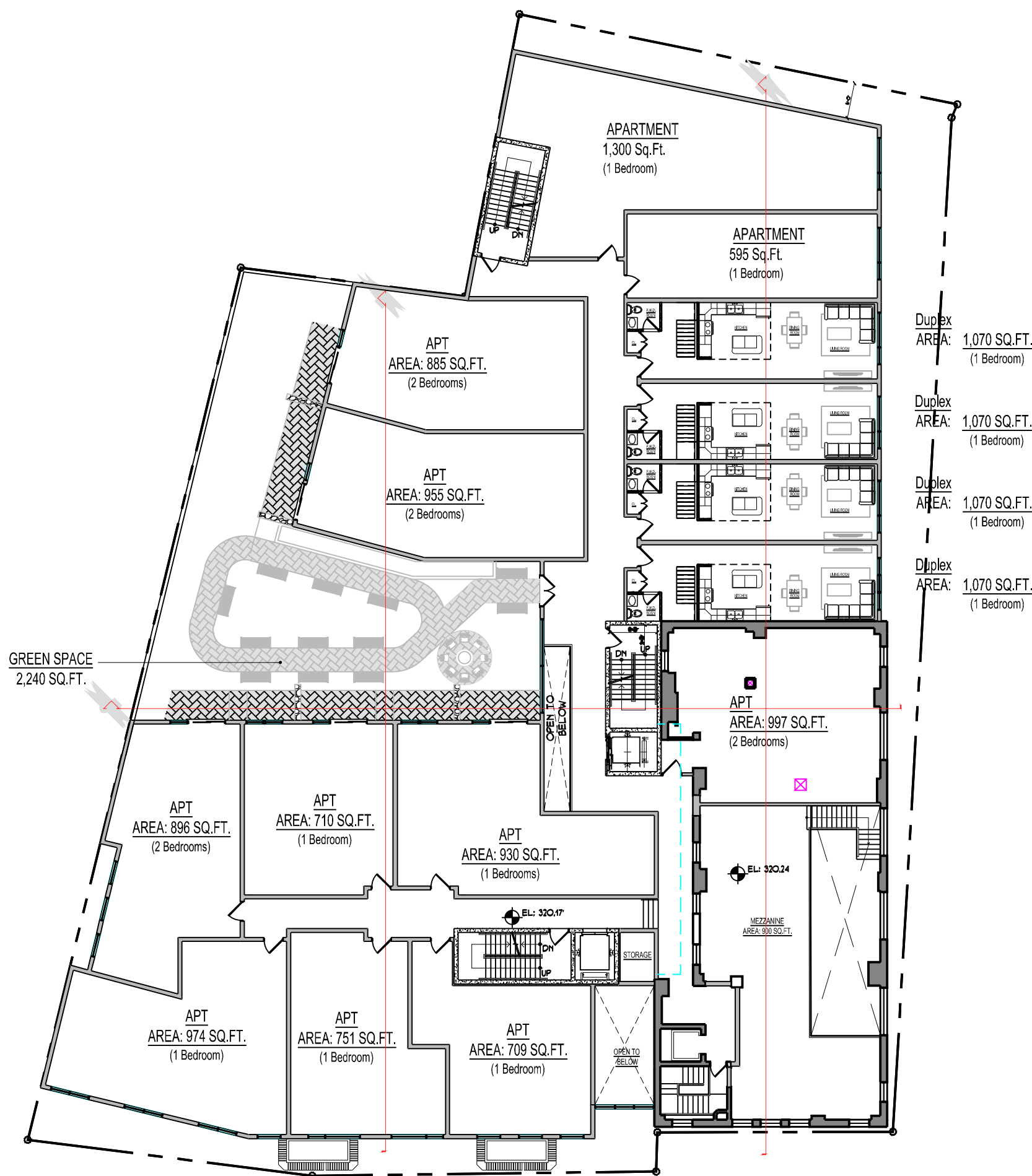
PROPOSED  
LOWER LEVEL

1" = 20'-0"



PROPOSED  
MAIN LEVEL

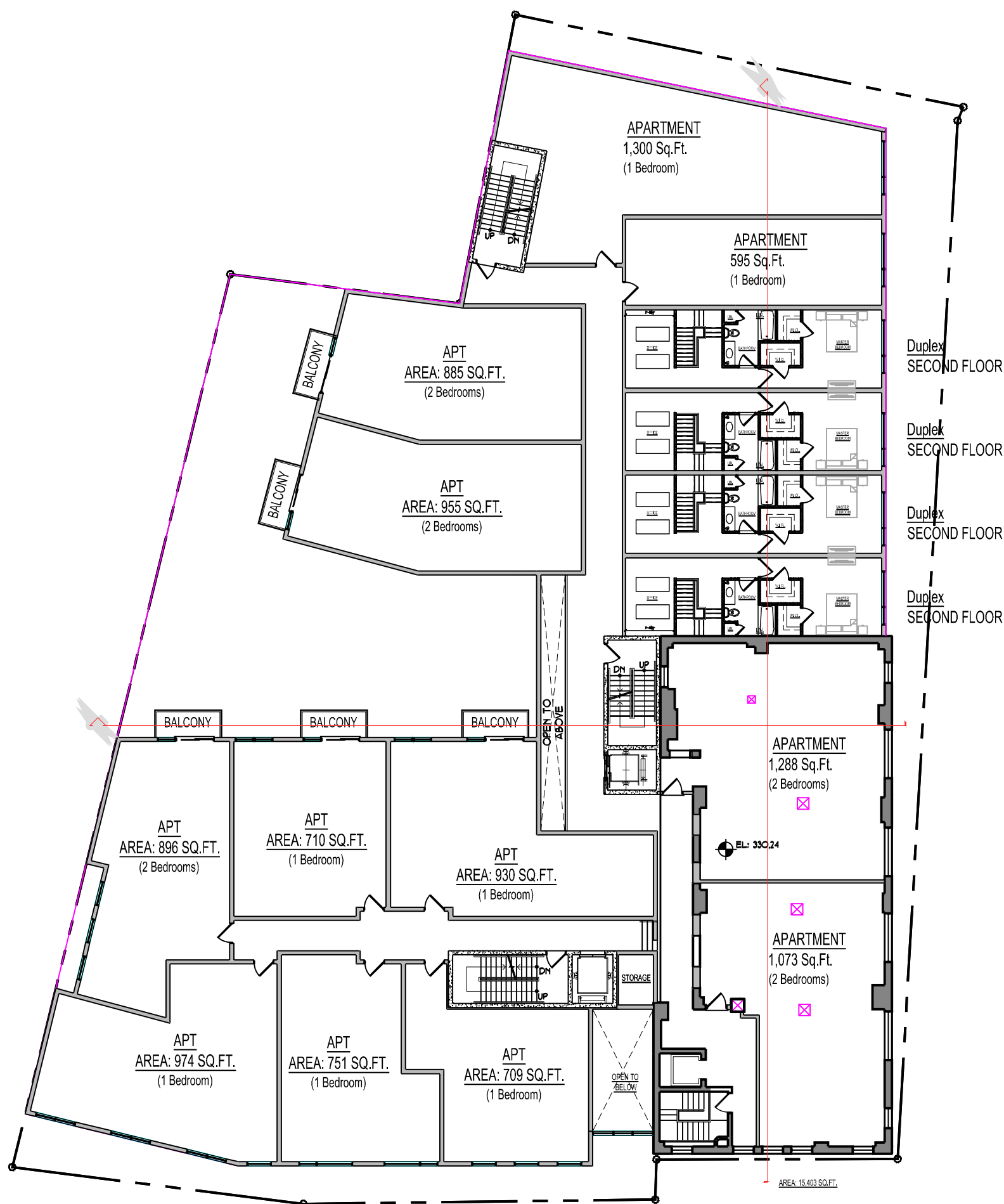
1" = 20'-0"



PROPOSED  
SECOND LEVEL

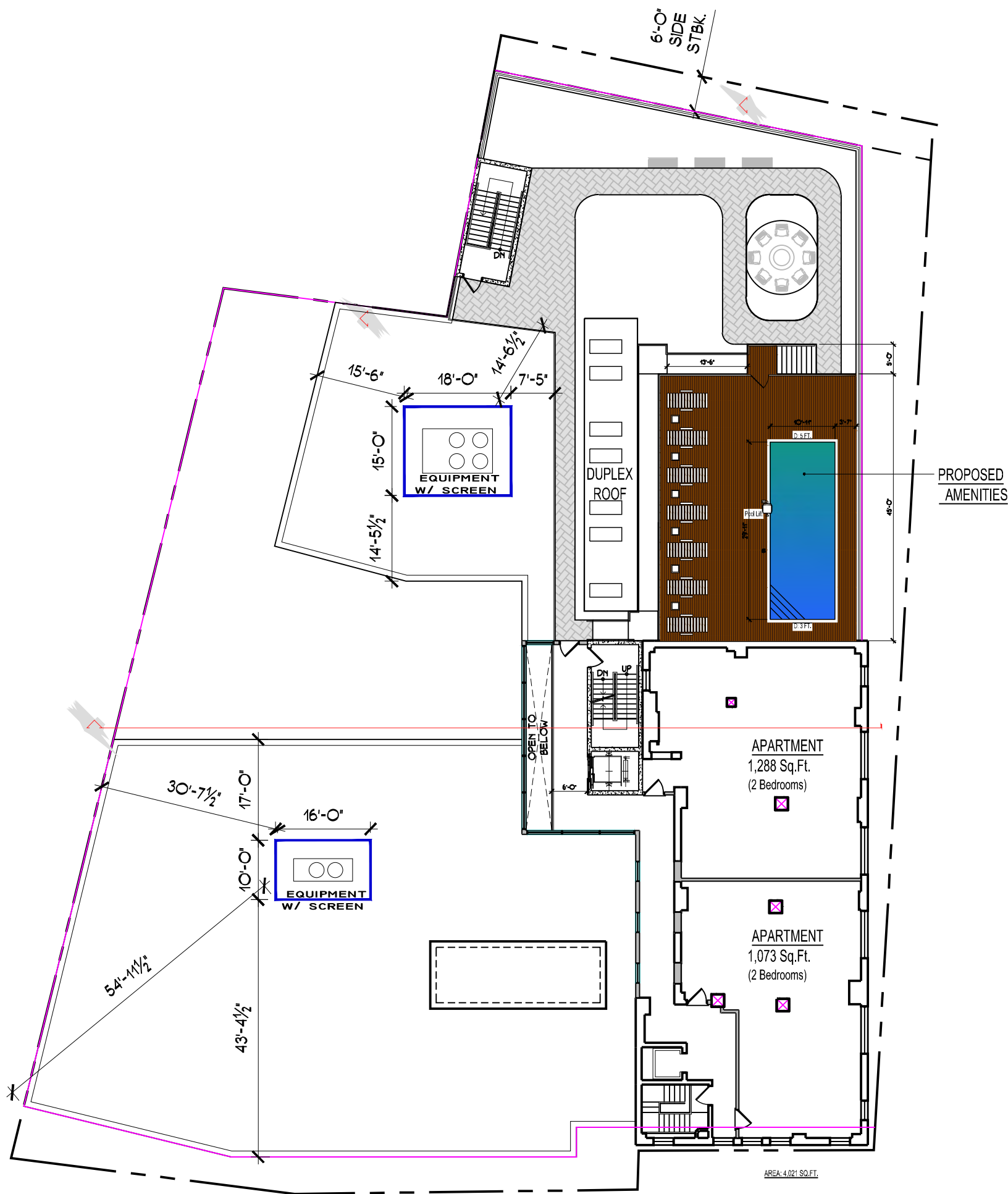
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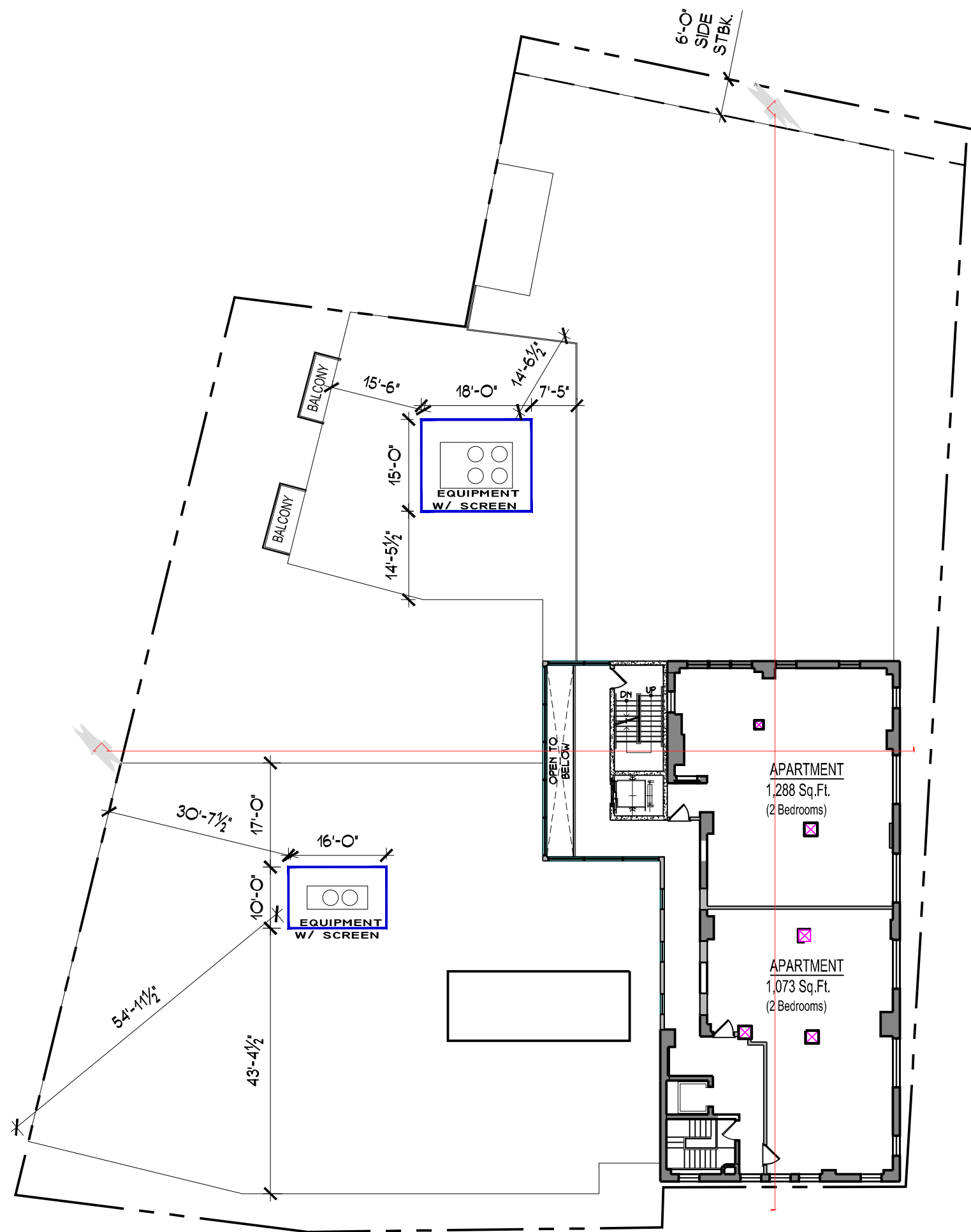
PROPOSED  
THIRD LEVEL

1" = 20'-0"



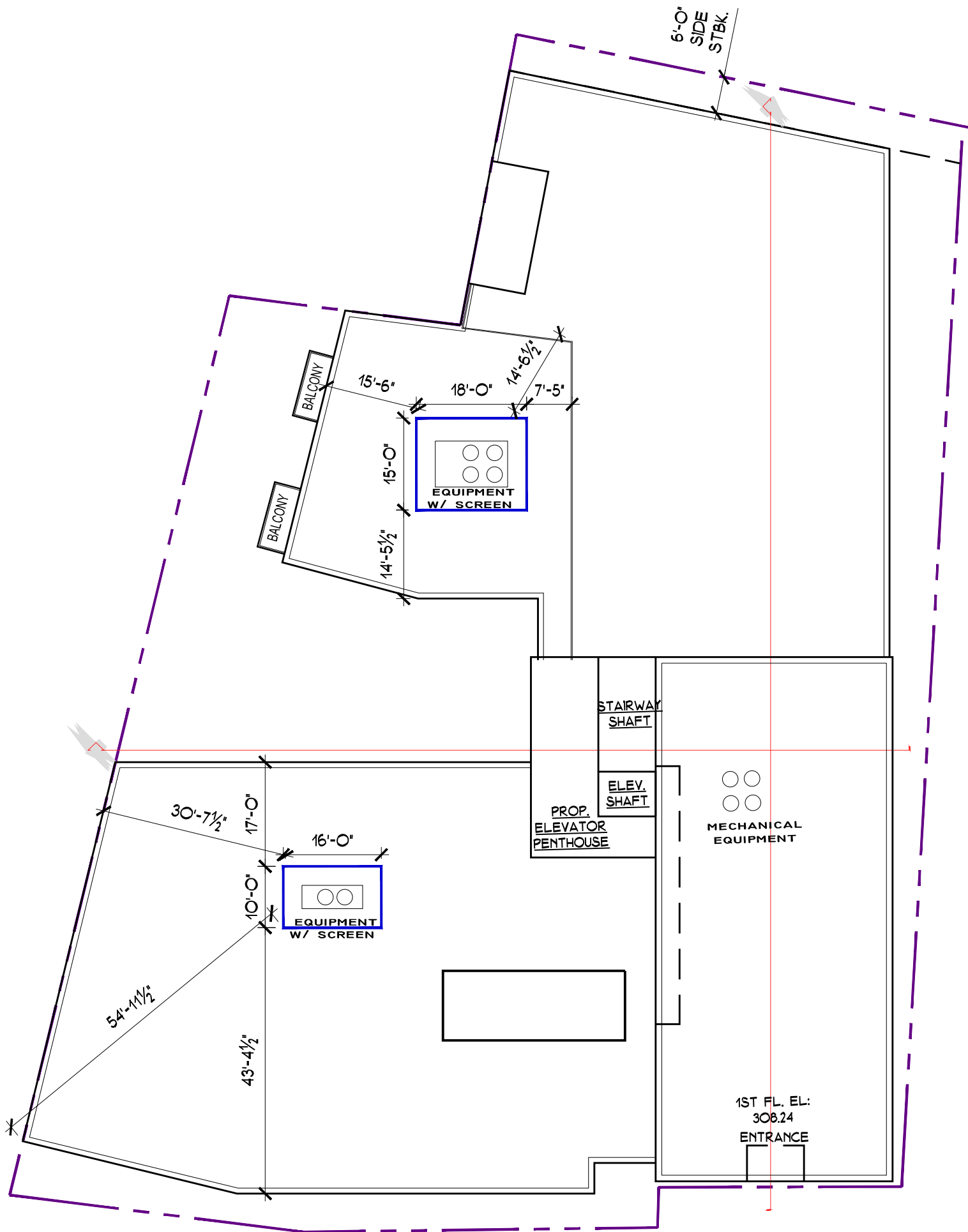
PROPOSED  
FOURTH LEVEL

1" = 20'-0"



PROPOSED  
FIFTH LEVEL

1" = 20'-0"



PROPOSED  
ROOF PLAN

1" = 20'-0"



PROPOSED  
ROOFTOP SEMI-PRIVATE SCREEN

N.T.S.

DESIGN: STANDARD RECTANGULAR SHAPE  
MATERIAL: ALUMINUM.  
COLOR: BLACK  
THICKNESS: 1"  
WIDTH: 6"  
HEIGHT: 5'-0"



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JORGE B. HERNANDEZ R.A. A.I.A.  
LICENSE NUMBER: 030424-1  
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REVISIONS	DATE	BY
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REV. DRAWINGS	4/9/2025	ARQ
PUBLIC HEARING	4/30/2025	ARQ

DRAWING TITLE:  
EXIST. & PROPOSED FLOOR  
PLANS

PROJECT:  
THE LANDMARK AT 444

PROJECT ADDRESS:  
444 BEDFORD RD  
PLEASANTVILLE  
NY 10570

NYS EDUCATION LAW  
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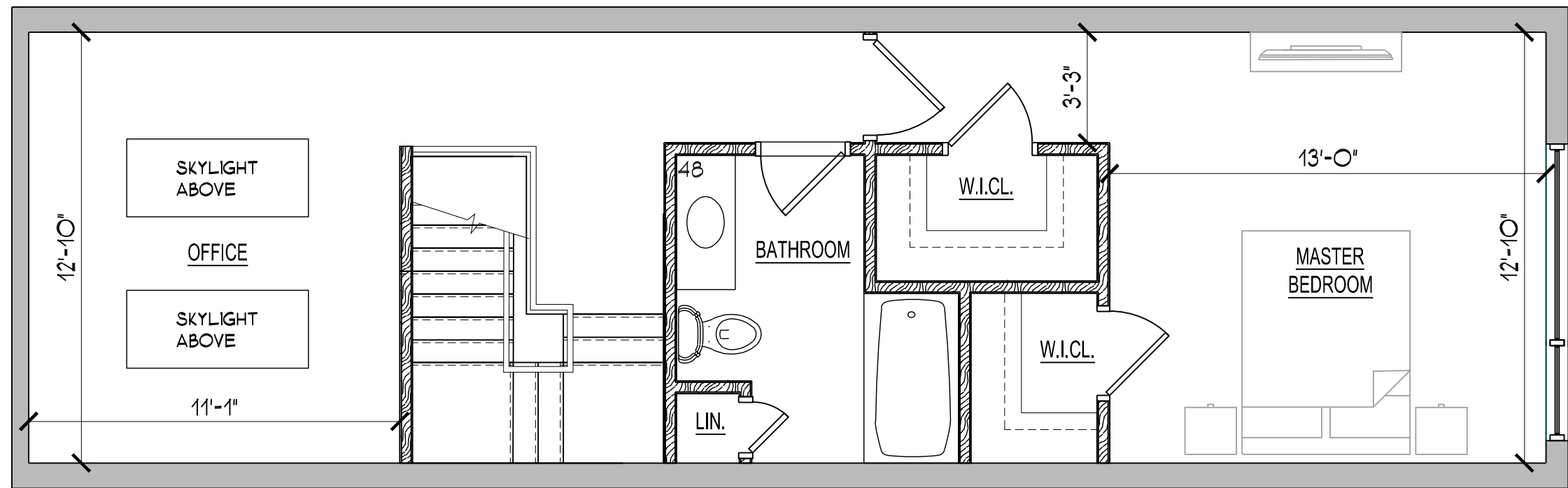
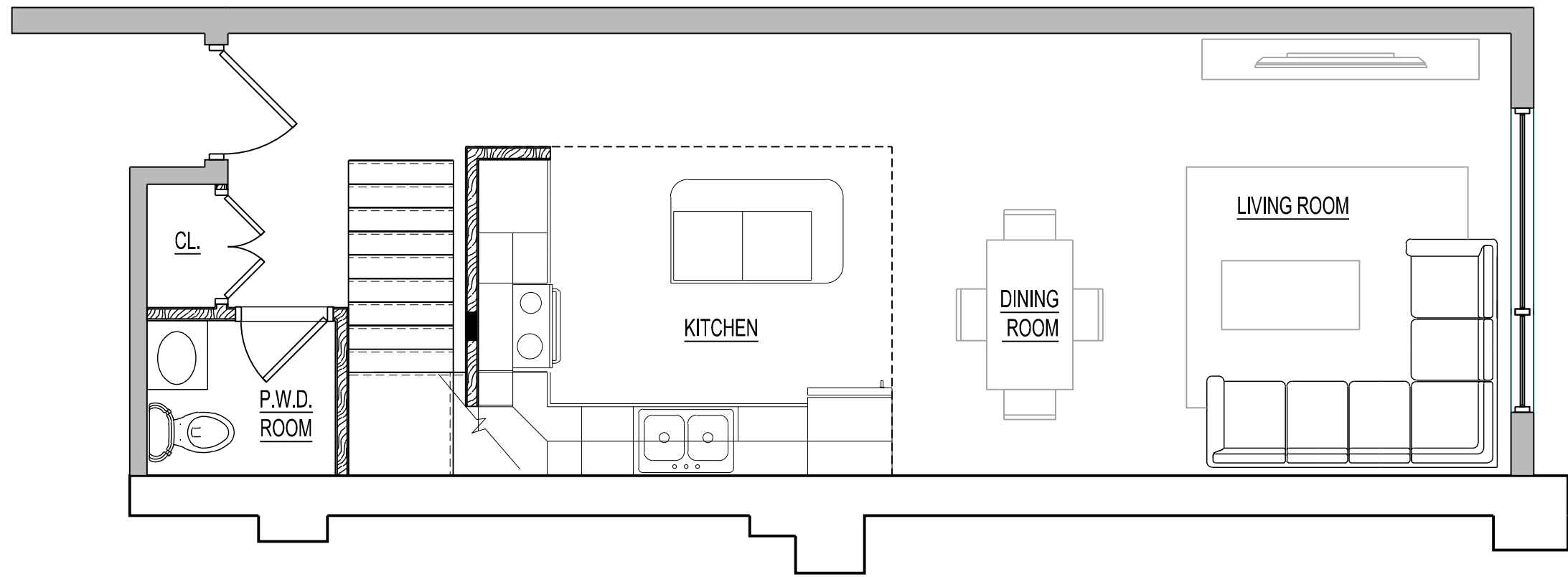
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21-037	
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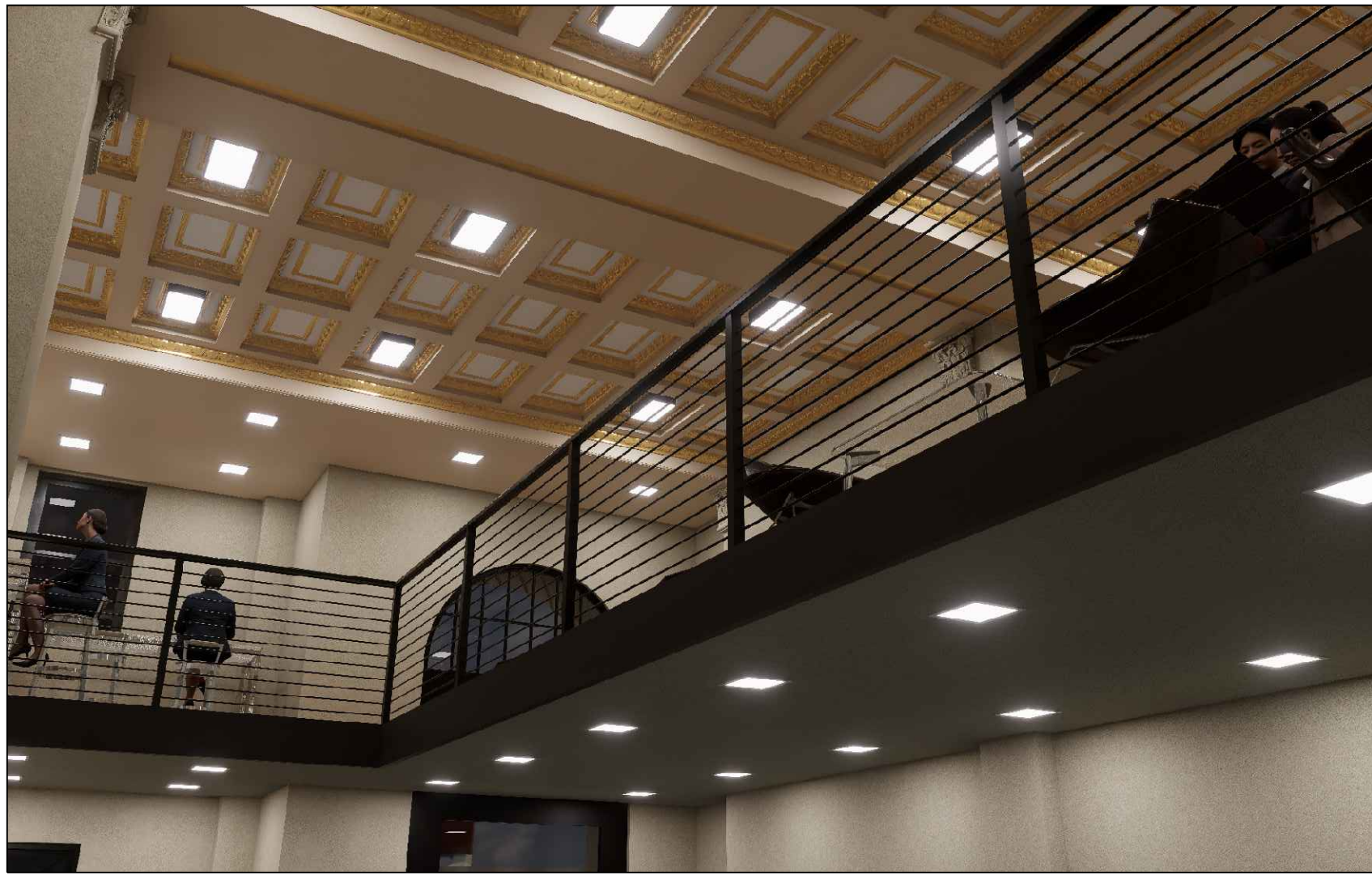
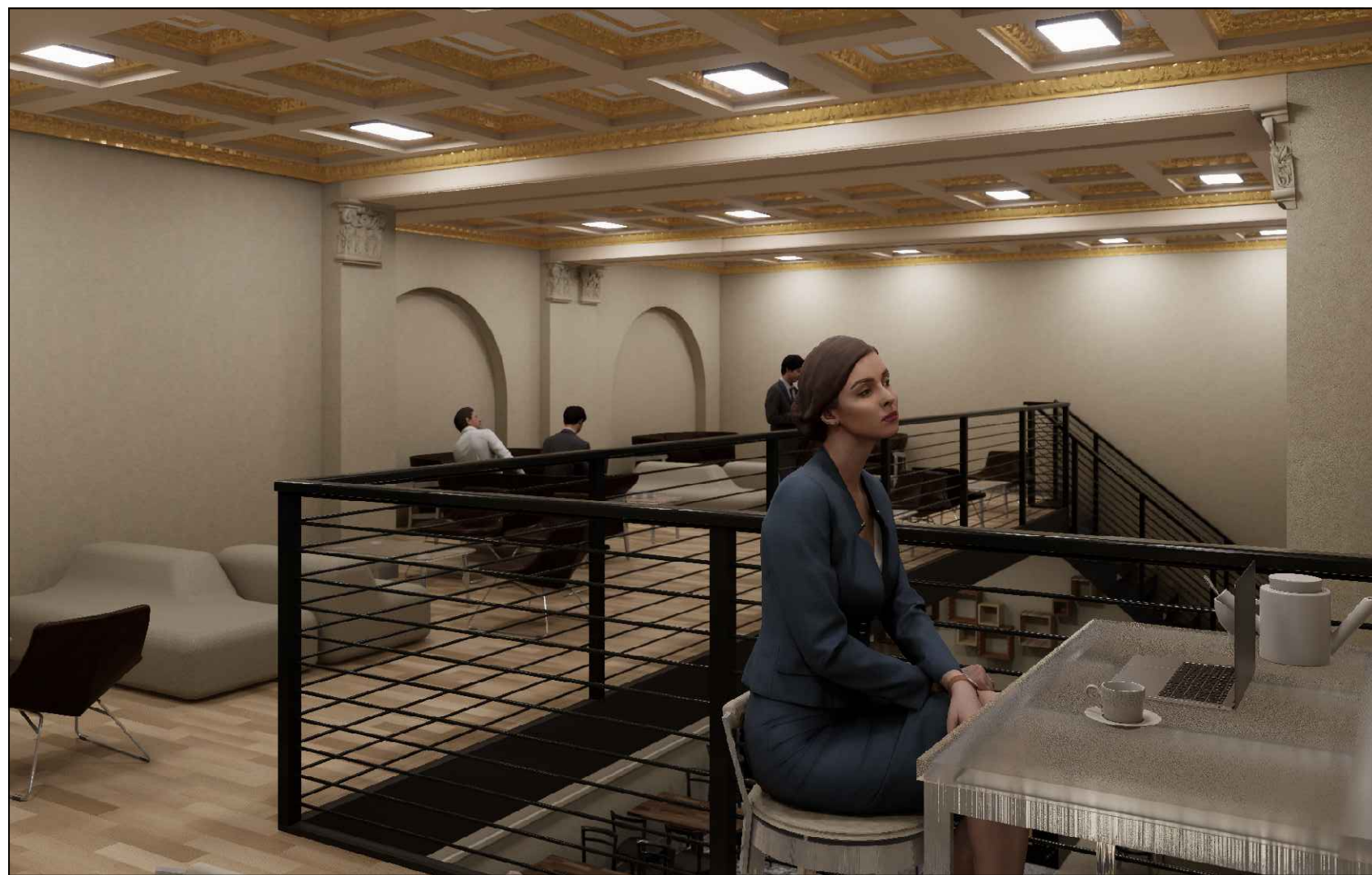
A-101





TYP  
DUPLEX FLOOR PLAN

1" = 20'-0"



PROPOSED  
INTERIOR 3D VIEWS FOR COMMERCIAL

N.T.S.



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REV. DRAWINGS	4/9/2025	ARQ
PUBLIC HEARING	4/30/2025	ARQ

DRAWING TITLE:

TYP. DUPLEX & SCHEMATIC  
INTERIOR 3D

PROJECT:

THE LANDMARK AT 444

PROJECT ADDRESS:

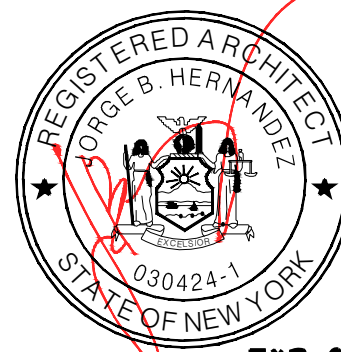
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SEAL & SIGNATURE

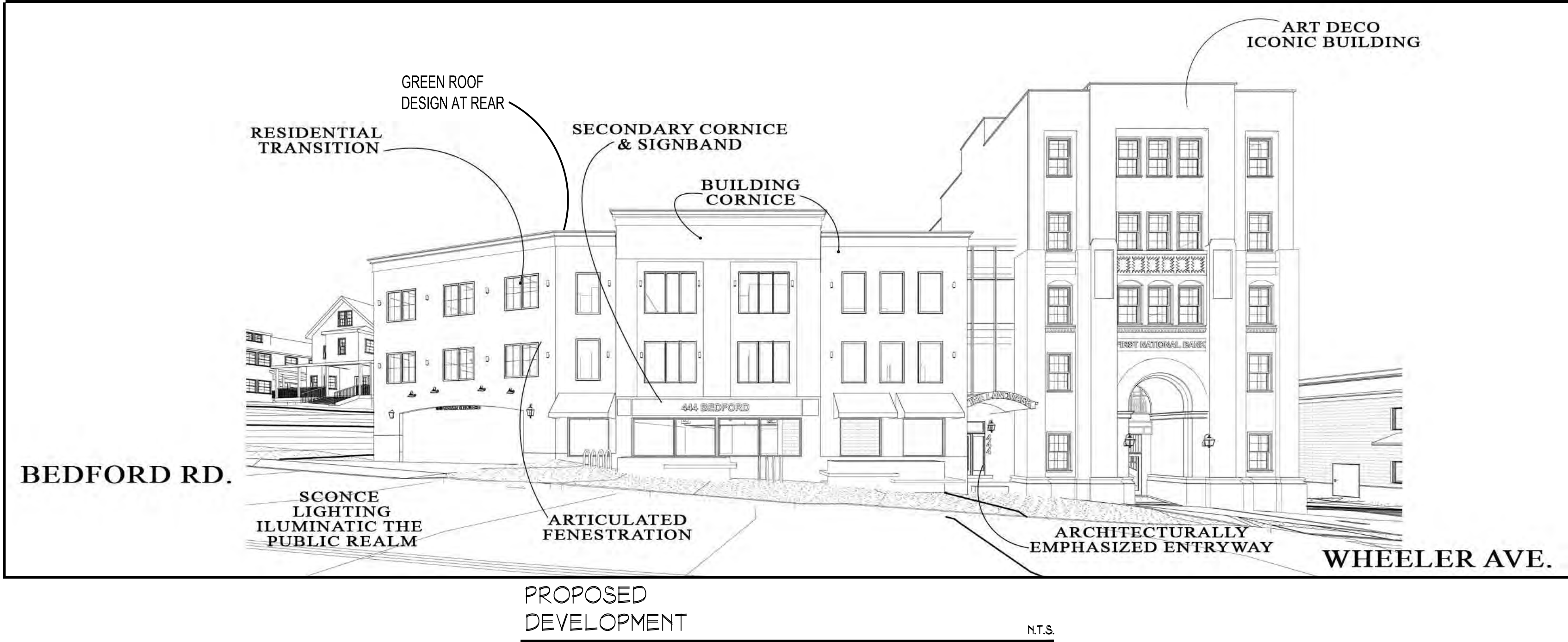


DATE:  
3/12/2021  
PROJECT NO.:  
21-037  
DRAWING BY:  
ARQ  
CHECKED BY:  
JBH

DWG. NO.:

A-102





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PUBLIC HEARING	4/30/2025	ARQ

DRAWING TITLE:  
EXIST. & PROPOSED 3D VIEWS

PROJECT:  
THE LANDMARK AT 444

PROJECT ADDRESS:  
444 BEDFORD RD  
PLEASANTVILLE  
NY 10570

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SEAL & SIGNATURE



DATE: 3/12/2021	DWG. NO.:
PROJECT NO.:	
21-037	
DRAWING BY:	
ARQ	
CHECKED BY:	
JBH	

A-200





EXIST. & PROPOSED  
BEFORD RD. RENDERED FRONT ELEVATION N.T.S.



EXIST. & PROPOSED  
WHEELER AVE. RENDERED RIGHT ELEVATION N.T.S.



100 EXECUTIVE BLVD. SUITE 204  
OSSING, NY 10562  
arqpc.com  
PHONE: (914) 944-3377  
FAX: (866) 567-5240

JORGE B. HERNANDEZ R.A. A.I.A.  
LICENSE NUMBER: 030424-1  
CERTIFICATE NUMBER: 2323801

REVISIONS	DATE	BY
RESUBMITTAL	9/14/2023	ARQ
RESUBMITTAL	4/26/2024	ARQ
RESUBMITTAL	9/30/2024	ARQ
P.B. COMMENTS	09/11/2024	ARQ
WHEELER LOADING	09/25/2024	ARQ
REV. DRAWINGS	10/9/2024	ARQ
REV. DRAWINGS	2/26/2025	ARQ
REV. DRAWINGS	4/9/2025	ARQ
PUBLIC HEARING	4/30/2025	ARQ

DRAWING TITLE:

EXIST. & PROPOSED  
RENDERED ELEVATIONS

PROJECT:

THE LANDMARK AT 444

PROJECT ADDRESS:

444 BEDFORD RD  
PLEASANTVILLE  
NY 10570

NYS EDUCATION LAW

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SEAL & SIGNATURE



DATE:

3/12/2021

PROJECT NO.:

21-037

DRAWING BY:

ARQ

CHECKED BY:

JBH

DWG. NO.:

A-201





EXIST. & PROPOSED  
BEDFORD RD. FRONT ELEVATION

N.T.S.



EXIST. & PROPOSED  
WHEELER AVE. RIGHT ELEVATION

N.T.S.



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REV. DRAWINGS	4/9/2025	ARQ
PUBLIC HEARING	4/30/2025	ARQ

DRAWING TITLE:

EXIST. & PROPOSED  
ELEVATIONS

PROJECT:

THE LANDMARK AT 444

PROJECT ADDRESS:

444 BEDFORD RD  
PLEASANTVILLE  
NY 10570

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SEAL & SIGNATURE



DATE:  
3/12/2021  
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21-037  
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CHECKED BY:  
JBH

DWG. NO:

A-202





EXIST. & PROPOSED  
REAR ELEVATION

N.T.S.



EXIST. & PROPOSED  
LEFT ELEVATION

N.T.S.



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**JORGE B. HERNANDEZ R.A. A.I.A.**  
LICENSE NUMBER: 030424-1  
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RESUBMITTAL	9/30/2024	ARQ
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REV. DRAWINGS	10/9/2024	ARQ
REV. DRAWINGS	2/26/2025	ARQ
REV. DRAWINGS	4/9/2025	ARQ
PUBLIC HEARING	4/30/2025	ARQ

DRAWING TITLE:

EXIST. & PROPOSED  
ELEVATIONS

PROJECT:

THE LANDMARK AT 444

PROJECT ADDRESS:

444 BEDFORD RD  
PLEASANTVILLE  
NY 10570

NYS EDUCATION LAW

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SEAL & SIGNATURE



EXP. 3-31-2026

DATE:

3/12/2021

PROJECT NO.:

21-037

DRAWING BY:

ARQ

CHECKED BY:

JBH

DWG. NO.:

A-203





REGISTERED ARCHITECT  
 GEORGE S. HERNANDEZ  
 030424-1  
 STATE OF NEW YORK  
 EXP: 3-31-2026





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FAX: (866) 567-5240

JORGE B. HERNANDEZ R.A. A.I.A.  
LICENSE NUMBER: 030424-1  
CERTIFICATE NUMBER: 2323801

REVISIONS	DATE	BY
RESUBMITTAL	9/14/2023	ARQ
RESUBMITTAL	4/26/2024	ARQ
RESUBMITTAL	9/30/2024	ARQ
P.B. COMMENTS	09/11/2024	ARQ
WHEELER LOADING	09/26/2024	ARQ
REV. DRAWINGS	10/9/2024	ARQ
REV. DRAWINGS	2/26/2025	ARQ
REV. DRAWINGS	4/9/2025	ARQ
PUBLIC HEARING	4/30/2025	ARQ

DRAWING TITLE:

SCHEMATIC SECTIONS

PROJECT:

THE LANDMARK AT 444

PROJECT ADDRESS:

444 BEDFORD RD  
PLEASANTVILLE  
NY 10570

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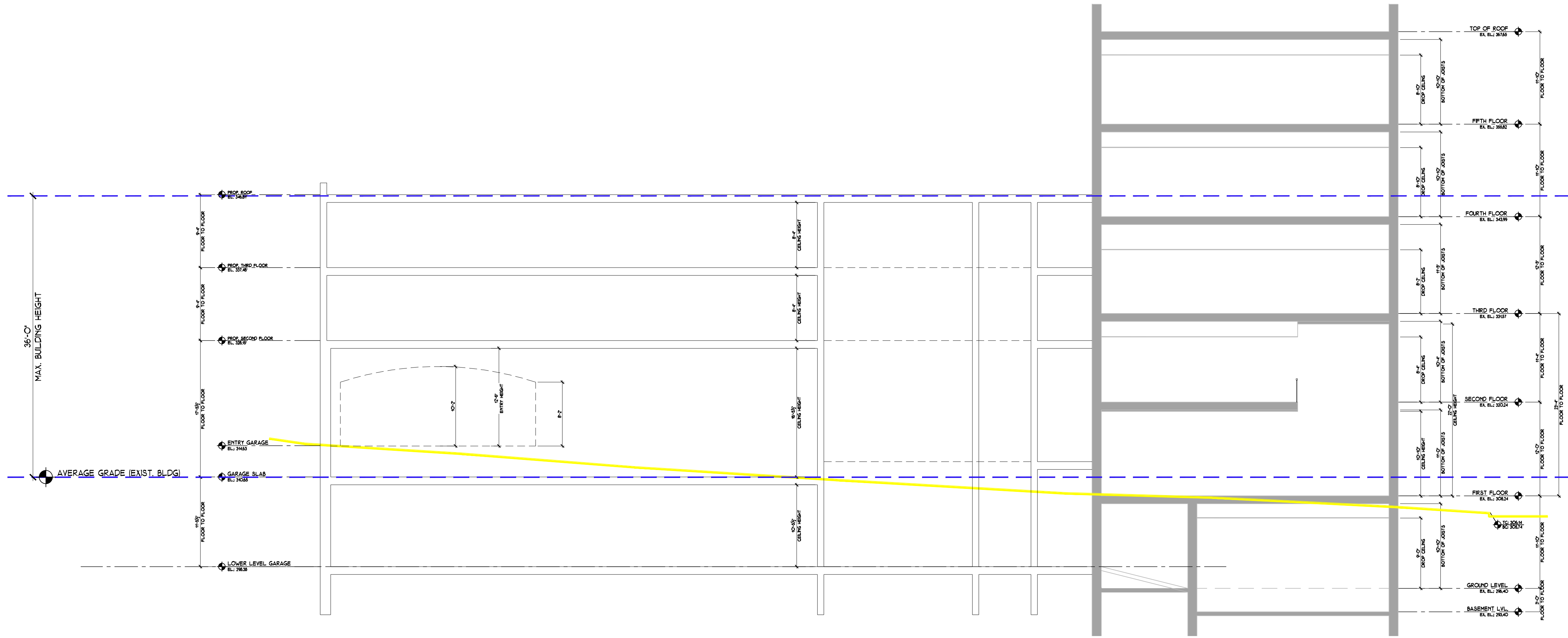
SEAL & SIGNATURE



DATE:  
3/12/2021  
PROJECT NO:  
21-037  
DRAWING BY:  
ARQ  
CHECKED BY:  
JBH

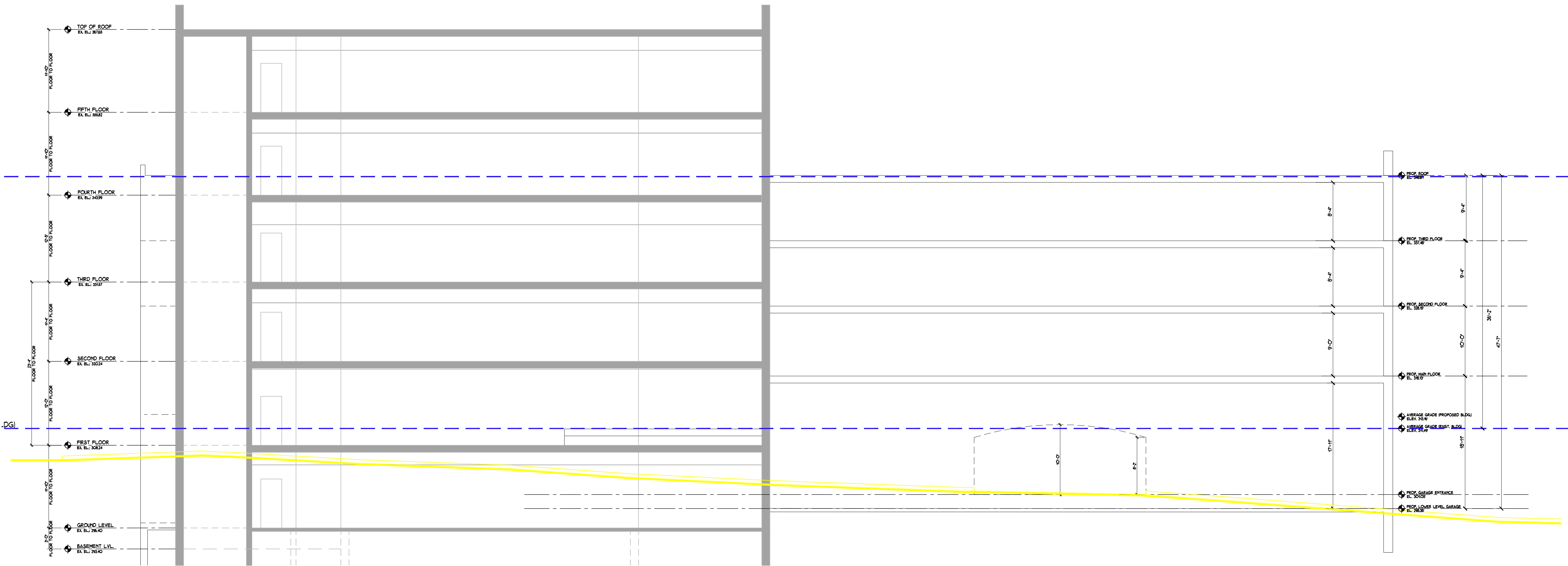
DWG. NO:

A-300



SCHEMATIC SECTION 1

1/8" = 1'-0"



SCHEMATIC SECTION 3

1/8" = 1'-0"









POSSIBLE  
FUTURE EXTENSION ON LEFT SIDE

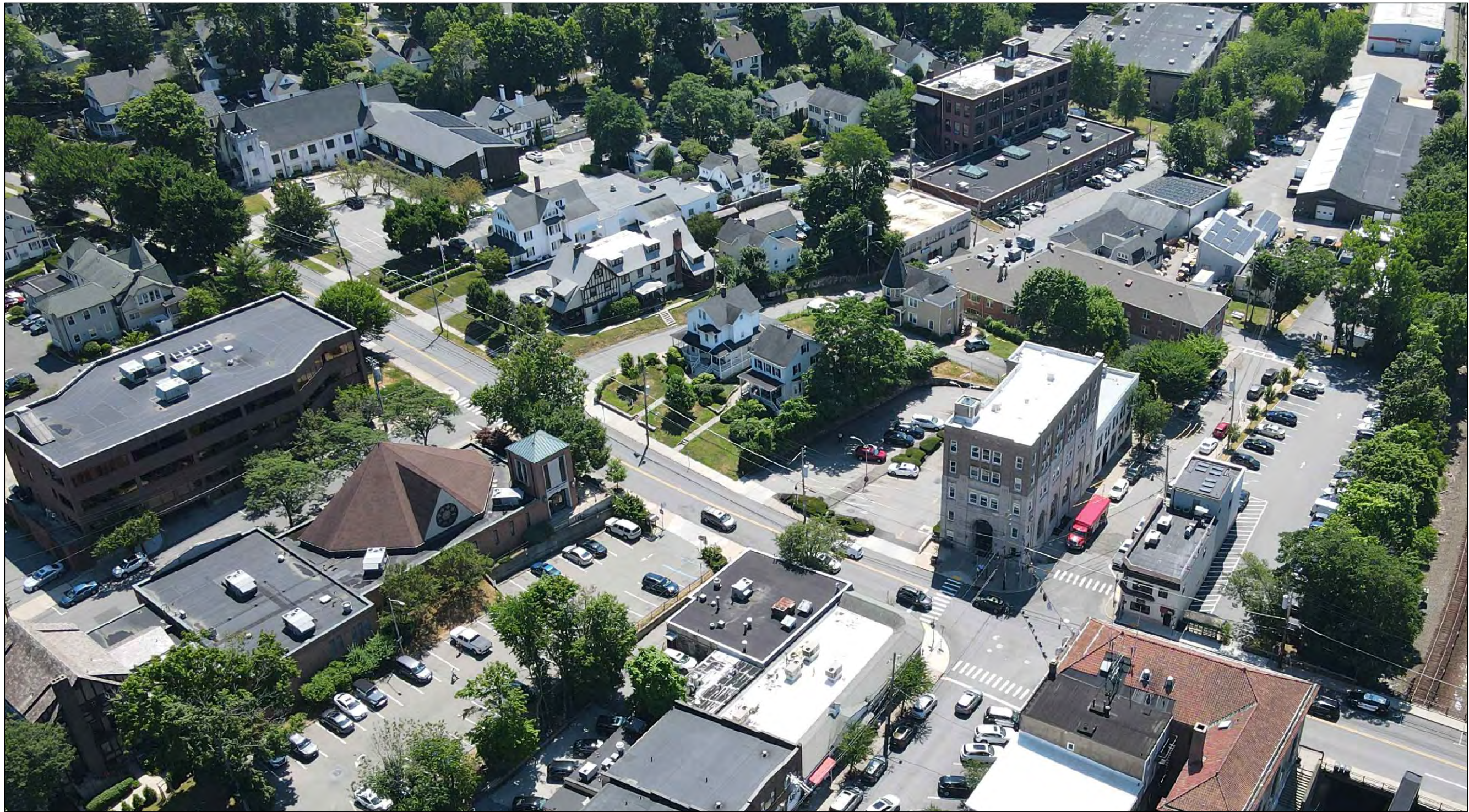
NT.S.



R-PO  
A1

ZONING DIAGRAM

NT.S.



DRONE PICTURE  
OF PARTIAL NEIGHBORHOOD

NT.S.



R-PO  
A1

PARTIAL ZONING MAP OF PLEASANTVILLE

NT.S.



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LICENSE NUMBER: 030424-1  
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REVISIONS	DATE	BY
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RESUBMITTAL	9/30/2024	ARQ
P.B. COMMENTS	09/11/2024	ARQ
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REV. DRAWINGS	10/9/2024	ARQ
REV. DRAWINGS	2/26/2025	ARQ
REV. DRAWINGS	4/9/2025	ARQ
PUBLIC HEARING	4/30/2025	ARQ

DRAWING TITLE:

NEIGHBORHOOD ANALYSIS

PROJECT:

THE LANDMARK AT 444

PROJECT ADDRESS:

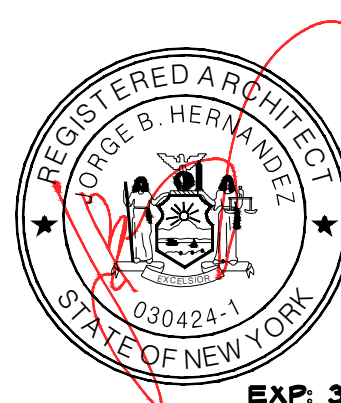
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PLEASANTVILLE  
NY 10570

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SEAL & SIGNATURE



DATE:

3/12/2021

PROJECT NO.:

21-037

DRAWING BY:

ARQ

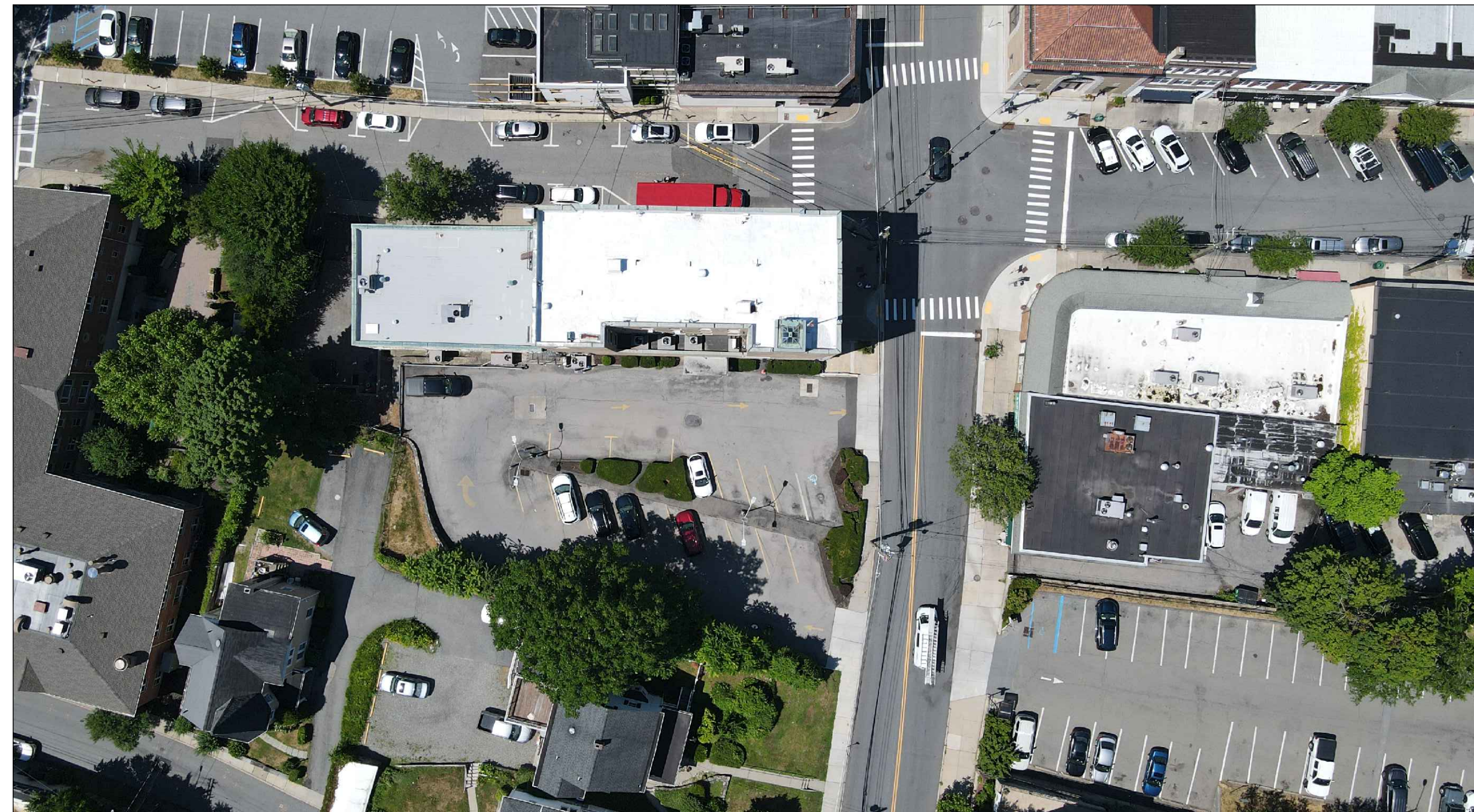
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DWG. NO.:

A-401





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FAX: (866) 567-6240**

**JORGE B. HERNANDEZ R.A. A.I.A.**  
**LICENSE NUMBER: 030424-1**  
**CERTIFICATE NUMBER: 2323801**

REVISIONS	DATE	BY
RESUBMITTAL	9/14/2023	ARQ
RESUBMITTAL	4/26/2024	ARQ
RESUBMITTAL	8/30/2024	ARQ
P.B. COMMENTS	09/11/2024	ARQ
WHEELER LOADING	09/25/2024	ARQ
REV. DRAWINGS	10/9/2024	ARQ
REV. DRAWINGS	2/26/2025	ARQ
REV. DRAWINGS	4/9/2025	ARQ
PUBLIC HEARING	4/30/2025	ARQ

DRAWING TITLE:

## DRONE PICTURES

PROJECT:

THE LANDMARK AT 444

PROJECT ADDRESS:

444 BEDFORD RD  
PLEASANTVILLE  
NY 10570

---

NYS EDUCATION LAW

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DATE: \_\_\_\_\_

3/12/2021

PROJECT NO.:  
21-037

DRAWING BY:

DRAWING BY:  
ARQ

CHECKED

JBH

---

DWG. NO.:

$\Delta = 402$





EXISTING & PROPOSED  
NORTH WEST 3D VIEW



EXISTING & PROPOSED  
3D VIEW



EXISTING & PROPOSED  
NORTH EAST 3D VIEW 1



EXISTING & PROPOSED  
NORTH EAST 3D VIEW 2



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REV. DRAWINGS	4/9/2025	ARQ
PUBLIC HEARING	4/30/2025	ARQ

DRAWING TITLE:

EXISTING & PROPOSED  
3D VIEWS

PROJECT:

THE LANDMARK AT 444

PROJECT ADDRESS:

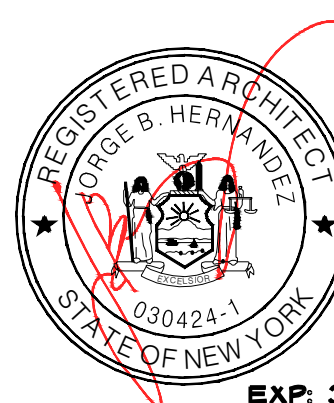
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DATE:

3/12/2021

PROJECT NO.:

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DRAWING BY:

ARQ

CHECKED BY:

JBH

DWG. NO.:

A-403





## **Minutes of Meeting**

Meeting of May 14, 2025