



## Village of Pleasantville

**Building Department**

80 Wheeler Avenue / Pleasantville, New York  
10570  
(914) 769-1926 Fax: (914) 769-5519

### **PLEASANTVILLE PLANNING COMMISSION MEETING**

#### **To: Planning Commission Members:**

There will be a meeting of the Pleasantville Planning Commission on Wednesday, June 25, 2025, at 8:00 PM, at Village Hall, 2nd Floor 80 Wheeler Avenue, Pleasantville, New York.

### **AGENDA**

1. **Meeting Access**

Topic: Planning / ARB

Time: Jun 25, 2025 08:00 PM Eastern Time (US and Canada)

Join Zoom Meeting

[https://us06web.zoom.us/j/83531956450?](https://us06web.zoom.us/j/83531956450?pwd=LWEnAH7ZT46aWpx60MQKucJPhNkt2Q.1)

[pwd=LWEnAH7ZT46aWpx60MQKucJPhNkt2Q.1](https://us06web.zoom.us/j/83531956450?pwd=LWEnAH7ZT46aWpx60MQKucJPhNkt2Q.1)

Meeting ID: 835 3195 6450

Passcode: 223650

One tap mobile

+16465588656,,83531956450# US (New York)

2. **APPLICATIONS INVOLVING PLANNING & ARB**

3. **444 Bedford Road**

**444 Bedford Road - The Landmark at 444** - Proposed mixed use development consisting of 36 apartment units and retail shop - *Cont Public Hearing & review*

4. **Minutes of Meeting**

Meeting of June 11, 2025

Very truly yours

Robert Hughes  
Building Inspector



### **Meeting Access**

Topic: Planning / ARB

Time: Jun 25, 2025 08:00 PM Eastern Time (US and Canada)

Join Zoom Meeting

<https://us06web.zoom.us/j/83531956450?pwd=LWEnAH7ZT46aWpx60MQKucJPhNkt2Q.1>

Meeting ID: 835 3195 6450

Passcode: 223650

One tap mobile

+16465588656,,83531956450# US (New York)





## **APPLICATIONS INVOLVING PLANNING & ARB**



## **444 Bedford Road**

**444 Bedford Road - The Landmark at 444** - Proposed mixed use development consisting of 36 apartment units and retail shop - *Cont Public Hearing & review*

### **ATTACHMENTS:**

Description	Type	Upload Date
Cover letter 6.20.25	Backup Material	6/23/2025
Updated final set of drawings - A dwgs - 6.6.2025	Backup Material	6/18/2025
Updated final set of drawings - S dwgs - 6.6.2025	Backup Material	6/18/2025
Updated photometric plans 6.20.25	Backup Material	6/23/2025
Updated plat 6.18.25	Backup Material	6/23/2025
Survey map - sewer lines 6.13.25	Backup Material	6/23/2025
Resident email	Backup Material	6/25/2025

LAW OFFICE OF  
**JEFFREY W. GASBARRO**

---

June 20, 2025

Mr. Russell Klein, Chairman  
Village of Pleasantville Planning Commission  
Village Hall  
80 Wheeler Avenue  
Pleasantville, New York 10570

**Re: 444 Bedford Road, Pleasantville (“The Landmark at 444”)**  
**(S/B/L: 106.6 – 5 – 18/19, Zone District: A-1)**

Dear Chairman Klein and Members of the Planning Commission,

We are pleased to return to the Commission for a continued public hearing regarding our project entitled *The Landmark at 444*.

Our updated submission includes (1) a revised photometric plan to provide for bollard lighting in the rooftop pool area; (2) a revised subdivision plat indicating the lot lines to be abandoned; (3) and a plan depicting the utility markings requested by the Village Engineer. We also previously submitted (for a prior meeting), revised architectural drawings depicting revised plantings requested by your consultant and the requested notation that the planters on the Bedford Road side of the building will not exceed 3.5 feet in height (see sheet S-110).

We believe we have now addressed all of the previous comments from the Planning Commission, the Planning Consultant, and Village Engineer. We look forward to moving this project forward at the continued public hearing.

Sincerely,



Jeffrey W. Gasbarro, Esq.





100 EXECUTIVE BLVD. SUITE 204  
OSSINING, NY 10562  
arqpc.com  
PHONE: (914) 944-3377  
FAX: (866) 567-5240

JORGE B. HERNANDEZ R.A. A.I.A.  
LICENSE NUMBER: 030424-1  
CERTIFICATE NUMBER: 2323801

REVISIONS	DATE	BY
RESUBMITTAL	9/14/2023	ARQ
RESUBMITTAL	4/26/2024	ARQ
RESUBMITTAL	9/30/2024	ARQ
P.B. COMMENTS	09/11/2024	ARQ
WHEELER LOADING	09/26/2024	ARQ
REV. DRAWINGS	10/9/2024	ARQ
REV. DRAWINGS	2/26/2025	ARQ
REV. DRAWINGS	4/9/2025	ARQ
PUBLIC HEARING	4/30/2025	ARQ

DRAWING TITLE:

EXIST. & PROPOSED FLOOR PLANS

PROJECT:

THE LANDMARK AT 444

PROJECT ADDRESS:

444 BEDFORD RD  
PLEASANTVILLE  
NY 10570

NYS EDUCATION LAW

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF ARQ ARCHITECTURE P.C. WHETHER THE PROJECT FOR WHICH IT IS MADE IS EXECUTED OR NOT. THIS DRAWING SHALL NOT BE USED BY THE OTHERS OR OTHERS ON THE OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS EXCEPT BY AGREEMENT IN WRITING WITH ARQ ARCHITECTURE P.C. SUBMISSION OR DISTRIBUTION TO MEET OFFICIAL REGULATORY REQUIREMENTS OR FOR OTHER PURPOSES IN CONNECTION WITH THE PROJECT IS NOT TO BE CONSTRUCTED AS PUBLICATION IN DEROGATION OF THE RIGHTS OF ARQ ARCHITECTURE P.C. REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THIS DRAWING BELONGS TO ARQ ARCHITECTURE P.C. WITHOUT PREJUDICE. NO MODIFICATIONS TO THIS DRAWING IN ACCORDANCE WITH THE NYS EDUCATION LAW.

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING LICENSED PROFESSIONAL SHALL AFFIX TO THEIR ITEM THEIR SEAL AND THE NOTATION "ALTERED BY FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

SEAL & SIGNATURE



EXP. 3-31-2026

DATE:

3/12/2021

PROJECT NO.:

21-037

DRAWING BY:

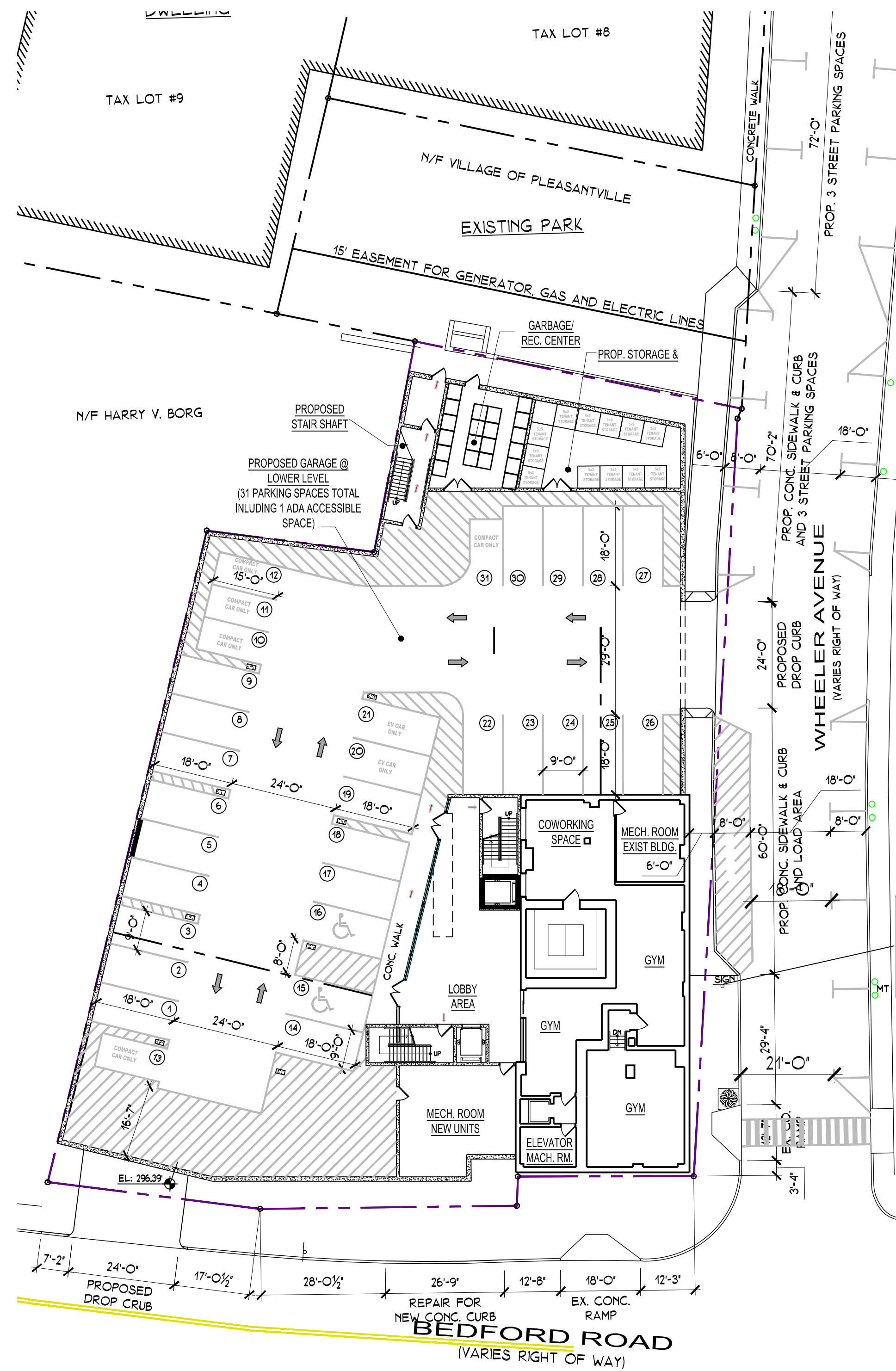
ARQ

CHECKED BY:

JBH

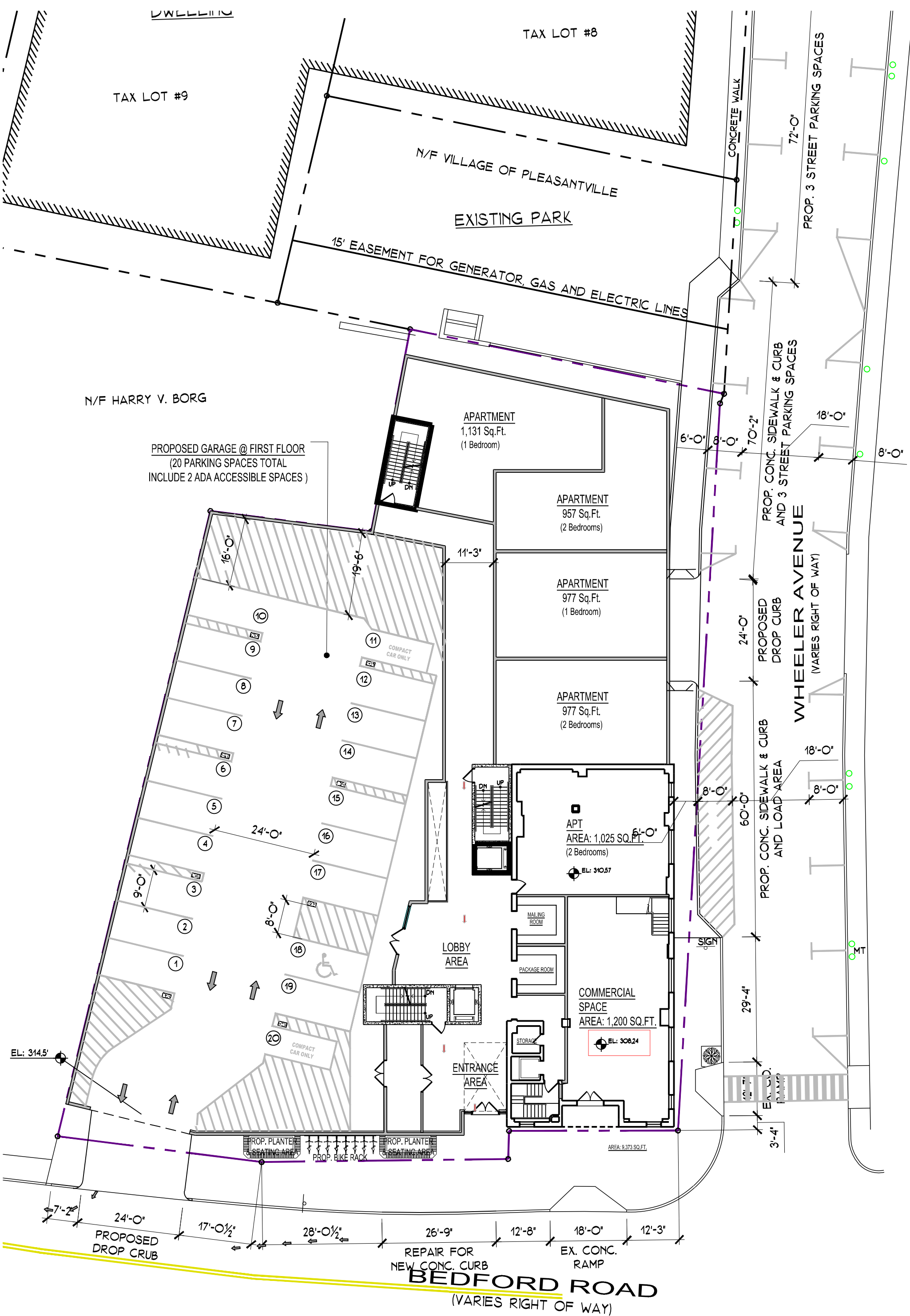
DWG. NO.:

A-100



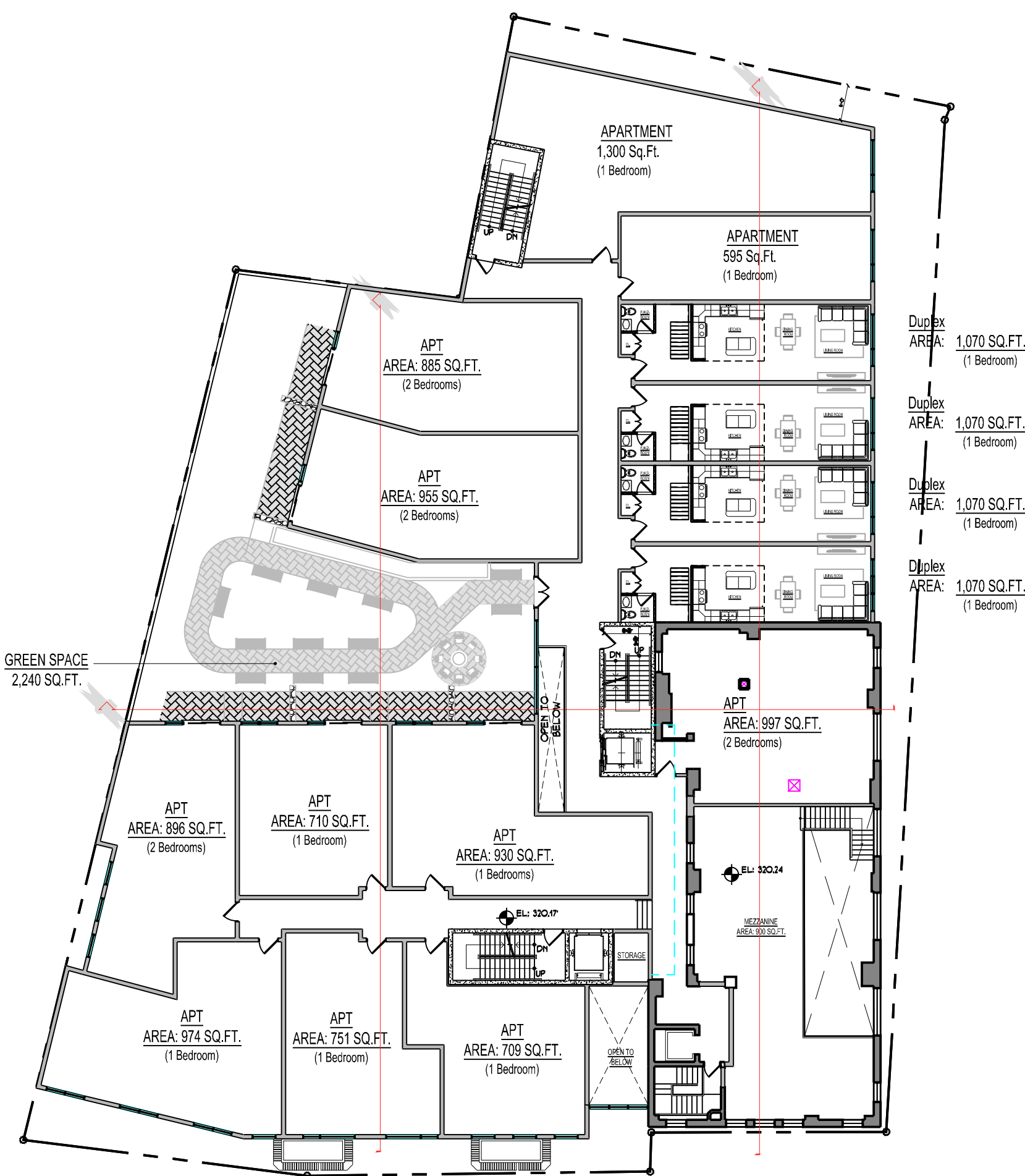
PROPOSED LOWER LEVEL

1" = 20'-0"



PROPOSED MAIN LEVEL

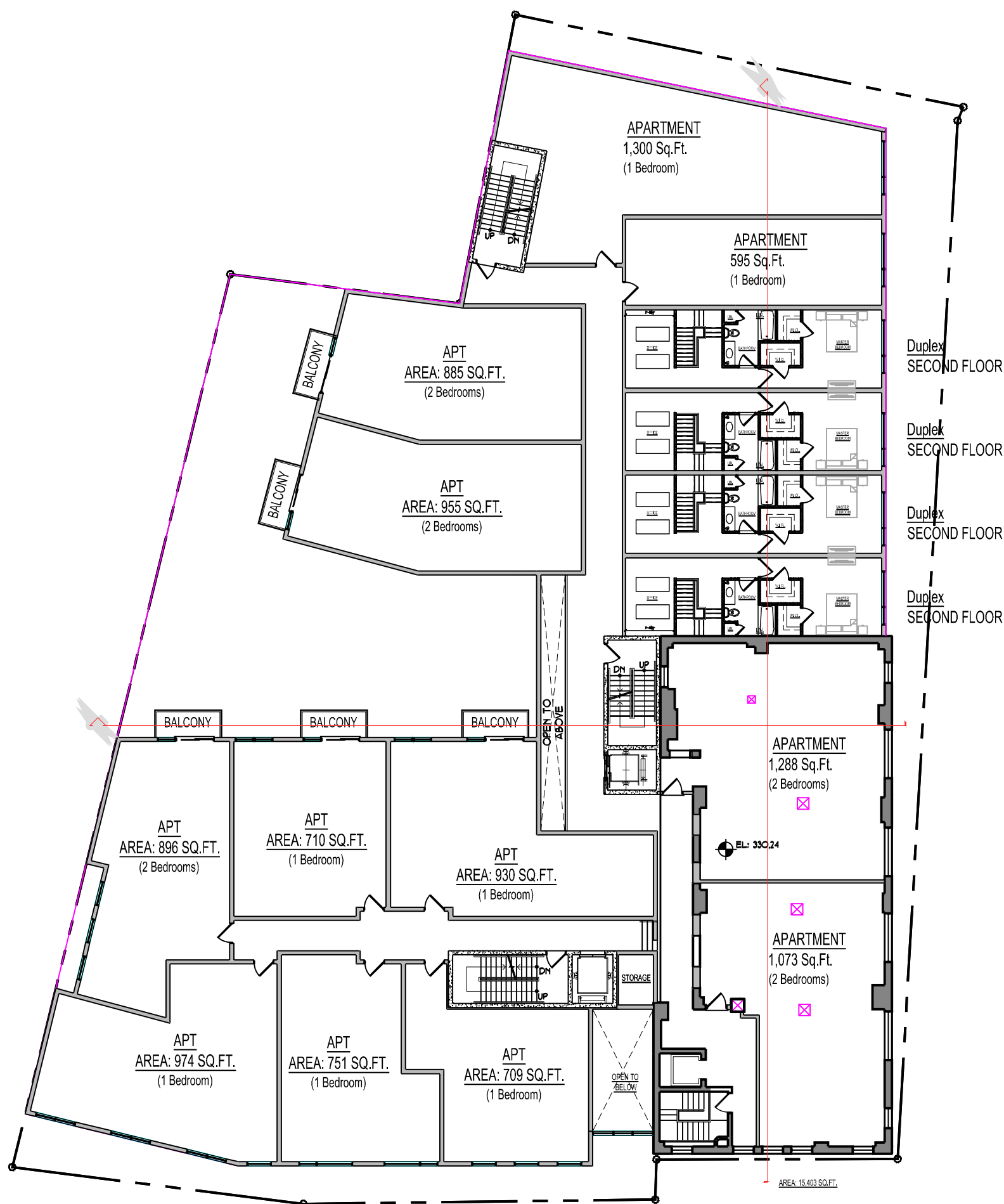
1" = 20'-0"



PROPOSED SECOND LEVEL

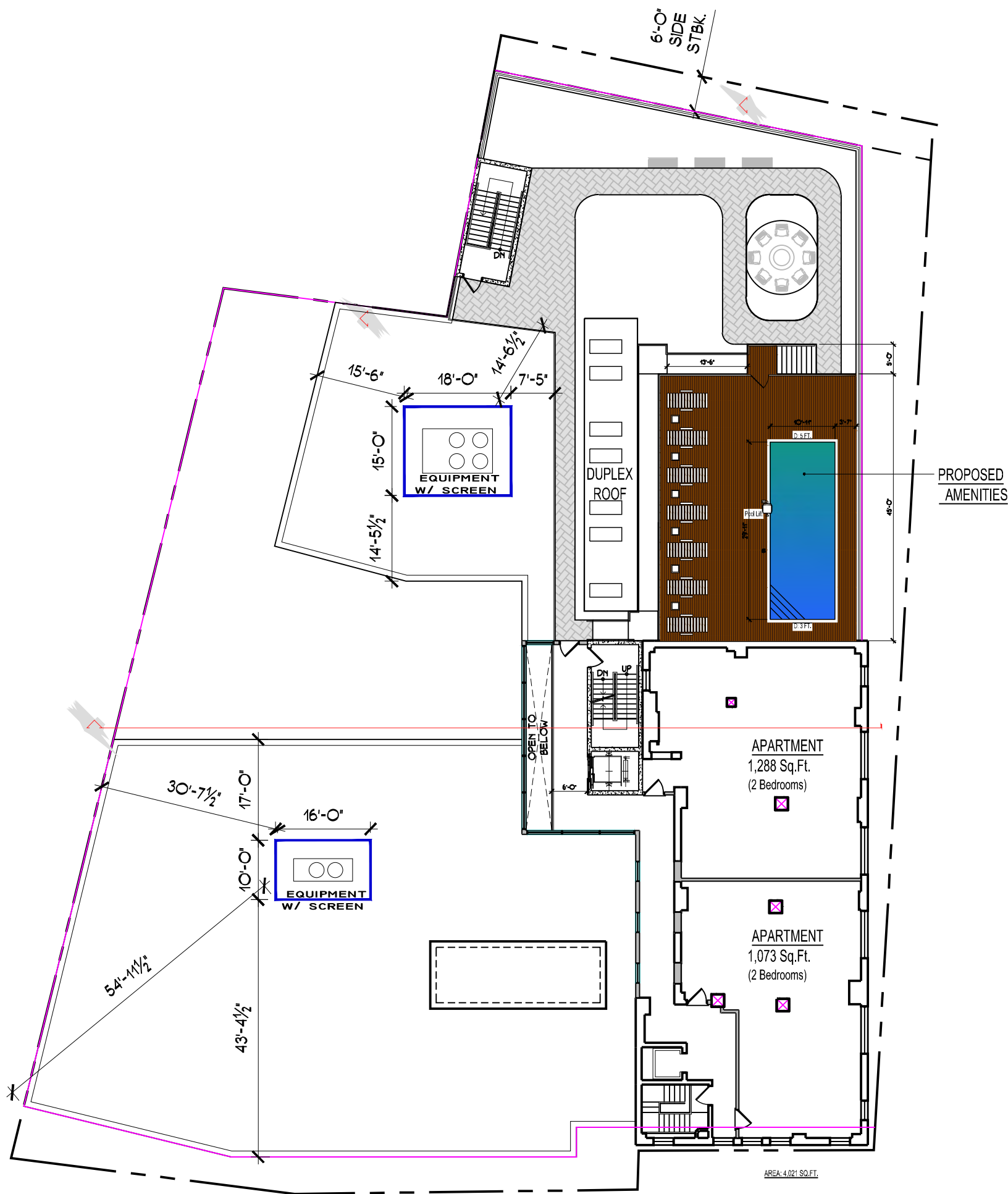
1" = 20'-0"





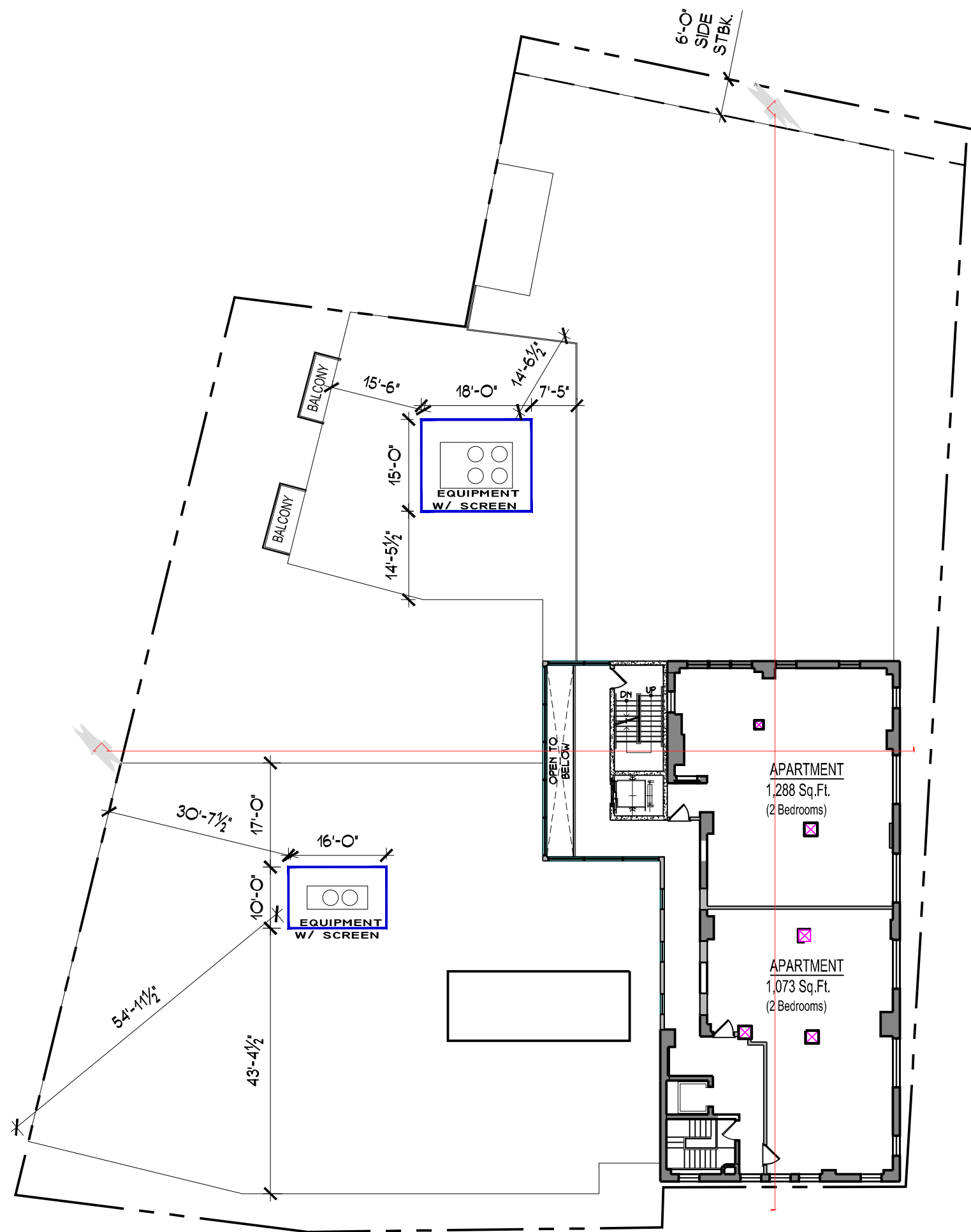
PROPOSED  
THIRD LEVEL

1" = 20'-0"



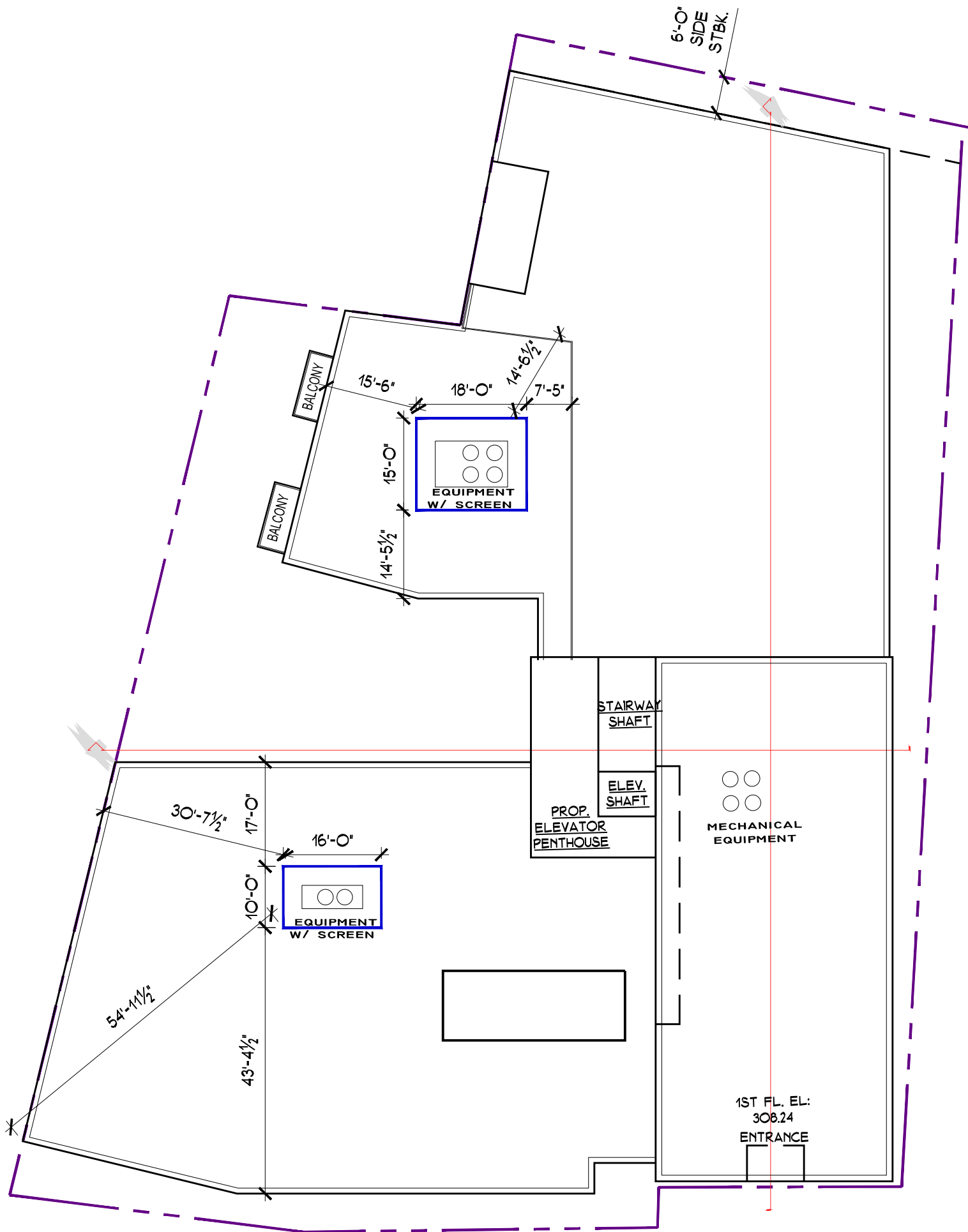
PROPOSED  
FOURTH LEVEL

1" = 20'-0"



PROPOSED  
FIFTH LEVEL

1" = 20'-0"



PROPOSED  
ROOF PLAN

1" = 20'-0"



PROPOSED  
ROOFTOP SEMI-PRIVATE SCREEN

N.T.S.

DESIGN: STANDARD RECTANGULAR SHAPE  
MATERIAL: ALUMINUM.  
COLOR: BLACK  
THICKNESS: 1"  
WIDTH: 6"  
HEIGHT: 5'-0"



100 EXECUTIVE BLVD. SUITE 204  
OSSINING, NY 10562  
arqpc.com  
PHONE: (914) 944-3377  
FAX: (866) 567-5240

JORGE B. HERNANDEZ R.A. A.I.A.  
LICENSE NUMBER: 030424-1  
CERTIFICATE NUMBER: 2323801

REVISIONS	DATE	BY
RESUBMITTAL	9/14/2023	ARQ
RESUBMITTAL	4/26/2024	ARQ
RESUBMITTAL	9/30/2024	ARQ
P.B. COMMENTS	09/11/2024	ARQ
WHEELER LOADING	09/26/2024	ARQ
REV. DRAWINGS	10/9/2024	ARQ
REV. DRAWINGS	2/26/2025	ARQ
REV. DRAWINGS	4/9/2025	ARQ
PUBLIC HEARING	4/30/2025	ARQ

DRAWING TITLE:

EXIST. & PROPOSED FLOOR  
PLANS

PROJECT:

THE LANDMARK AT 444

PROJECT ADDRESS:

444 BEDFORD RD  
PLEASANTVILLE  
NY 10570

NYS EDUCATION LAW

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF ARQ ARCHITECTURE P.C. WHETHER THE PROJECT FOR WHICH IT IS MADE IS EXECUTED OR NOT. THIS DRAWING SHALL NOT BE USED BY THE OTHERS OR OTHERS ON THE OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS EXCEPT BY AGREEMENT IN WRITING WITH ARQ ARCHITECTURE P.C. SUBMISSION OR DISTRIBUTION TO MEET OFFICIAL REGULATORY REQUIREMENTS OR FOR OTHER PURPOSES IN CONNECTION WITH THE PROJECT IS NOT TO BE CONSTRUCTED AS PUBLICATION IN DEROGATION OF THE RIGHTS OF ARQ ARCHITECTURE P.C. REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THIS DRAWING BELONGS TO ARQ ARCHITECTURE P.C. WITHOUT PREJUDICE. NO MODIFICATIONS TO THIS DRAWING IN ACCORDANCE WITH THE NYS EDUCATION LAW.

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING LICENSED PROFESSIONAL SHALL AFFIX TO THEIR ITEM THEIR SEAL AND THE NOTATION "ALTERED BY FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

SEAL & SIGNATURE



EXP. 3-31-2026

DATE:

3/12/2021

PROJECT NO.:

21-037

DRAWING BY:

ARQ

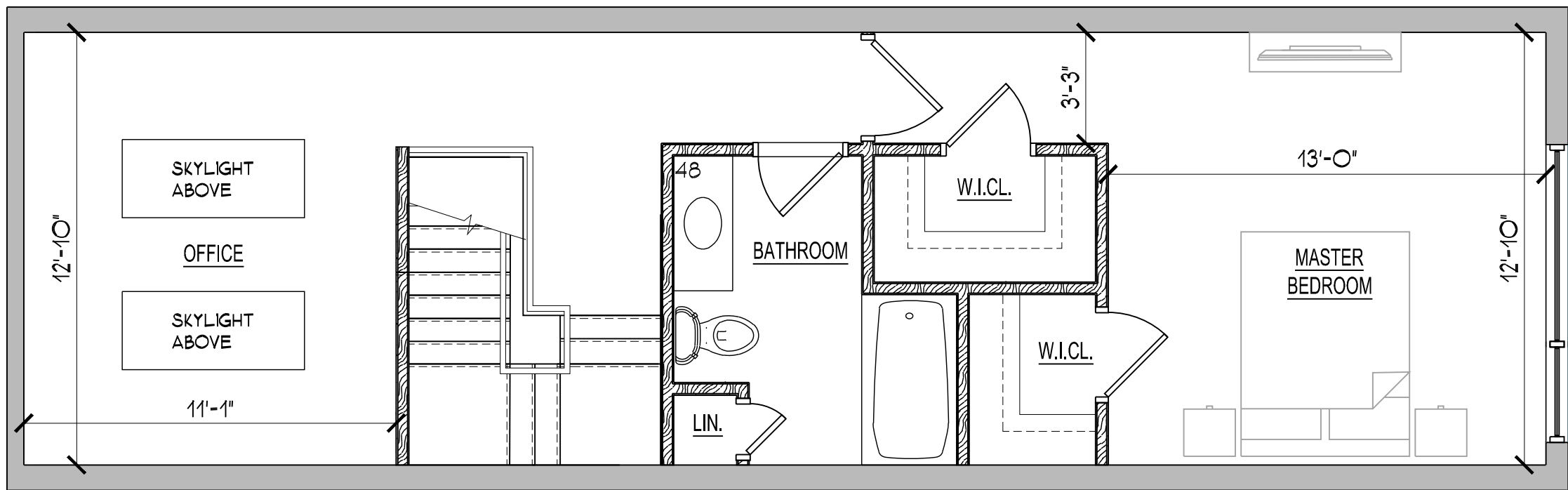
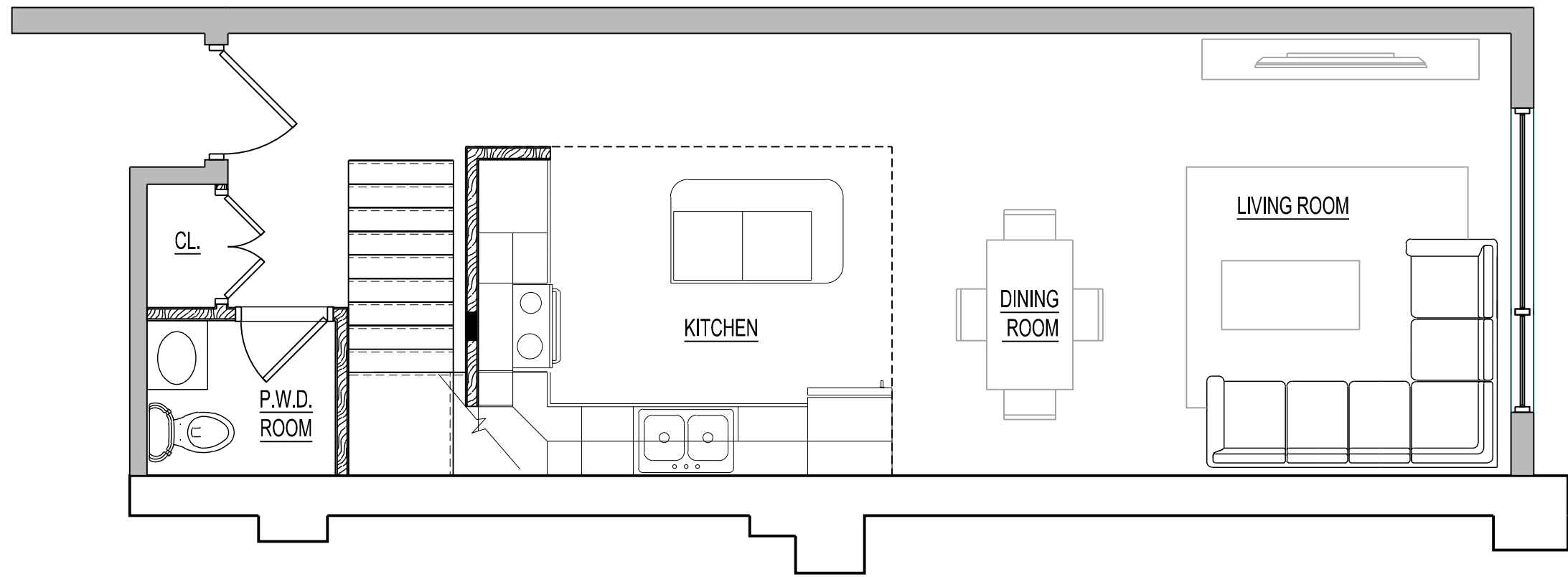
CHECKED BY:

JBH

DWG. NO.:

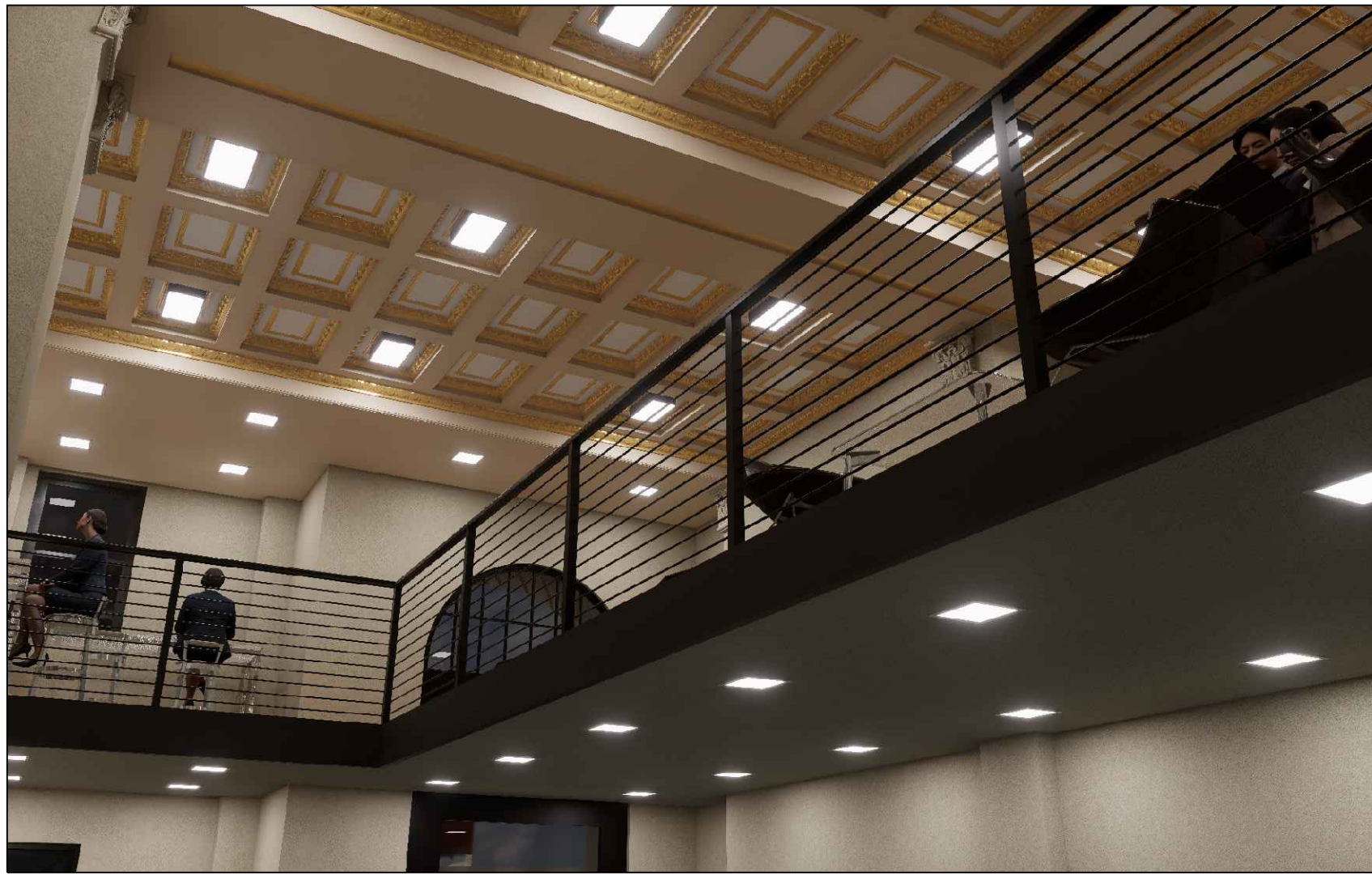
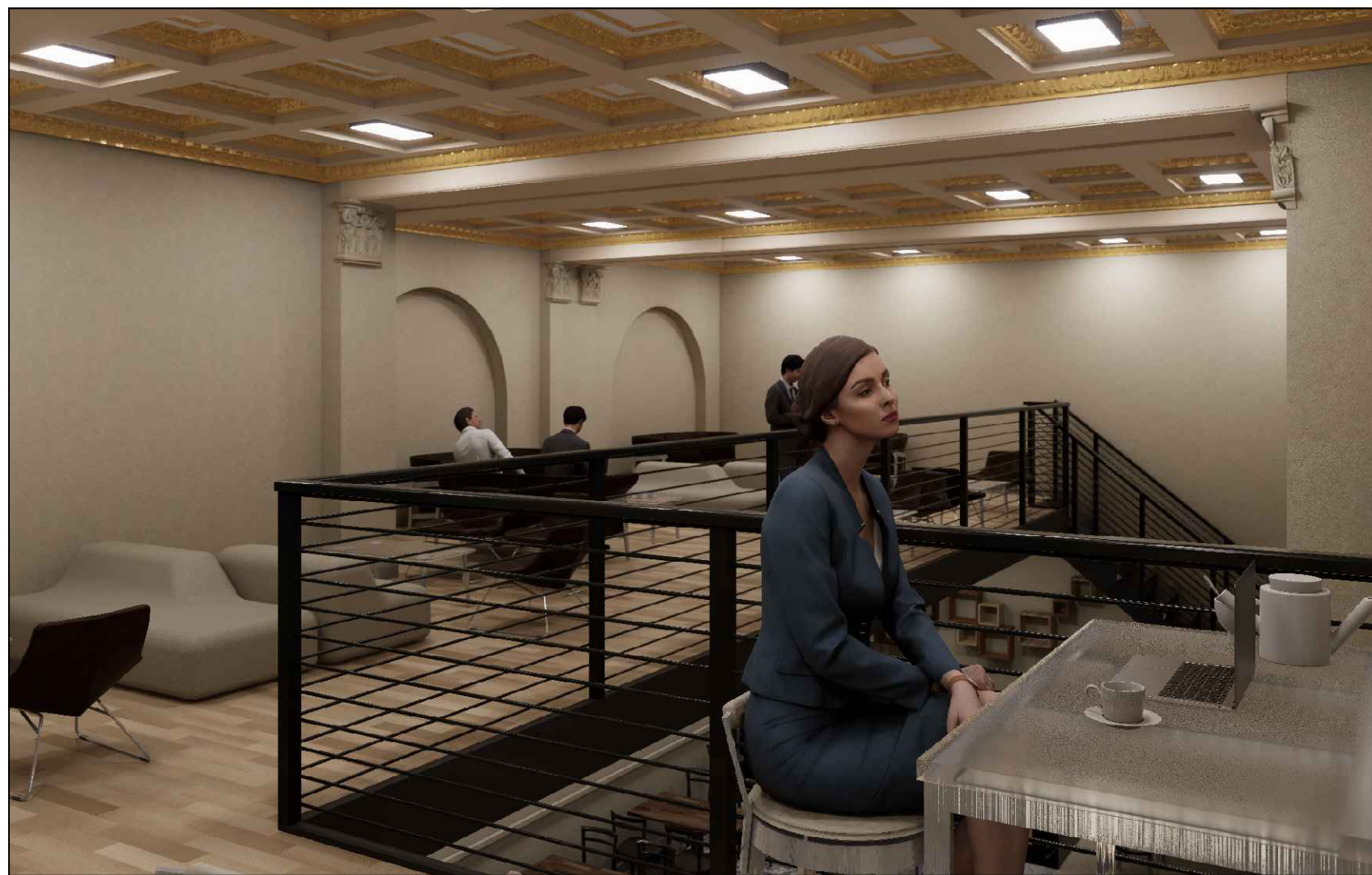
A-101





TYP  
DUPEX FLOOR PLAN

1" = 20'-0"



PROPOSED  
INTERIOR 3D VIEWS FOR COMMERCIAL

N.T.S.



100 EXECUTIVE BLVD. SUITE 204  
OSSINING, NY 10562  
arqpc.com  
PHONE: (914) 944-3377  
FAX: (866) 567-5240

JORGE B. HERNANDEZ R.A. A.I.A.  
LICENSE NUMBER: 030424-1  
CERTIFICATE NUMBER: 2323801

REVISIONS	DATE	BY
RESUBMITTAL	9/14/2023	ARQ
RESUBMITTAL	4/25/2024	ARQ
RESUBMITTAL	9/30/2024	ARQ
P.B. COMMENTS	09/11/2024	ARQ
WHEELER LOADING	09/25/2024	ARQ
REV. DRAWINGS	10/9/2024	ARQ
REV. DRAWINGS	2/26/2025	ARQ
REV. DRAWINGS	4/9/2025	ARQ
PUBLIC HEARING	4/30/2025	ARQ

DRAWING TITLE:  
TYP. DUPEX & SCHEMATIC  
INTERIOR 3D

PROJECT:  
THE LANDMARK AT 444

PROJECT ADDRESS:  
444 BEDFORD RD  
PLEASANTVILLE  
NY 10570

NYS EDUCATION LAW

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF ARQ ARCHITECTURE P.C. WHETHER THE PROJECT FOR WHICH IT IS MADE IS EXECUTED OR NOT. THIS DRAWING SHALL NOT BE USED BY THE OTHERS OR OTHERS ON THE OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS EXCEPT BY AGREEMENT IN WRITING WITH ARQ ARCHITECTURE P.C. SUBMISSION OR DISTRIBUTION TO MEET OFFICIAL REGULATORY REQUIREMENTS OR FOR OTHER PURPOSES IN CONNECTION WITH THE PROJECT IS NOT TO BE CONSTRUCTED AS PUBLICATION IN DEROGATION OF THE RIGHTS OF ARQ ARCHITECTURE P.C. REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THIS DRAWING BELONGS TO ARQ ARCHITECTURE P.C. WITHOUT PREJUDICE. NO MODIFICATIONS TO THIS DRAWING IN ACCORDANCE WITH THE NYS EDUCATION LAW.

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING LICENSED PROFESSIONAL SHALL AFFIX TO THEIR ITEM THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

SEAL & SIGNATURE

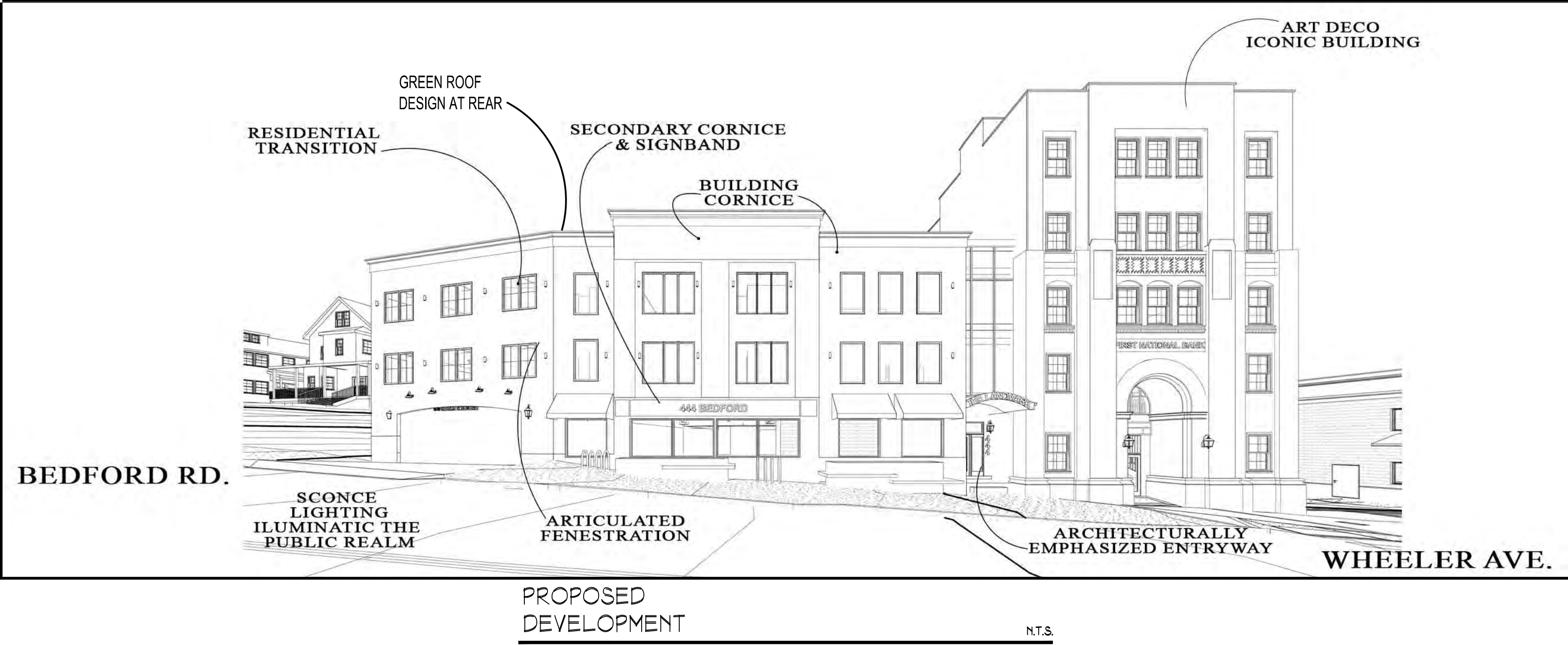


EXP. 3-31-2026

DATE: 3/12/2021	DWG. NO.:
PROJECT NO.:	
21-037	
DRAWING BY:	
ARQ	
CHECKED BY:	
JBH	

A-102





PROPOSED  
3D VIEW #1

N.T.S.



EXIST. & PROPOSED  
3D VIEW #2

N.T.S.



100 EXECUTIVE BLVD. SUITE 204  
OSSING, NY 10562  
arqpc.com  
PHONE: (914) 944-3377  
FAX: (866) 567-5240

JORGE B. HERNANDEZ R.A. A.I.A.  
LICENSE NUMBER: 030424-1  
CERTIFICATE NUMBER: 2323801

REVISIONS	DATE	BY
RESUBMITTAL	9/14/2023	ARQ
RESUBMITTAL	4/26/2024	ARQ
RESUBMITTAL	9/30/2024	ARQ
P.B. COMMENTS	09/11/2024	ARQ
WHEELER LOADING	09/26/2024	ARQ
REV. DRAWINGS	10/9/2024	ARQ
REV. DRAWINGS	2/26/2025	ARQ
REV. DRAWINGS	4/9/2025	ARQ
PUBLIC HEARING	4/30/2025	ARQ

DRAWING TITLE:  
EXIST. & PROPOSED 3D VIEWS

PROJECT:  
THE LANDMARK AT 444

PROJECT ADDRESS:  
444 BEDFORD RD  
PLEASANTVILLE  
NY 10570

NYS EDUCATION LAW

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF ARQ ARCHITECTURE P.C. WHETHER THE PROJECT FOR WHICH IT IS MADE IS EXECUTED OR NOT. THIS DRAWING SHALL NOT BE USED BY THE OTHERS OR OTHERS ON THE OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS EXCEPT BY AGREEMENT IN WRITING WITH ARQ ARCHITECTURE P.C. SUBMISSION OR DISTRIBUTION TO MEET OFFICIAL REGULATORY REQUIREMENTS OR FOR OTHER PURPOSES IN CONNECTION WITH THE PROJECT IS NOT TO BE CONSTRUCTED AS PUBLICATION IN DEROGATION OF THE RIGHTS OF ARQ ARCHITECTURE P.C. REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THIS DRAWING BELONGS TO ARQ ARCHITECTURE P.C. WITHOUT PREJUDICE. NO MODIFICATIONS TO THIS DRAWING IN ACCORDANCE WITH THE NYS EDUCATION LAW.

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING LICENSED PROFESSIONAL SHALL AFFIX TO THEIR ITEM THEIR SEAL AND THE NOTATION "ALTERED BY FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

SEAL & SIGNATURE



DATE: 3/12/2021	DWG. NO.:
PROJECT NO.:	
21-037	
DRAWING BY:	
ARQ	
CHECKED BY:	
JBH	

A-200





EXIST. & PROPOSED  
BEFORD RD. RENDERED FRONT ELEVATION N.T.S.



EXIST. & PROPOSED  
WHEELER AVE. RENDERED RIGHT ELEVATION N.T.S.



100 EXECUTIVE BLVD. SUITE 204  
OSSING, NY 10562  
arqpc.com  
PHONE: (914) 944-3377  
FAX: (866) 567-5240

JORGE B. HERNANDEZ R.A. A.I.A.  
LICENSE NUMBER: 030424-1  
CERTIFICATE NUMBER: 2323801

REVISIONS	DATE	BY
RESUBMITTAL	9/14/2023	ARQ
RESUBMITTAL	4/26/2024	ARQ
RESUBMITTAL	9/30/2024	ARQ
P.B. COMMENTS	09/11/2024	ARQ
WHEELER LOADING	09/25/2024	ARQ
REV. DRAWINGS	10/9/2024	ARQ
REV. DRAWINGS	2/26/2025	ARQ
REV. DRAWINGS	4/9/2025	ARQ
PUBLIC HEARING	4/30/2025	ARQ

DRAWING TITLE:

EXIST. & PROPOSED  
RENDERED ELEVATIONS

PROJECT:

THE LANDMARK AT 444

PROJECT ADDRESS:

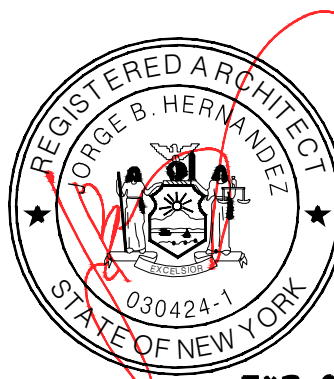
444 BEDFORD RD  
PLEASANTVILLE  
NY 10570

NYS EDUCATION LAW

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF ARQ ARCHITECTURE P.C. WHETHER THE PROJECT FOR WHICH IT IS MADE IS EXECUTED OR NOT. THIS DRAWING SHALL NOT BE USED BY THE OTHERS OR OTHERS ON THE OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS EXCEPT BY AGREEMENT IN WRITING WITH ARQ ARCHITECTURE P.C. SUBMISSION OR DISTRIBUTION TO MEET OFFICIAL REGULATORY REQUIREMENTS OR FOR OTHER PURPOSES IN CONNECTION WITH THE PROJECT IS NOT TO BE CONSTRUCTED AS PUBLICATION IN DEROGATION OF THE RIGHTS OF ARQ ARCHITECTURE P.C. REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THIS DRAWING BELONGS TO ARQ ARCHITECTURE P.C. WITHOUT PREJUDICE. NO MODIFICATIONS TO THIS DRAWING IN ACCORDANCE WITH THE NYS EDUCATION LAW.

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING LICENSED PROFESSIONAL SHALL AFFIX TO THEIR ITEM THEIR SEAL AND THE NOTATION "ALTERED BY FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

SEAL & SIGNATURE



DATE:

3/12/2021

PROJECT NO.:

21-037

DRAWING BY:

ARQ

CHECKED BY:

JBH

DWG. NO.:

A-201





EXIST. & PROPOSED  
BEDFORD RD. FRONT ELEVATION

N.T.S.



EXIST. & PROPOSED  
WHEELER AVE. RIGHT ELEVATION

N.T.S.



100 EXECUTIVE BLVD. SUITE 204  
OSSING, NY 10562  
arqpc.com  
PHONE: (914) 944-3377  
FAX: (866) 567-5240

JORGE B. HERNANDEZ R.A. A.I.A.  
LICENSE NUMBER: 030424-1  
CERTIFICATE NUMBER: 2323801

REVISIONS	DATE	BY
RESUBMITTAL	9/14/2023	ARQ
RESUBMITTAL	4/26/2024	ARQ
RESUBMITTAL	9/30/2024	ARQ
P.B. COMMENTS	09/11/2024	ARQ
WHEELER LOADING	09/26/2024	ARQ
REV. DRAWINGS	10/9/2024	ARQ
REV. DRAWINGS	2/26/2025	ARQ
REV. DRAWINGS	4/9/2025	ARQ
PUBLIC HEARING	4/30/2025	ARQ

DRAWING TITLE:

EXIST. & PROPOSED  
ELEVATIONS

PROJECT:

THE LANDMARK AT 444

PROJECT ADDRESS:

444 BEDFORD RD  
PLEASANTVILLE  
NY 10570

NYS EDUCATION LAW

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF ARQ ARCHITECTURE P.C. WHETHER THE PROJECT FOR WHICH IT IS MADE IS EXECUTED OR NOT. THIS DRAWING SHALL NOT BE USED BY THE OTHERS OR OTHERS ON THE OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS EXCEPT BY AGREEMENT IN WRITING WITH ARQ ARCHITECTURE P.C. SUBMISSION OR DISTRIBUTION TO MEET OFFICIAL REGULATORY REQUIREMENTS OR FOR OTHER PURPOSES IN CONNECTION WITH THE PROJECT IS NOT TO BE CONSTRUCTED AS PUBLICATION IN DEROGATION OF THE RIGHTS OF ARQ ARCHITECTURE P.C. REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THIS DRAWING BELONGS TO ARQ ARCHITECTURE P.C. WITHOUT PREJUDICE. NO MODIFICATIONS TO THIS DRAWING IN ACCORDANCE WITH THE NYS EDUCATION LAW.

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING LICENSED PROFESSIONAL SHALL AFFIX TO THEIR ITEM THEIR SEAL AND THE NOTATION "ALTERED BY FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

SEAL & SIGNATURE



DATE:  
3/12/2021  
PROJECT NO.:  
21-037  
DRAWN BY:  
ARQ  
CHECKED BY:  
JBH

DWG. NO.:

A-202







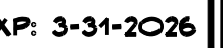


PROJECT:

PROJECT ADDRESS:

NYS EDUCATION LAW

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL, TO ALTER AN ITEM IN ANY WAY, IF AN ITEM BEARING THE SEAL OF A LICENSED PROFESSIONAL IS ALTERED. THE ALTERING LICENSED PROFESSIONAL SHALL AFFIX TO THEIR ITEM THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

SEAL & SIGNATURE

Y.G. NO.:

A-204





100 EXECUTIVE BLVD. SUITE 204  
OSSINING, NY 10562  
arqpc.com  
PHONE: (914) 944-3377  
FAX: (866) 567-5240

JORGE B. HERNANDEZ R.A. A.I.A.  
LICENSE NUMBER: 030424-1  
CERTIFICATE NUMBER: 2323801

REVISIONS	DATE	BY
RESUBMITTAL	9/14/2023	ARQ
RESUBMITTAL	4/26/2024	ARQ
RESUBMITTAL	9/30/2024	ARQ
P.B. COMMENTS	09/11/2024	ARQ
WHEELER LOADING	09/26/2024	ARQ
REV. DRAWINGS	10/9/2024	ARQ
REV. DRAWINGS	2/26/2025	ARQ
REV. DRAWINGS	4/9/2025	ARQ
PUBLIC HEARING	4/30/2025	ARQ

DRAWING TITLE:

SCHEMATIC SECTIONS

PROJECT:

THE LANDMARK AT 444

PROJECT ADDRESS:

444 BEDFORD RD  
PLEASANTVILLE  
NY 10570

NYS EDUCATION LAW

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF ARQ ARCHITECTURE P.C. WHETHER THE PROJECT FOR WHICH IT IS MADE IS EXECUTED OR NOT. THIS DRAWING SHALL NOT BE USED BY THE OTHERS OR OTHERS ON THE OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS EXCEPT BY AGREEMENT IN WRITING WITH ARQ ARCHITECTURE P.C. SUBMISSION OR DISTRIBUTION TO MEET OFFICIAL REGULATORY REQUIREMENTS OR FOR OTHER PURPOSES IN CONNECTION WITH THE PROJECT IS NOT TO BE CONSTRUCTED AS PUBLICATION IN DEROGATION OF THE RIGHTS OF ARQ ARCHITECTURE P.C. REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THIS DRAWING BELONGS TO ARQ ARCHITECTURE P.C. WITHOUT PREJUDICE. NO MODIFICATIONS TO THIS DRAWING IN ACCORDANCE WITH THE NYS EDUCATION LAW.

IT IS A VIOLATION OF THE LAW FOR ANY PERSON UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING LICENSED PROFESSIONAL SHALL AFFIX TO THEIR ITEM THEIR SEAL AND THE NOTATION "ALTERED BY FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

SEAL & SIGNATURE



EXP. 3-31-2026

DATE:

3/12/2021

PROJECT NO:

21-037

DRAWING BY:

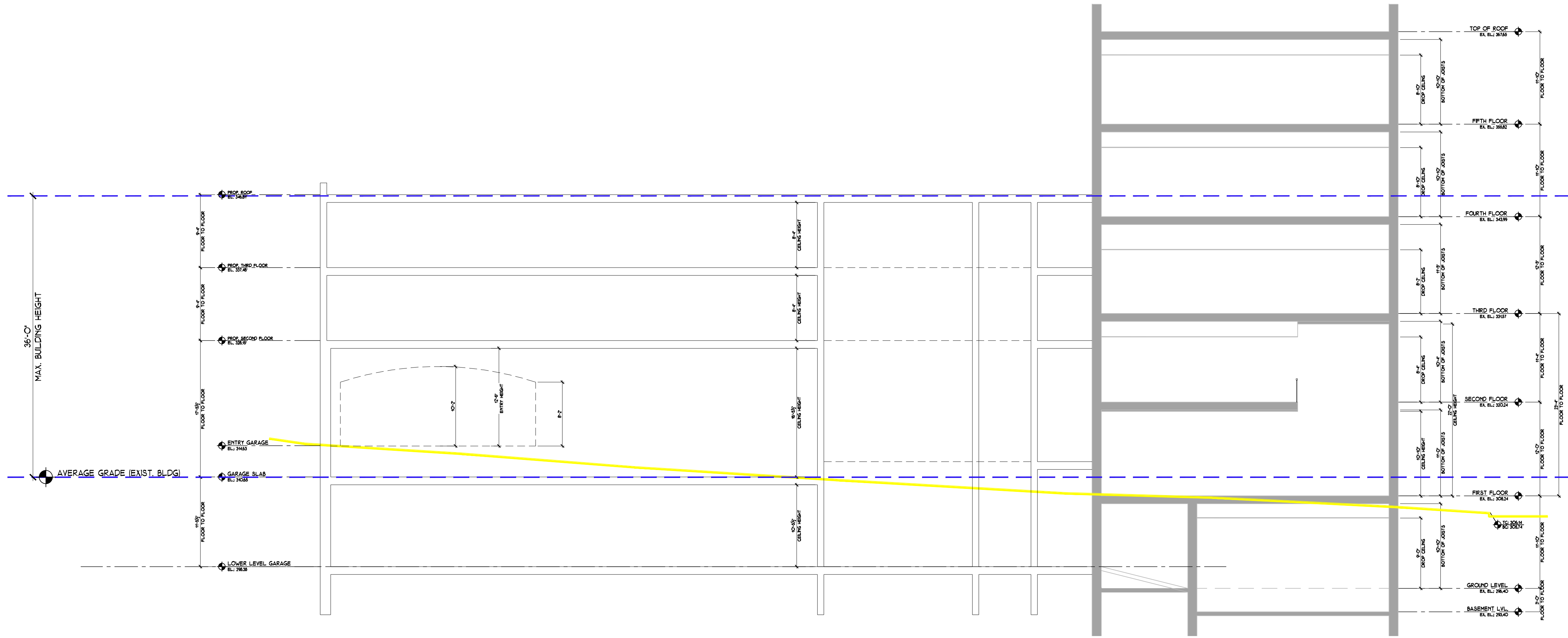
ARQ

CHECKED BY:

JBH

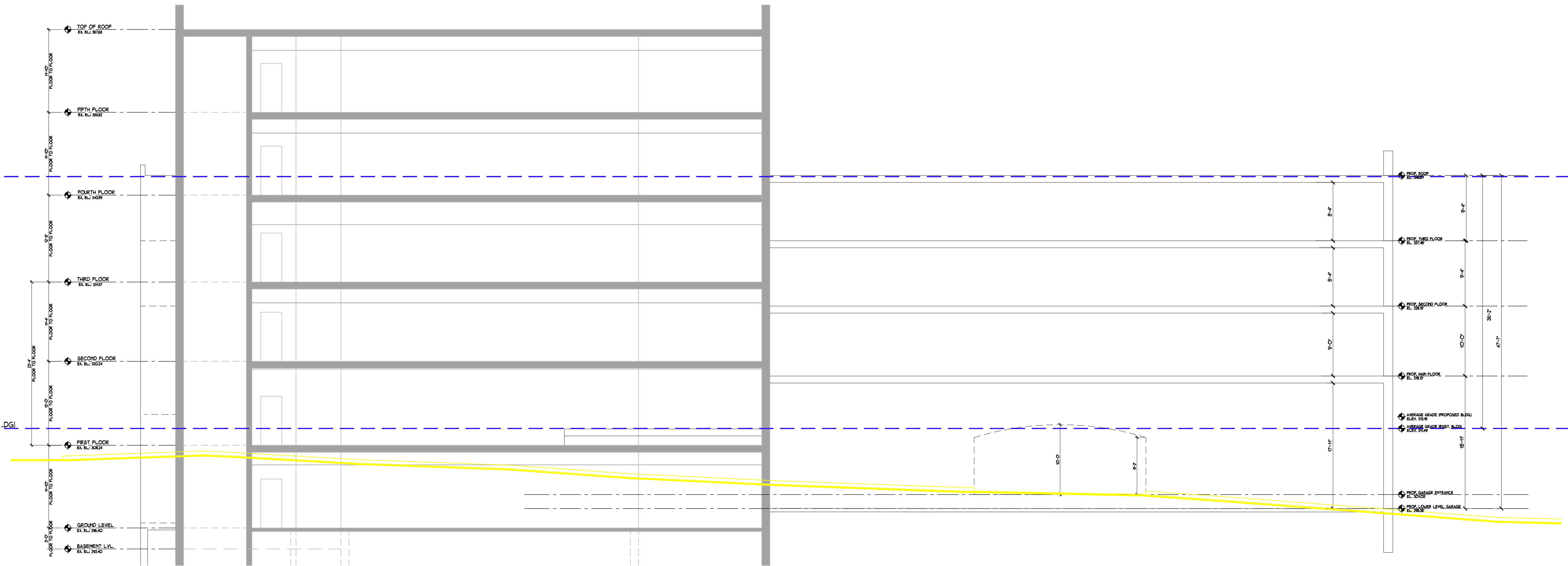
DWG. NO:

A-300



SCHEMATIC SECTION 1

1/8" = 1'-0"



SCHEMATIC SECTION 3

1/8" = 1'-0"





80 WHEELER AVE,  
PLEASANTVILLE, NY 10570

N.T.S.



PROPOSED NEW BUILDING  
THE LANDMARK

N.T.S.



96 WHEELER AVE,  
PLEASANTVILLE, NY 10570

N.T.S.



PROPOSED NEW BUILDING  
THE LANDMARK

N.T.S.



360 MANVILLE RD,  
PLEASANTVILLE, NY 10570

N.T.S.



100 EXECUTIVE BLVD. SUITE 204  
OSSING, NY 10562  
arqpc.com  
PHONE: (914) 944-3377  
FAX: (866) 567-5240

JORGE B. HERNANDEZ R.A. A.I.A.  
LICENSE NUMBER: 030424-1  
CERTIFICATE NUMBER: 2323801

REVISIONS	DATE	BY
RESUBMITTAL	9/14/2023	ARQ
RESUBMITTAL	4/26/2024	ARQ
RESUBMITTAL	6/30/2024	ARQ
P.B. COMMENTS	09/11/2024	ARQ
WHEELER LOADING	09/26/2024	ARQ
REV. DRAWINGS	10/9/2024	ARQ
REV. DRAWINGS	2/26/2025	ARQ
REV. DRAWINGS	4/9/2025	ARQ
PUBLIC HEARING	4/30/2025	ARQ

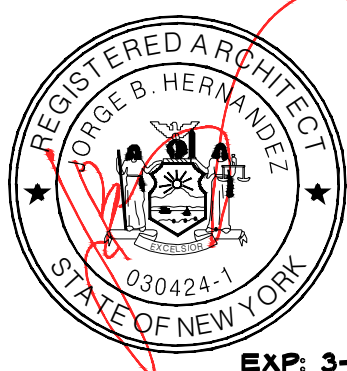
DRAWING TITLE:  
NEIGHBORHOOD ANALYSIS OF  
TRANSITIONAL MATERIALS

PROJECT:  
THE LANDMARK AT 444

PROJECT ADDRESS:  
444 BEDFORD RD  
PLEASANTVILLE  
NY 10570

NYS EDUCATION LAW  
THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF ARQ ARCHITECTURE P.C. WHETHER THE PROJECT FOR WHICH IT IS MADE IS EXECUTED OR NOT. THIS DRAWING SHALL NOT BE USED BY THE OTHERS OR OTHERS ON THE OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS EXCEPT BY AGREEMENT IN WRITING WITH ARQ ARCHITECTURE P.C. SUBMISSION OR DISTRIBUTION TO MEET OFFICIAL REGULATORY REQUIREMENTS OR FOR OTHER PURPOSES IN CONNECTION WITH THE PROJECT IS NOT TO BE CONSTRUCTED AS PUBLICATION IN DEROGATION OF THE RIGHTS OF ARQ ARCHITECTURE P.C. REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THIS DRAWING BELONGS TO ARQ ARCHITECTURE P.C. WITHOUT PREJUDICE. NO MODIFICATIONS TO THIS DRAWING IN ACCORDANCE WITH THE NYS EDUCATION LAW.  
IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING LICENSED PROFESSIONAL SHALL AFFIX TO THEIR ITEM THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

SEAL & SIGNATURE



DATE: 3/12/2021	DWG. NO.:
PROJECT NO.:	
21-037	
DRAWING BY:	
ARQ	
CHECKED BY:	
JBH	

A-400





POSSIBLE  
FUTURE EXTENSION ON LEFT SIDE

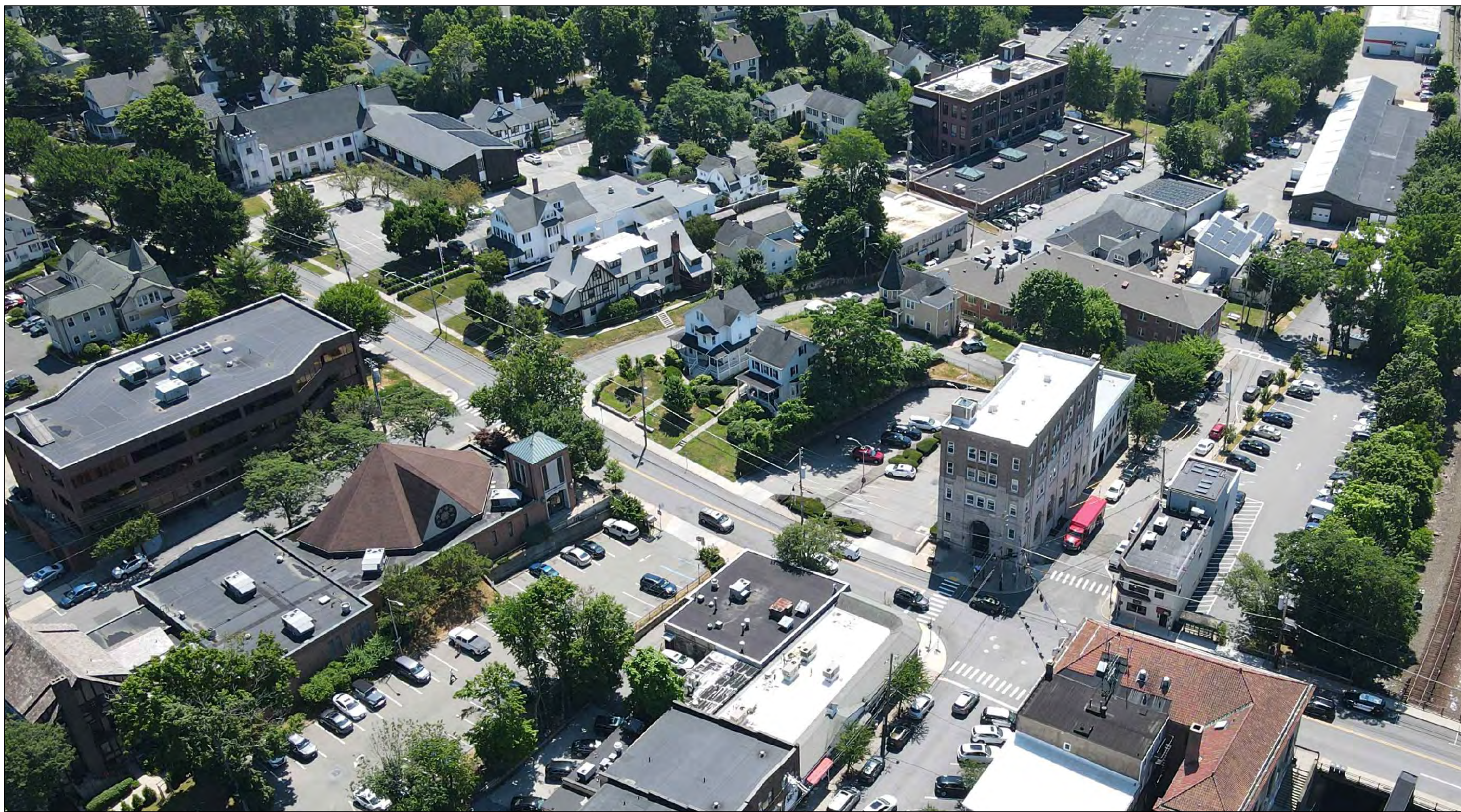
NT.S.



R-PO  
A1

ZONING DIAGRAM

NT.S.



DRONE PICTURE  
OF PARTIAL NEIGHBORHOOD

NT.S.



R-PO  
A1

PARTIAL ZONING MAP OF PLEASANTVILLE

NT.S.



100 EXECUTIVE BLVD. SUITE 204  
OSSINING, NY 10562  
arqpc.com  
PHONE: (914) 944-3377  
FAX: (866) 567-5240

JORGE B. HERNANDEZ R.A. A.I.A.  
LICENSE NUMBER: 030424-1  
CERTIFICATE NUMBER: 2323801

REVISIONS	DATE	BY
RESUBMITTAL	9/14/2023	ARQ
RESUBMITTAL	4/26/2024	ARQ
RESUBMITTAL	9/30/2024	ARQ
P.B. COMMENTS	09/11/2024	ARQ
WHEELER LOADING	09/26/2024	ARQ
REV. DRAWINGS	10/9/2024	ARQ
REV. DRAWINGS	2/26/2025	ARQ
REV. DRAWINGS	4/9/2025	ARQ
PUBLIC HEARING	4/30/2025	ARQ

DRAWING TITLE:

NEIGHBORHOOD ANALYSIS

PROJECT:

THE LANDMARK AT 444

PROJECT ADDRESS:

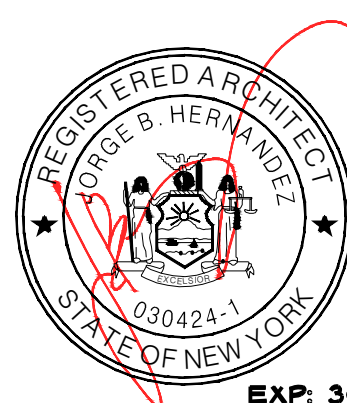
444 BEDFORD RD  
PLEASANTVILLE  
NY 10570

NYS EDUCATION LAW

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF ARQ ARCHITECTURE P.C. WHETHER THE PROJECT FOR WHICH IT IS MADE IS EXECUTED OR NOT. THIS DRAWING SHALL NOT BE USED BY THE OTHERS OR OTHERS ON THE OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS EXCEPT BY AGREEMENT IN WRITING WITH ARQ ARCHITECTURE P.C. SUBMISSION OR DISTRIBUTION TO MEET OFFICIAL REGULATORY REQUIREMENTS OR FOR OTHER PURPOSES IN CONNECTION WITH THE PROJECT IS NOT TO BE CONSTRUCTED AS PUBLICATION IN DEROGATION OF THE RIGHTS OF ARQ ARCHITECTURE P.C. REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THIS DRAWING BELONGS TO ARQ ARCHITECTURE P.C. WITHOUT PREJUDICE. NO MODIFICATIONS TO THIS DRAWING IN ACCORDANCE WITH THE NYS EDUCATION LAW.

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING LICENSED PROFESSIONAL SHALL AFFIX TO THEIR ITEM THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

SEAL & SIGNATURE



DATE:

3/12/2021

PROJECT NO.:

21-037

DRAWING BY:

ARQ

CHECKED BY:

JBH

DWG. NO.:

A-401





**100 EXECUTIVE BLVD. SUITE 204  
OSSINING, NY 10562  
arqpc.com  
PHONE: (914) 944-3377  
FAX: (866) 567-6240**

**JORGE B. HERNANDEZ R.A. A.I.A.**  
**LICENSE NUMBER: 030424-1**  
**CERTIFICATE NUMBER: 2323801**

REVISIONS	DATE	BY
RESUBMITTAL	9/14/2023	ARQ
RESUBMITTAL	4/26/2024	ARQ
RESUBMITTAL	8/30/2024	ARQ
P.B. COMMENTS	09/11/2024	ARQ
WHEELER LOADING	09/25/2024	ARQ
REV. DRAWINGS	10/9/2024	ARQ
REV. DRAWINGS	2/26/2025	ARQ
REV. DRAWINGS	4/9/2025	ARQ
PUBLIC HEARING	4/30/2025	ARQ

DRAWING TITLE:

## DRONE PICTURES

PROJECT:

THE LANDMARK AT 444

PROJECT ADDRESS:

444 BEDFORD RD  
PLEASANTVILLE  
NY 10570

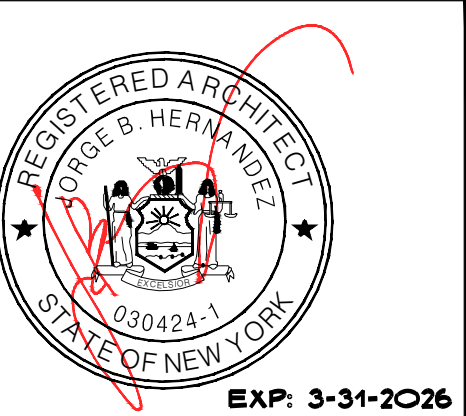
---

NYS EDUCATION LAW

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF ARQ ARCHITECTURE PC WHETHER THE PROJECT FOR WHICH IT IS MADE IS EXECUTED OR NOT. THIS DRAWING SHALL NOT BE USED BY THE OTHERS OR OTHER PROJECTS. THE OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS EXCEPT BY AGREEMENT IN WRITING WITH ARQ ARCHITECTURE PC. SUBMISSION OR DISTRIBUTION TO MEET OFFICIAL REGULATORY REQUIREMENTS OR FOR OTHER PURPOSES IN CONNECTION WITH ALE PROJECTS IS NOT TO BE CONSTRUCTED AS PUBLICATION IN DEGRADATION OF THE RIGHTS OF ARQ ARCHITECTURE PC. REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THIS DRAWING BELONGS TO ARQ ARCHITECTURE PC WITH ALL RIGHTS RESERVED. NO ACTIONS TO BE TAKEN IN ACCORDANCE WITH THE NYS EDUCATION LAW.

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING LICENSED PROFESSIONAL SHALL AFFIX TO THEIR ITEM THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

SEAL & SIGNATURE



DATE: \_\_\_\_\_

3/12/2021

PROJECT NO.:  
24-037

DRAWING BY:

DRAWING BY:  
ARQ

CHECKED BY:

JBH

---

DWG. NO.:

A=402





EXISTING & PROPOSED  
NORTH WEST 3D VIEW



EXISTING & PROPOSED  
3D VIEW



EXISTING & PROPOSED  
NORTH EAST 3D VIEW 1



EXISTING & PROPOSED  
NORTH EAST 3D VIEW 2



100 EXECUTIVE BLVD. SUITE 204  
OSSINING, NY 10562  
arqpc.com  
PHONE: (914) 944-3377  
FAX: (866) 567-5240

JORGE B. HERNANDEZ R.A. A.I.A.  
LICENSE NUMBER: 030424-1  
CERTIFICATE NUMBER: 2323801

REVISIONS	DATE	BY
RESUBMITTAL	9/14/2023	ARQ
RESUBMITTAL	4/26/2024	ARQ
RESUBMITTAL	9/30/2024	ARQ
P.B. COMMENTS	09/11/2024	ARQ
WHEELER LOADING	09/26/2024	ARQ
REV. DRAWINGS	10/9/2024	ARQ
REV. DRAWINGS	2/26/2025	ARQ
REV. DRAWINGS	4/9/2025	ARQ
PUBLIC HEARING	4/30/2025	ARQ

DRAWING TITLE:  
EXISTING & PROPOSED  
3D VIEWS

PROJECT:  
THE LANDMARK AT 444

PROJECT ADDRESS:  
444 BEDFORD RD  
PLEASANTVILLE  
NY 10570

NYS EDUCATION LAW  
THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF ARQ ARCHITECTURE P.C. WHETHER THE PROJECT FOR WHICH IT IS MADE IS EXECUTED OR NOT. THIS DRAWING SHALL NOT BE USED BY THE OTHERS OR OTHERS ON THE OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS EXCEPT BY AGREEMENT IN WRITING WITH ARQ ARCHITECTURE P.C. SUBMISSION OR DISTRIBUTION TO MEET OFFICIAL REGULATORY REQUIREMENTS OR FOR OTHER PURPOSES IN CONNECTION WITH THE PROJECT IS NOT TO BE CONSTRUCTED AS PUBLICATION IN DEROGATION OF THE RIGHTS OF ARQ ARCHITECTURE P.C. REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THIS DRAWING BELONGS TO ARQ ARCHITECTURE P.C. WITHOUT PREJUDICE. NO MODIFICATIONS TO THIS DRAWING IN ACCORDANCE WITH THE NYS EDUCATION LAW.  
IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING LICENSED PROFESSIONAL SHALL AFFIX TO THEIR ITEM THEIR SEAL AND THE NOTATION "ALTERED BY FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

SEAL & SIGNATURE



DATE: 3/12/2021	DWG. NO.:
PROJECT NO.:	
21-037	
DRAWING BY:	
ARQ	
CHECKED BY:	
JBH	

A-403



THE LANDMARK AT 444  
PROPOSED MIXED USE DEVELOPMENT  
444 BEDFORD RD. PLEASANTVILLE, NY. 10570

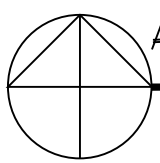
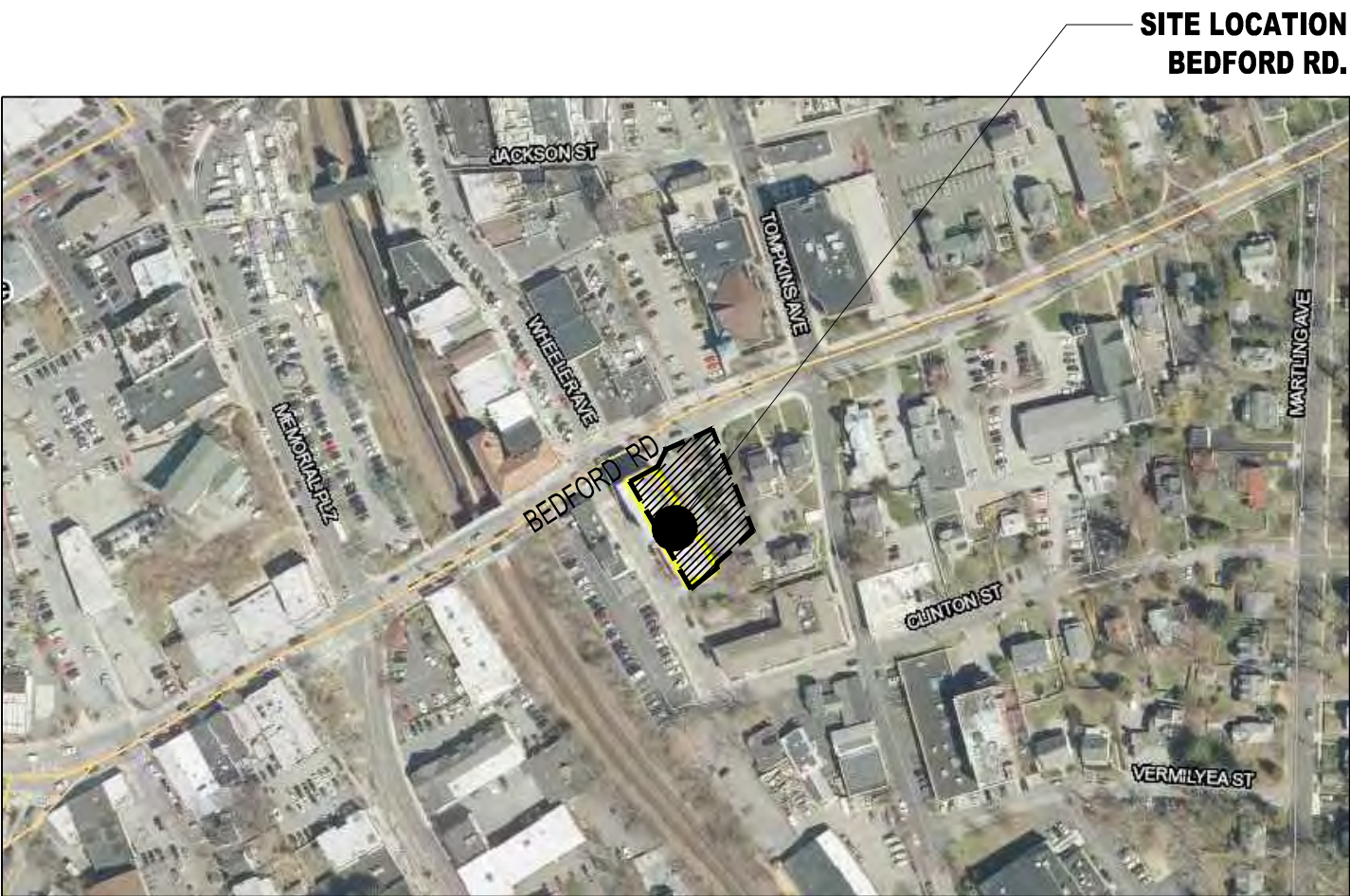
FINAL SET 6.6.2025



100 EXECUTIVE BLVD. SUITE 204  
OSSINING, NY 10562  
arqpc.com  
PHONE: (914) 944-3377  
FAX: (866) 567-6240

JORGE B. HERNANDEZ R.A. A.I.A.  
LICENSE NUMBER: 030424-1  
CERTIFICATE NUMBER: 2323801

AERIAL MAP



AERIAL VIEW

N.T.S.

PROPOSED FRONT ELEVATION



VIEW @ BEDFORD RD.

N.T.S.



VIEW @ WHEELER AVE.

N.T.S.

THE LANDMARK AT 444 TEAM

OWNER: 444 ASSOCIATES, L.L.C.  
100 EXECUTIVE BLVD. SUITE 201  
OSSINING, NY 10562

ARCHITECT/ENGINEER: ARQ ARCHITECTURE P.C.  
JORGE B. HERNANDEZ R.A. A.I.A.  
CHRIS UTSCHING P.E.  
100 EXECUTIVE BLVD. SUITE 204-205  
OSSINING, NY 10562

TRAFFIC CONSULTANT: STARKE W. HIPPE, PE  
LABELLA ASSOCIATES

LAND USE CONSULTANT: LAW OFFICE OF  
JEFFREY W. GASBARRO  
200 EXECUTIVE BLVD.  
OSSINING, NY 10562

DRAWING LIST

T-100 TITLESHEET  
S-100 EXIST. SITE PLAN, AND IMAGES  
S-101 PROPOSED SITE PLANS, DEVELOPMENT PLANS, ZONING DATA AND IMAGES  
S-102 EXIST. & PROPOSED SCHEMATIC PLAN AND DRONE PHOTOS  
S-103 RAMSAY LAND SURVEY  
S-104 CROSS SECTIONS ALONG BEDFORD ROAD  
S-105 PROPOSED INTERSECTION SIGHT DISTANCES PLANS  
S-106 PROPOSED INTERSECTION SIGHT DISTANCE PLAN W/ AERIAL VIEW  
S-107 PROPOSED INTERSECTION SIGHT DISTANCE, STOPPING SIGHT DISTANCE PLANS & PROFILES  
S-108 PROPOSED VEHICLE MANEUVERABILITY PLANS AND EXIST. & PROPOSED CIVIL SPACE PLANS WITH IMAGES  
S-109 KEY MAPS, TABLE AND PROPOSED DEVELOPMENT ELEVATIONS  
S-110 EXIST. & PROPOSED PAVEMENT AREA AND LANDSCAPING PLANS  
S-111 GREEN ROOF DETAILS & SPEC. SHEETS  
S-112 PHASE PLANS AND CONSTRUCTION SEQUENCE  
S-113 KEY PLAN & 3D VIEWS TO EQUIPMENT SCREENING  
S-114 KEY PLAN & VIEWS TO EQUIPMENT SCREENING  
A-100 EXIST. & PROPOSED FLOOR PLANS  
A-101 EXIST. & PROPOSED FLOOR PLANS  
A-102 TYP. DUPLEX LAYOUT & SCHEMATIC INTERIOR 3D'S  
A-200 EXIST. & PROPOSED 3D VIEWS  
A-201 EXIST. & PROPOSED RENDERED ELEVATIONS  
A-202 EXIST. & PROPOSED ELEVATIONS  
A-203 EXIST. & PROPOSED ELEVATIONS  
A-204 PROPOSED FENESTRATION AND SCHEMATIC DETAILS  
A-300 SCHEMATIC SECTIONS  
A-400 NEIGHBORHOOD ANALYSIS OF TRANSITIONAL MATERIALS  
A-401 NEIGHBORHOOD ANALYSIS  
A-402 DRONE PICTURES  
A-403 EXISTING & PROPOSED 3D VIEWS



EXIST. BUILDING IN 1920

N.T.S.



EXIST. BUILDING IN 2022

N.T.S.



PROPOSED VIEW

N.T.S.



EXIST. BUILDING IN 2022

N.T.S.



PROPOSED NORTH WEST VIEW

N.T.S.

REVISIONS	DATE	BY
RESUBMITTAL	9/14/2023	ARQ
RESUBMITTAL	4/26/2024	ARQ
RESUBMITTAL	9/30/2024	ARQ
P.B. COMMENTS	09/11/2024	ARQ
WHEELER LOADING	09/26/2024	ARQ
REV. DRAWINGS	10/9/2024	ARQ
REV. DRAWINGS	2/26/2025	ARQ
REV. DRAWINGS	4/9/2025	ARQ
PUBLIC HEARING	4/30/2025	ARQ

DRAWING TITLE:

TITLE SHEET

PROJECT:

THE LANDMARK AT 444

PROJECT ADDRESS:

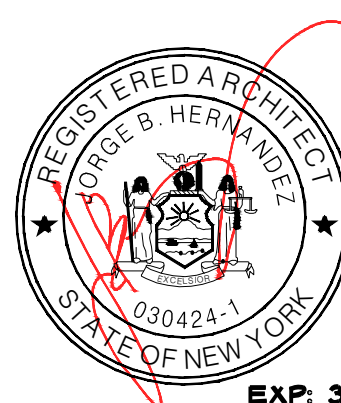
444 BEDFORD RD  
PLEASANTVILLE  
NY 10570

NYS EDUCATION LAW

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF ARQ ARCHITECTURE P.C. WHETHER THE PROJECT FOR WHICH IT IS MADE IS EXECUTED OR NOT. THIS DRAWING SHALL NOT BE USED BY THE OTHERS OR OTHERS ON THE OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS EXCEPT BY AGREEMENT IN WRITING WITH ARQ ARCHITECTURE P.C. SUBMISSION OR DISTRIBUTION TO MEET OFFICIAL REGULATORY REQUIREMENTS OR FOR OTHER PURPOSES IN CONNECTION WITH THE PROJECT IS NOT TO BE CONSTRUCTED AS PUBLICATION IN DEROGATION OF THE RIGHTS OF ARQ ARCHITECTURE P.C. REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THIS DRAWING BELONGS TO ARQ ARCHITECTURE P.C. WITHOUT PREJUDICE. NO MODIFICATIONS TO THIS DRAWING IN ACCORDANCE WITH THE NYS EDUCATION LAW.

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING LICENSED PROFESSIONAL SHALL AFFIX TO THEIR ITEM THEIR SEAL AND THE NOTATION "ALTERED BY FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

SEAL & SIGNATURE



DATE:

3/12/2021

PROJECT NO.:

21-037

DRAWING BY:

ARQ

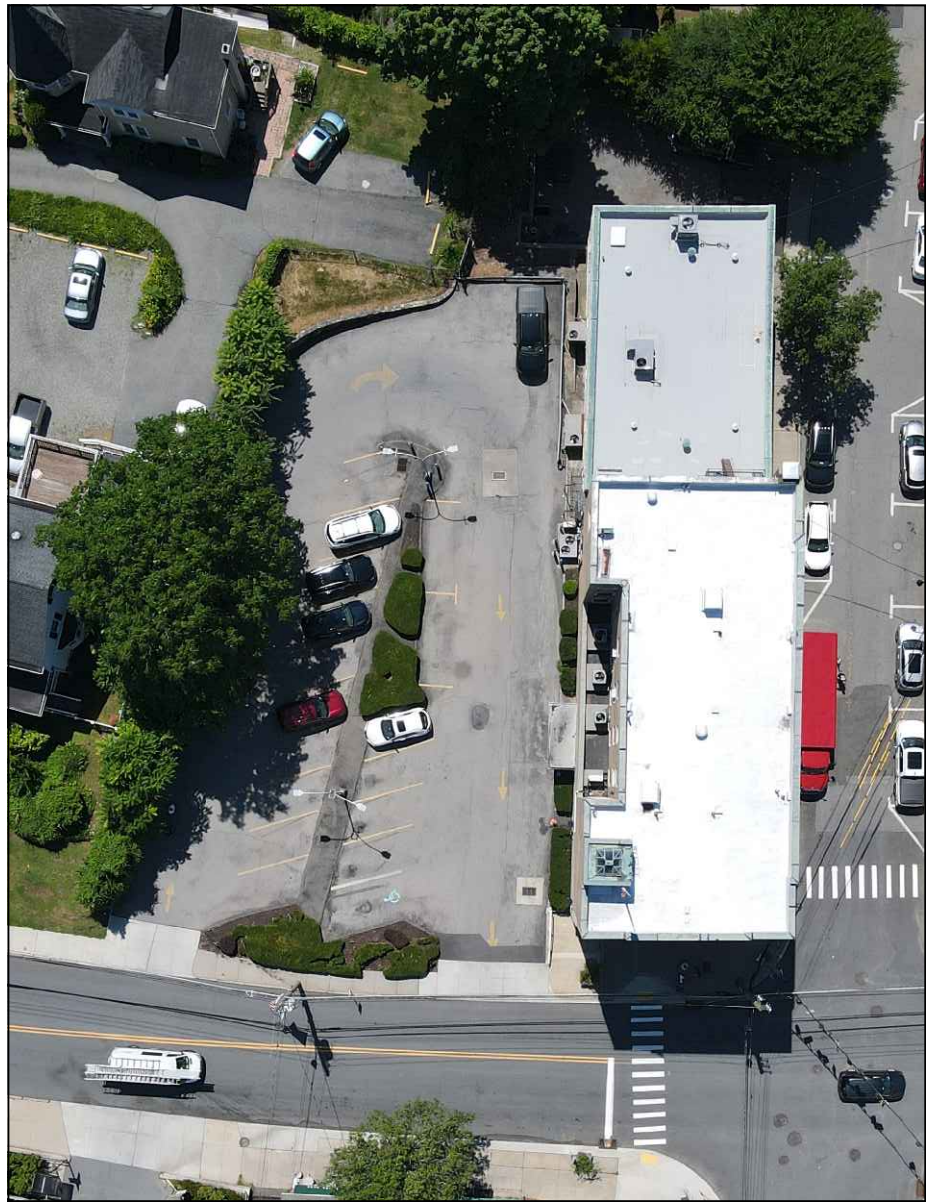
CHECKED BY:

JBH

DWG. NO.:

T-100

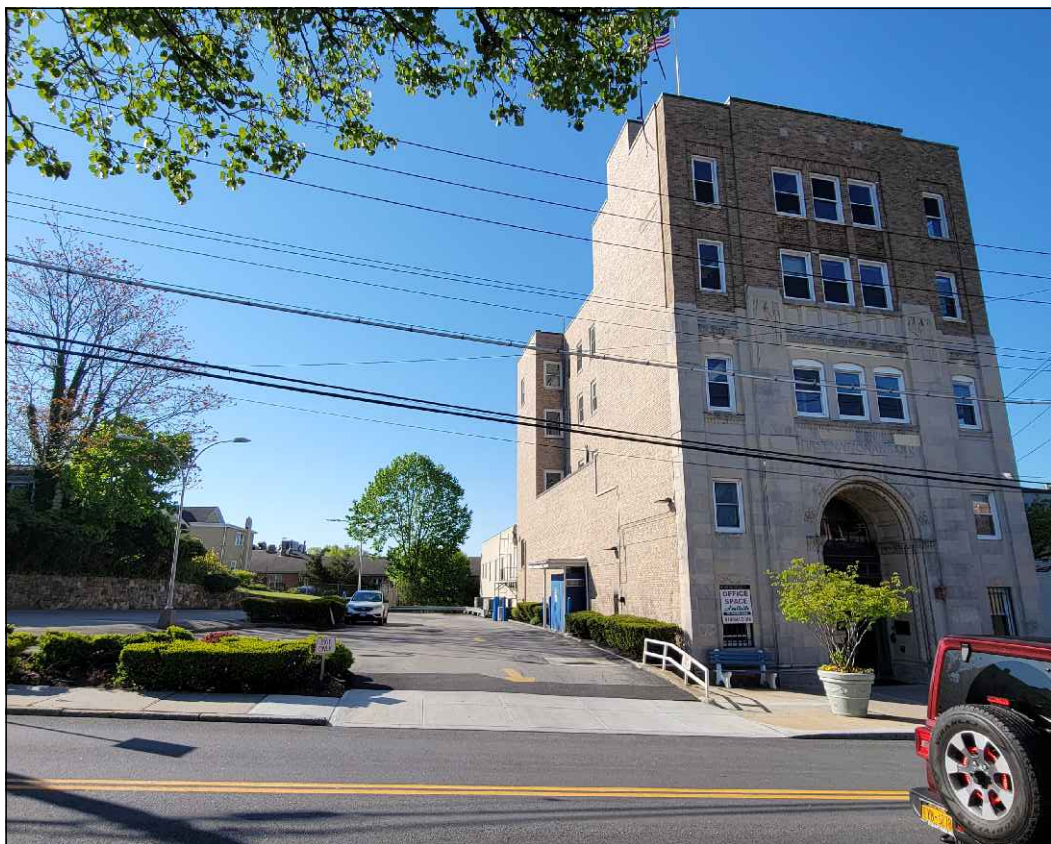




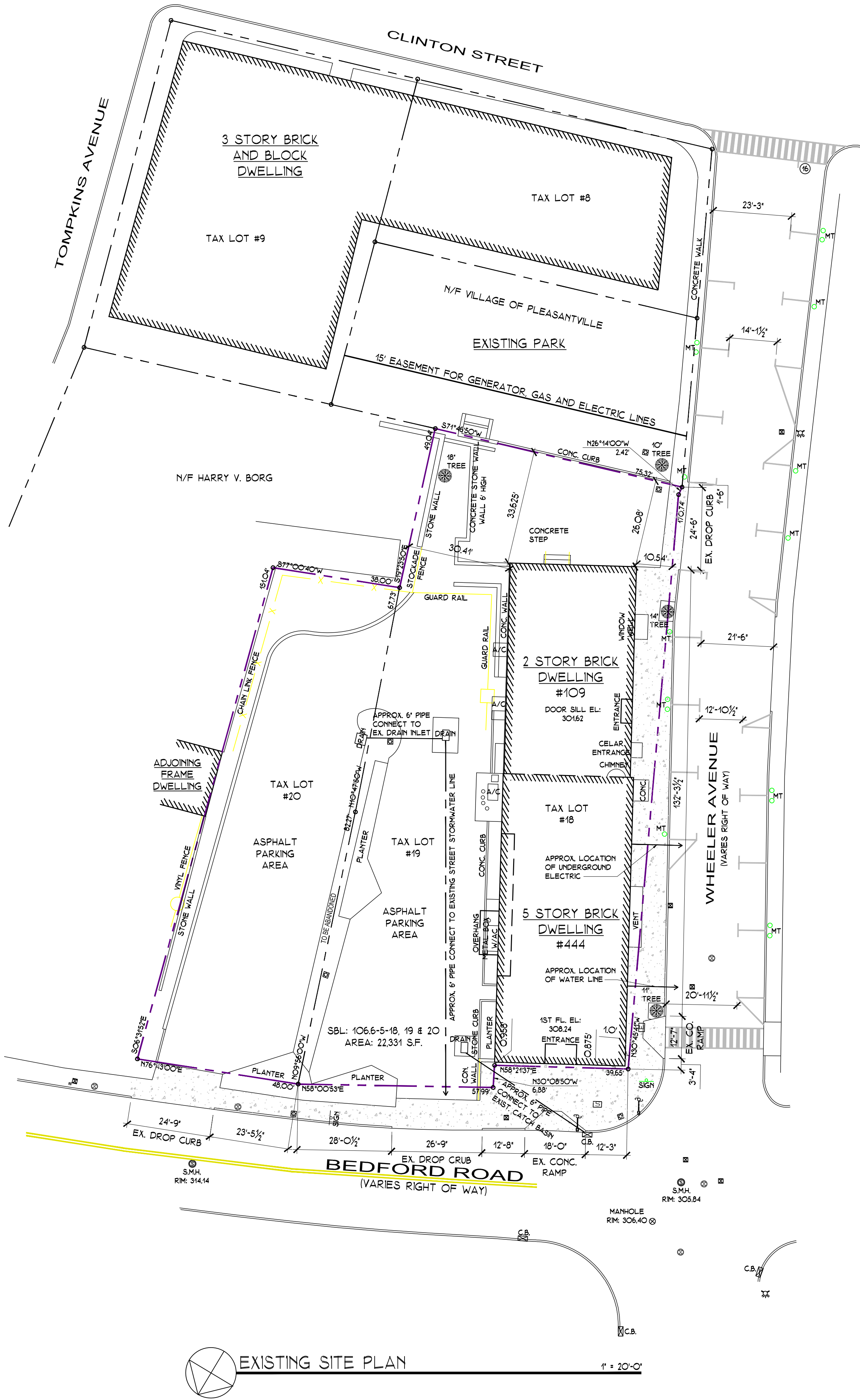
EXIST. & BUILDING & PARKING LOT



EXIST. BUILDING IN 2022



EXIST. BUILDING IN 2022



EXISTING SITE PLAN



100 EXECUTIVE BLVD. SUITE 204  
OSSING, NY 10562  
arqpc.com  
PHONE: (914) 944-3377  
FAX: (866) 567-5240

JORGE B. HERNANDEZ R.A. A.I.A.  
LICENSE NUMBER: 030424-1  
CERTIFICATE NUMBER: 2323801

REVISIONS	DATE	BY
RESUBMITTAL	9/14/2023	ARQ
RESUBMITTAL	4/26/2024	ARQ
RESUBMITTAL	9/30/2024	ARQ
P.B. COMMENTS	09/11/2024	ARQ
WHEELER LOADING	09/25/2024	ARQ
REV. DRAWINGS	10/9/2024	ARQ
REV. DRAWINGS	2/26/2025	ARQ
REV. DRAWINGS	4/9/2025	ARQ
PUBLIC HEARING	4/30/2025	ARQ

DRAWING TITLE:  
EXIST. SITE PLAN, AND IMAGES

PROJECT:  
THE LANDMARK AT 444

PROJECT ADDRESS:  
444 BEDFORD RD  
PLEASANTVILLE  
NY 10570

NYS EDUCATION LAW  
THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF ARQ ARCHITECTURE P.C. WHETHER THE PROJECT FOR WHICH IT IS MADE IS EXECUTED OR NOT. THIS DRAWING SHALL NOT BE USED BY THE OTHERS OR OTHERS ON THE OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS EXCEPT BY AGREEMENT IN WRITING WITH ARQ ARCHITECTURE P.C. SUBMISSION OR DISTRIBUTION TO MEET OFFICIAL REGULATORY REQUIREMENTS OR FOR OTHER PURPOSES IN CONNECTION WITH THE PROJECT IS NOT TO BE CONSTRUCTED AS PUBLICATION IN DEROGATION OF THE RIGHTS OF ARQ ARCHITECTURE P.C. REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THIS DRAWING BELONGS TO ARQ ARCHITECTURE P.C. WITHOUT PREJUDICE. NO MODIFICATIONS TO THIS DRAWING IN ACCORDANCE WITH THE NYS EDUCATION LAW.

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING LICENSED PROFESSIONAL SHALL AFFIX TO THEIR ITEM THEIR SEAL AND THE NOTATION "ALTERED BY FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

SEAL & SIGNATURE



EXP. 3-31-2026

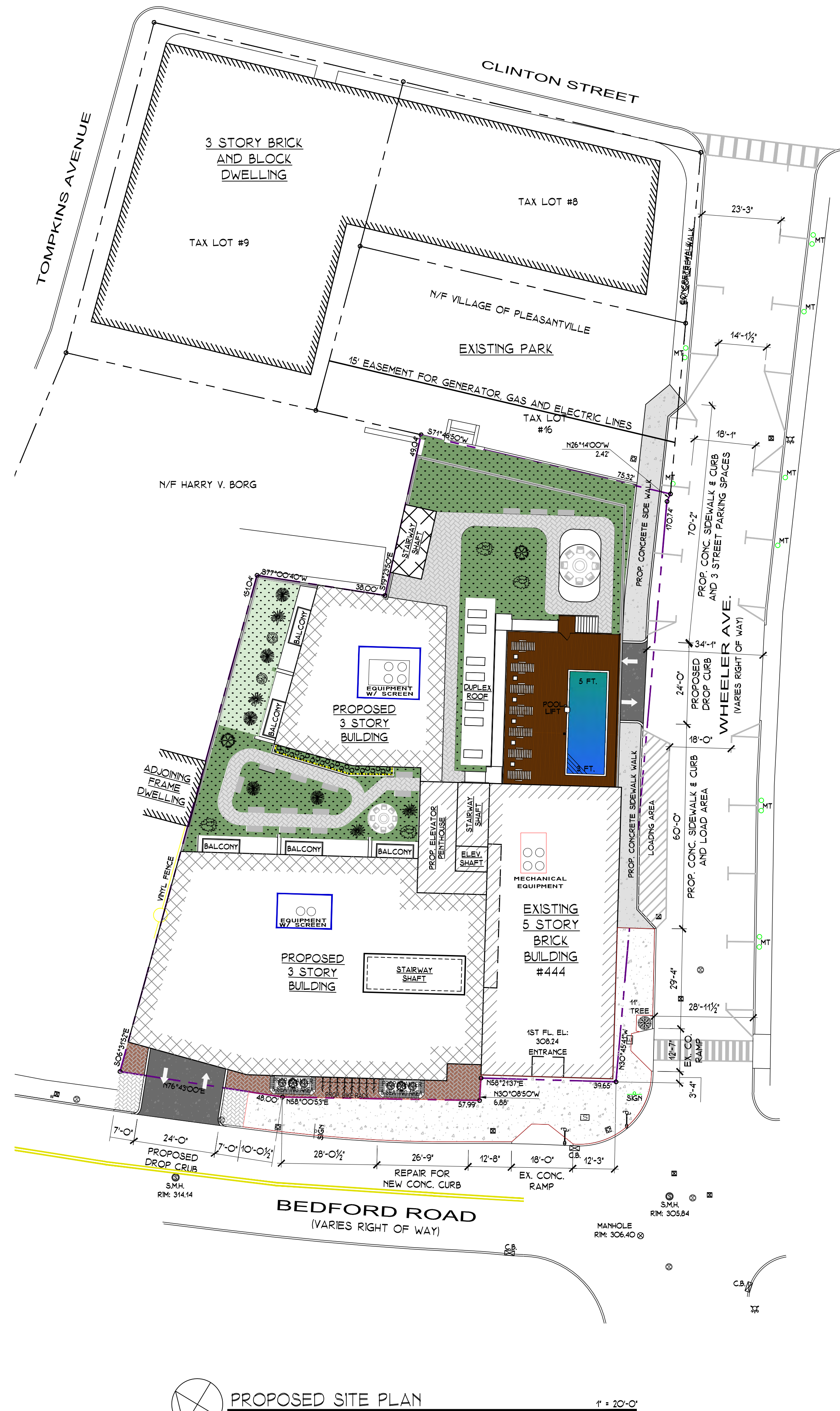
DATE: 3/12/2021	DWG. NO.:
PROJECT NO.:	
21-037	
DRAWING BY:	
ARQ	
CHECKED BY:	
JBH	

S=100



### PROPOSED DEVELOPMENT PLAN

N.T.S.



## ZONING DATA - VILLAGE OF PLEASANTVILLE

NAME OF OWNER: 444 ASSOCIATES CO. LLC.	
NAME OF ARCHITECT: JORGE B. HERNANDEZ R.A. A.I.A. (ARQ. ARCHITECTURE PC)	
TAX MAP DESIGNATION:	SECT: 106.6 BLOCK: 5 LOT: 16,17,10,19 & 20
ZONING DISTRICT: A-1	CENTRAL BUSINESS DISTRICT

		REQUIREMENTS	EXISTING	PROPOSED	VARIANCE
MIN. LOT AREA	SQ. FT.	2,500 S.F.	22,331 S.F.	N.C.	NO
MIN. LOT WIDTH	FT.	N.R.	-	N.C.	-
MIN. LOT DEPTH	FT.	N.R.	-	N.C.	-
MIN. FRONT YARD SBK (BEDFORD ROAD)	FT.	N.R.	O	N.C.	-
MIN. FRONT YARD SBK (WHEELER AVENUE)	FT.	N.R.	O	N.C.	-
MIN. EACH SIDE YARD SBK	FT.	NONE OR 6' x	26.0'	6.0'	NO
MIN. BOTH SIDE YARD SBK	FT.	-	26.0'	6.0'	-
MIN. REAR YARD SBK	FT.	N.R.	-	O	-
MIN. EACH SIDE YARD SETBACK ADJACENT TO RESIDENCE DISTRICT	FT.	20.0'	NOT APPLICABLE	-	-
MIN. REAR YARD SETBACK ADJACENT TO RESIDENCE DISTRICT	FT.	20.0'	NOT APPLICABLE	-	-
MAX. FLOOR AREA RATIO (2.0)	SQ. FT.	44,662 S.F.	24,124 S.F.	48,510 S.F.	-
MAX. F.A.R. BONUS (15%)	SQ. FT.	51,361 S.F.	-	50,872 S.F.	

SAFE DIG

**Before You Dig, Drill or Blast!**  
CALL US TOLL FREE 1-800-962-7962  
NY Industrial Code Rule 753 requires no  
less than two working days notice, but  
not more than ten days notice. **UIEPO**

**LIFPO**

CONSTRUCTION NOTES:

1. IMPROVEMENTS WITHIN THE VILLAGE RIGHT-OF-WAY (ROW) SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING DPW STANDARD CONSTRUCTION DETAILS (SD):
  - a. BEDFORD ROAD AND WHEELER AVENUE EXISTING PORTLAND CEMENT CONCRETE (PCC) CURB, SIDEWALK AND DRIVEWAY APRONS FRONTING THE PROPOSED PROJECT SHALL BE REPLACED IN ACCORDANCE WITH APPLICABLE VPO DPW STANDARD CONSTRUCTION DETAILS.
  - b. WHEELER AVENUE SHALL BE MILLED AND RESURFACED (2 INCH DEPTH) WITH NYSDOT 6 F3 HOT MIX ASPHALT (HMA) TOP COURSE BETWEEN THE WHEELER AVENUE AND CLINTON STREET EXISTING CROSSWALKS.
2. EXISTING WATER SERVICE LINE SHALL BE DISCONNECTED IN ACCORDANCE WITH DPW REQUIREMENTS. PROPOSED DOMESTIC AND WATER SERVICES SHALL BE SEPARATE LINES AND CONNECTED TO THE WHEELER AVENUE 8 INCH CIP WATER MAIN WITH A PROPOSED 5 GATE VALVE CONFIGURATION AND DUCTILE IRON SLOD SLEEVE FITTINGS IN ACCORDANCE WITH DPW REQUIREMENTS (SD-2C).
3. EXISTING SANITARY SEWER SERVICE LINE SHALL BE DISCONNECTED IN ACCORDANCE WITH DPW REQUIREMENTS (SD-4G). PROPOSED SANITARY SEWER SERVICE SHALL BE 4 INCH MINIMUM DIAMETER AND CONNECTED TO THE WHEELER AVENUE EXISTING 8 INCH SANITARY SEWER MAIN IN ACCORDANCE WITH DPW REQUIREMENTS (SD-4C).
4. APPLICANT SHALL PERFORM SANITARY SEWER FLOW MONITORING IN THE WHEELER AVENUE SANITARY SEWER MANHOLE FOR A DURATION AND SIGNIFICANT RAINFALL EVENT AS DIRECTED BY DPW. APPLICANT SHALL PROVIDE SANITARY SEWER FLOW/LOADING CALCULATIONS FOR THE PROPOSED DEVELOPMENT. DPW REQUIRES THAT SANITARY SEWER PEAK FLOW DOES NOT EXCEED 67% OR 2/3 OF THE SANITARY SEWER MAIN CAPACITY/DIAMETER. THE APPLICANT WILL BE REQUIRED TO PERFORM DOWNSTREAM SANITARY SEWER IMPROVEMENTS IF FLOW WITHIN THE WHEELER AVENUE EXISTING SANITARY SEWER MAIN EXCEEDS 67% OF THE PIPE CAPACITY (AT PEAK FLOW).
5. WHEELER AVENUE (BETWEEN BEDFORD ROAD AND CLINTON STREET) EXISTING 8 INCH VCP SANITARY SEWER MAIN SHALL BE CURED-IN-PLACE PIPE (CIPP) LINED TO MITIGATE INFLOW/INFILTRATION (I/I). APPLICANT SHALL INSPECT AND VERIFY IF THE WHEELER AVENUE SANITARY SEWER MAIN WAS PREVIOUSLY CIPP LINED. CIPP LINING WILL NOT BE REQUIRED IF THIS PREVIOUSLY COMPLETION FOR THIS PORTION OF SANITARY SEWER.
6. EXISTING 12 INCH AND EXISTING 15 INCH SANITARY SEWER MANHOLES SHALL REQUIRE TRENCHLESS (IE. 1/2 INCH THICK CEMENTITIOUS LINING) MANHOLE REHABILITATION AND MANHOLE CASTING REPLACEMENT (REFER TO ATTACHED SD-3E AND 4).
7. APPLICANT SHALL BE RESPONSIBLE TO CORE DRILL AND PROVIDE A SOLID 4 INCH PVC SDR-35 SLEEVE FOR REPLACEMENT OF EXISTING PARKING METER POSTS TEMPORARILY REMOVED FOR THE PROJECT.

- a. Proposed Domestic Water Service = **2 inch** Type 'K' Copper (Class 54 DIP if >2")  
b. Proposed Fire Service = **4 inch** Class 54 Ductile Iron Pipe (DIP)  
c. Proposed Sanitary Sewer Service = **6 inch** PVC SDR-35

		REQMENTS	EXISTING	PROPOSED	VARIANCE
MAX. BUILDING WALL LENGTH	FT.	N.R.	148.25'	166.16'	-
PARKING REQUIREMENTS					
EXISTING PARKING TABULATION 24/124 SQ. FT. (BUSINESS OFFICE) / 300 S.F.			= 80.4		NO
TOTAL REQUIRED			= 80 PARKING SPACES		
TOTAL PROVIDED			= 16 PARKING SPACES		
PROPOSED PARKING TABULATION					
20 (1 BEDROOM APARTMENT) X 1 PARKING SPACE			= 20 PARKING SPACES		
16 (2 BEDROOMS APARTMENT) X 15 PARKING SPACE			= 24 PARKING SPACES		
RETAIL SPACE = 2,146 S.F. / 300 S.F.			= 7 PARKING SPACE		
TOTAL REQUIRED			= 51 PARKING SPACES		
TOTAL PROVIDED			= 51 PARKING SPACES		
ADDITIONAL PARKING TABULATIONS (#165-38 Village of PLEASANTVILLE ZONING ORDINANCE) STANDARD SIZE PARKING SPACES (#165-38(C)) Mm. 8.5'X18' = 44 PARKING SPACES + 86.28% COMPACT SIZE PARKING SPACES (#165-38(F)) Mm. 7.5'X16' = 7 PARKING SPACES + 13.71% TOTAL = 51 PARKING SPACES = 100% <u>7 COMPACT SIZE PARKING SPACES = 13.71% LESS THAN 30% (#165-38(F)(3) = OK</u>					
MINIMUM ACCESSIBLE PARKING SPACES (TABLE #208.2 2010 ADA STANDARDS)					



**100 EXECUTIVE BLVD. SUITE 204  
OSSINING, NY 10562  
arqpc.com  
PHONE: (914) 944-3377  
FAX: (866) 567-6240**

**JORGE B. HERNANDEZ R.A. A.I.A.**  
**LICENSE NUMBER: 030424-1**  
**CERTIFICATE NUMBER: 2323601**

REVISIONS	DATE	BY
RESUBMITTAL	9/14/2023	ARQ
RESUBMITTAL	4/26/2024	ARQ
RESUBMITTAL	8/30/2024	ARQ
P.B. COMMENTS	09/11/2024	ARQ
WHEELER LOADING	09/25/2024	ARQ
REV. DRAWINGS	10/9/2024	ARQ
REV. DRAWINGS	2/26/2025	ARQ
REV. DRAWINGS	4/9/2025	ARQ
PUBLIC HEARING	4/30/2025	ARQ

DRAWING TITLE:

PROPOSED SITE PLANS,  
DEVELOPMENT PLANS, ZONING  
DATA AND IMAGES

PROJECT:

THE LANDMARK AT 444

PROJECT ADDRESS:

444 BEDFORD RD  
PLEASANTVILLE  
NY 10570

NYS EDUCATION LAW

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF ARQ ARCHITECTURE PC, WHETHER THE PROJECT FOR WHICH IT IS MADE IS EXECUTED OR NOT. THIS DRAWING SHALL NOT BE USED BY THE OTHERS OR OTHERS OF THE OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT OR FOR CONSTRUCTION OF OTHER PROJECTS BY OTHERS EXCEPT BY AGREEMENT IN WRITING WITH ARQ ARCHITECTURE PC. SUBMISSION OR DISTRIBUTION TO MEET OFFICIAL REGULATORY REQUIREMENTS OR FOR OTHER PURPOSES CONNECTED WITH THE PROJECT IS NOT TO BE CONSIDERED AS PUBLIC OR COMMERCIAL VIOLATION OF THE RIGHTS OF ARQ ARCHITECTURE PC. REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THIS DRAWING BELONGS TO ARQ ARCHITECTURE PC WITHOUT PREJUDICE. NO MODIFICATIONS TO THIS DRAWING IN ACCORDANCE WITH THE NY'S EDUCATION LAW.

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL, TO ALTER AN ITEM IN ANY WAY, IF AN ITEM BEARING THE SEAL OF A LICENSED PROFESSIONAL IS ALTERED. THE ALTERING LICENSED PROFESSIONAL SHALL AFFIX TO THEIR ITEM THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

## SEAL &amp; SIGNATURE



**EXP: 3-31-2026**

DATE: \_\_\_\_\_

3/12/2021

PROJECT NO.:

21-037

DRAWING BY:  
A B O

ARQ  
CHECKED BY:

S=104





100 EXECUTIVE BLVD. SUITE 204  
OSSINING, NY 10562  
arqpc.com  
PHONE: (914) 944-3377  
FAX: (866) 567-5240

JORGE B. HERNANDEZ R.A. A.I.A.  
LICENSE NUMBER: 030424-1  
CERTIFICATE NUMBER: 2323801

REVISIONS	DATE	BY
RESUBMITTAL	9/14/2023	ARQ
RESUBMITTAL	4/26/2024	ARQ
RESUBMITTAL	9/30/2024	ARQ
P.B. COMMENTS	09/11/2024	ARQ
WHEELER LOADING	09/26/2024	ARQ
REV. DRAWINGS	10/9/2024	ARQ
REV. DRAWINGS	2/26/2025	ARQ
REV. DRAWINGS	4/9/2025	ARQ
PUBLIC HEARING	4/30/2025	ARQ

DRAWING TITLE:

PROPOSED SITE PLAN  
3D VIEW

PROJECT:

THE LANDMARK AT 444

PROJECT ADDRESS:

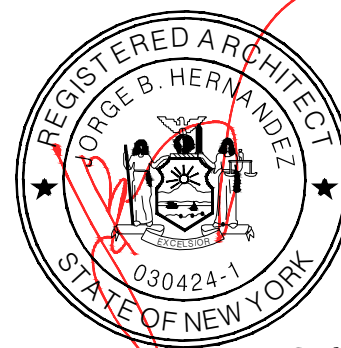
444 BEDFORD RD  
PLEASANTVILLE  
NY 10570

NYS EDUCATION LAW

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF ARQ ARCHITECTURE P.C. WHETHER THE PROJECT FOR WHICH IT IS MADE IS EXECUTED OR NOT. THIS DRAWING SHALL NOT BE USED BY THE OTHERS OR OTHERS ON THE OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS EXCEPT BY AGREEMENT IN WRITING WITH ARQ ARCHITECTURE P.C. SUBMISSION OR DISTRIBUTION TO MEET OFFICIAL, REGULATORY REQUIREMENTS OR FOR OTHER PURPOSES IN CONNECTION WITH THE PROJECT IS NOT TO BE CONSTRUCTED AS PUBLICATION IN DEROGATION OF THE RIGHTS OF ARQ ARCHITECTURE P.C. REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THIS DRAWING BELONGS TO ARQ ARCHITECTURE P.C. WITHOUT PREJUDICE. NO MODIFICATIONS TO THIS DRAWING IN ACCORDANCE WITH THE NYS EDUCATION LAW.

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING LICENSED PROFESSIONAL SHALL AFFIX TO THEIR ITEM THEIR SEAL AND THE NOTATION "ALTERED BY FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

SEAL & SIGNATURE



DATE:

3/12/2021

PROJECT NO.:

21-037

DRAWING BY:

ARQ

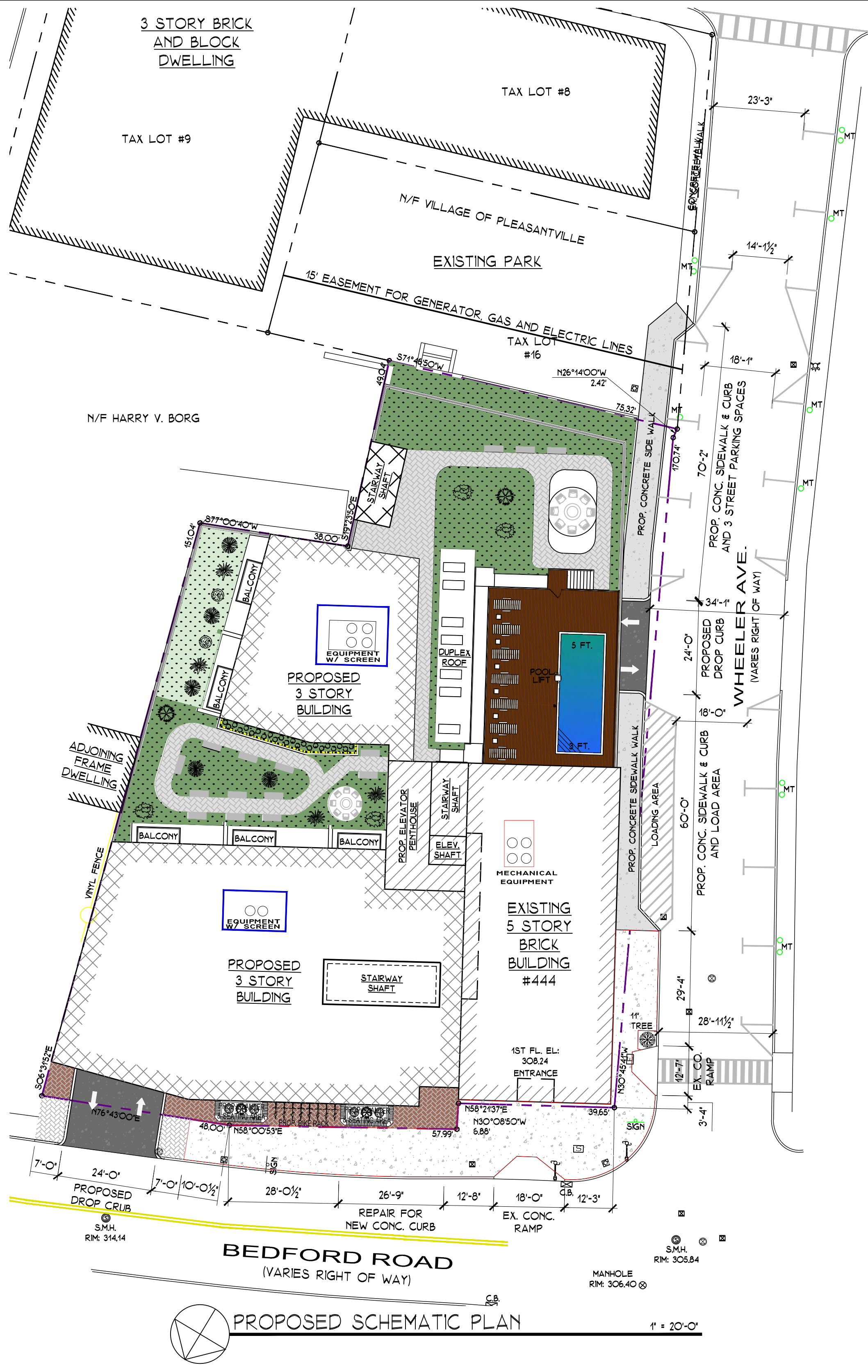
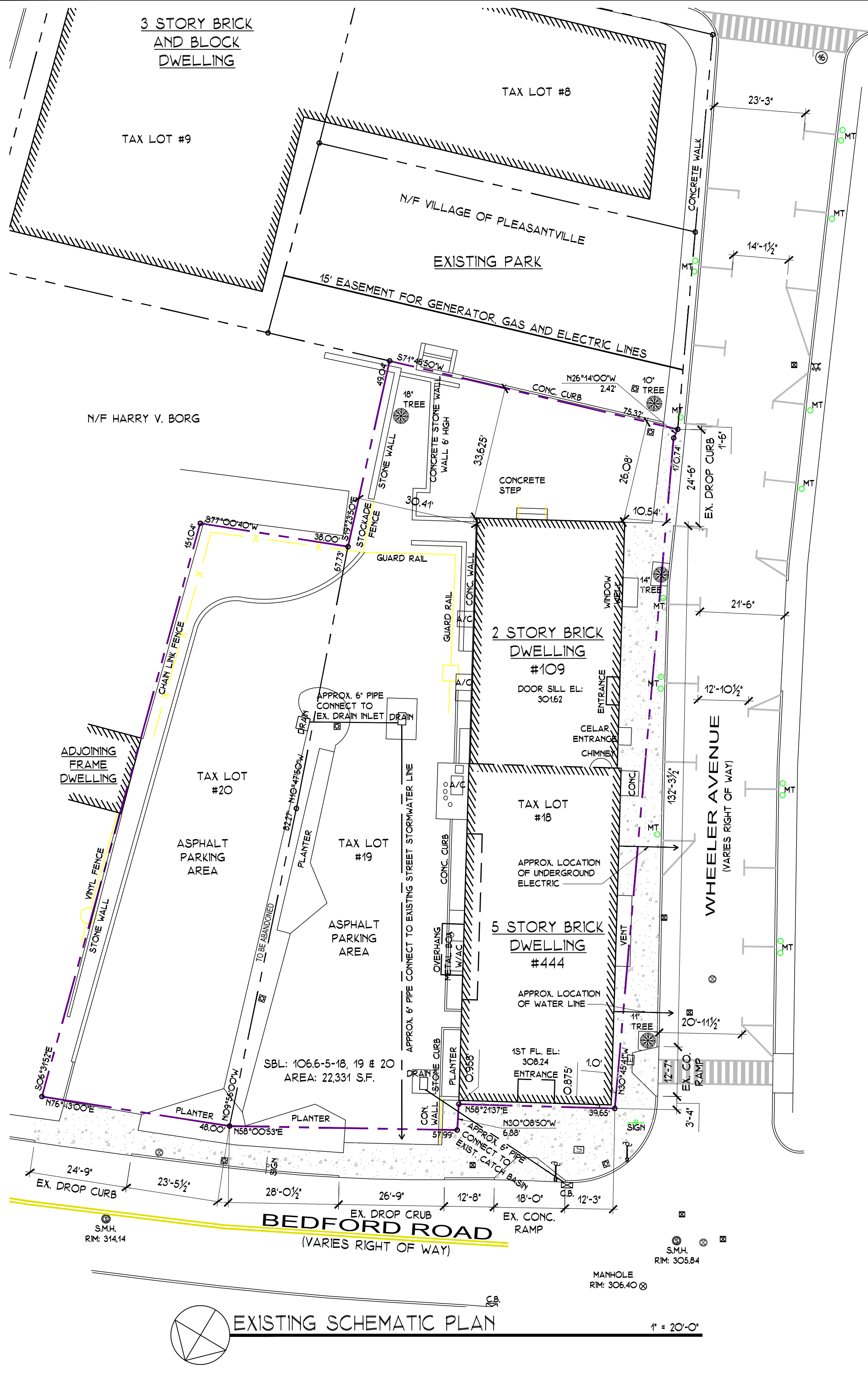
CHECKED BY:

JBH

DWG. NO.:

S-101  
(A)





DRONE PHOTO N.T.S.



PROPOSED LOADING AREA N.T.S.



100 EXECUTIVE BLVD. SUITE 204  
OSSING, NY 10562  
arqpc.com  
PHONE: (845) 944-3377  
FAX: (866) 567-5240

JORGE B. HERNANDEZ R.A. A.I.A.  
LICENSE NUMBER: 030424-1  
CERTIFICATE NUMBER: 2323801

REVISIONS	DATE	BY
RESUBMITTAL	9/14/2023	ARQ
RESUBMITTAL	4/26/2024	ARQ
RESUBMITTAL	9/30/2024	ARQ
P.B. COMMENTS	09/11/2024	ARQ
WHEELER LOADING	09/26/2024	ARQ
REV. DRAWINGS	10/9/2024	ARQ
REV. DRAWINGS	2/26/2025	ARQ
REV. DRAWINGS	4/9/2025	ARQ
PUBLIC HEARING	4/30/2025	ARQ

DRAWING TITLE:  
EXIST. & PROPOSED  
SCHEMATIC PLAN AND  
DRONE PHOTOS

PROJECT:  
THE LANDMARK AT 444

PROJECT ADDRESS:  
444 BEDFORD RD  
PLEASANTVILLE  
NY 10570

NYS EDUCATION LAW  
THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF ARQ ARCHITECTURE P.C. WHETHER THE PROJECT FOR WHICH IT IS MADE IS EXECUTED OR NOT. THIS DRAWING SHALL NOT BE USED BY THE OTHERS OR OTHERS ON THE OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS EXCEPT BY AGREEMENT IN WRITING WITH ARQ ARCHITECTURE P.C. SUBMISSION OR DISTRIBUTION TO MEET OFFICIAL, REGULATORY REQUIREMENTS OR FOR OTHER PURPOSES IN CONNECTION WITH THE PROJECT IS NOT TO BE CONSTRUCTED AS PUBLICATION IN DEROGATION OF THE RIGHTS OF ARQ ARCHITECTURE P.C. REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THIS DRAWING BELONGS TO ARQ ARCHITECTURE P.C. WITHOUT PREJUDICE. NO MODIFICATIONS TO THIS DRAWING IN ACCORDANCE WITH THE NYS EDUCATION LAW.

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING LICENSED PROFESSIONAL SHALL AFFIX TO THEIR ITEM THEIR SEAL AND THE NOTATION "ALTERED BY FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

SEAL & SIGNATURE



DATE: 3/12/2021	DWG. NO.:
PROJECT NO.:	
21-037	
DRAWN BY:	
ARQ	
CHECKED BY:	
JBH	

S-102





RAMSAY LAND SURVEYING, P.C.  
PROFESSIONAL LAND SURVEYORS – PLANNERS

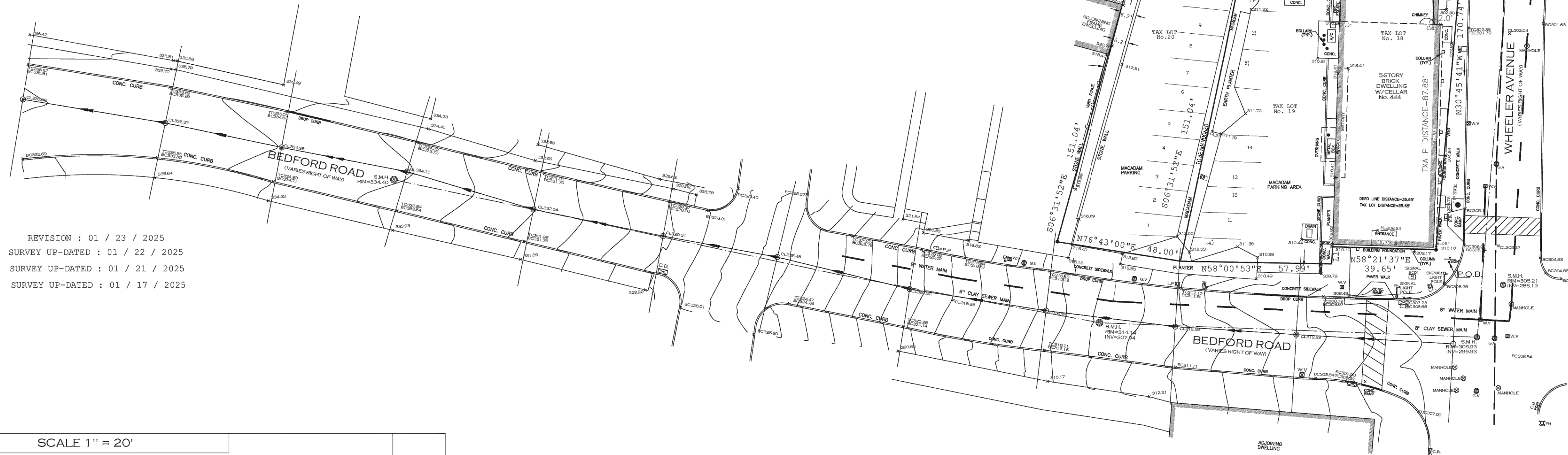
NOTE I:  
THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID CERTIFICATIONS SHALL RUN ONLY TO THE PERSON AND OR THE ORGANIZATION FOR WHOM THIS SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENT AGENCY AND LENDING INSTITUTION LISTED HEREON AND TO THE SUCCESSORS AND OR ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE. UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBSECTION 2, OF THE NEW YORK STATE EDUCATION LAW. ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY STAMPED WITH AN ORIGINAL OF THE LAND SURVEYOR'S EMBOSSED OR INKED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.

NOTE II:  
THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE OR A FULL TITLE REPORT AND IS THEREFORE SUBJECT TO ANY STATE OF FACTS THAT MAY BE REVEALED BY AN EXAMINATION OF SUCH DOCUMENTS.

NOTE III:  
THERE ARE NO ACTIVE OR VISIBLE STREAM OR WATERCOURSE ON LOT No.18 & 19 IN BLOCK No. 5.  
LOCATION OF SUBSURFACE UTILITIES SHOWN HEREON ARE BASED ON RECORD INFORMATION AND / OR ELECTRONIC DETECTION METHODS AND ARE SUBJECT TO THE ACCURACY THEREOF. LOCATION OF SUBSURFACE FACILITIES SHOULD BE VERIFIED PRIOR TO EXCAVATION AND /OR CONSTRUCTION. CONSULT WITH THE APPROPRIATE UTILITY COMPANY OR AGENCY PRIOR TO DESIGNING IMPROVEMENTS.

NOTE IV:  
ELEVATIONS SHOWN HEREON REFER TO THE CITY OF PLEASANTVILLE.

L1  
N30°08'50"W 6.88'  
L2  
N26°14'00"W 2.42'



REVISION : 01 / 23 / 2025  
SURVEY UP-DATED : 01 / 22 / 2025  
SURVEY UP-DATED : 01 / 21 / 2025  
SURVEY UP-DATED : 01 / 17 / 2025

SCALE 1" = 20'

DESIGNATED AS SECTION 3, BLOCK 22, LOTS 4, 5, 5A, 6 AND 6A ON THE TAX ASSESSMENT MAP OF THE TOWN OF MOUNT PLEASANT, WESTCHESTER COUNTY, NEW YORK, AND ALSO KNOWN AS 444 BEDFORD ROAD AND 109 WHEELER AVENUE, PLEASANTVILLE, NEW YORK.

SEC. No. 106.6  
BLOCK No. 5

CERTIFIED TO :- 444 ASSOCIATES LLC  
WESTCHESTER COUNTY  
BUILDING DEPARTMENT.

DATE OF SURVEY : JANUARY 14, 2025  
MAP DRAFTED : JANUARY 21, 2025



RAMSAY LAND SURVEYING, P.C.  
PROFESSIONAL LAND SURVEYORS – PLANNERS

3024 RADCLIFF AVENUE  
BRONX, NEW YORK 10469  
MOBILE # 917 544 8174  
PHONE: 718 884 0238  
EMAIL:

NRVPC@LANDSURVY@YAHOO.COM



CROSS-CUT TOPOGRAPHICAL SURVEY  
OF  
444 BEDFORD ROAD AND  
109 WHEELER AVENUE,  
IN THE VILLAGE  
OF PLEASANTVILLE  
TOWN OF  
MOUNT PLEASANT  
WESTCHESTER COUNTY  
STATE OF NEW YORK.

NEVILLE V. RAMSAY, PROFESSIONAL LAND SURVEYOR  
NEW YORK STATE LICENCE No. 050294-1



100 EXECUTIVE BLVD. SUITE 204  
OSSING, NY 10562  
arqpc.com  
PHONE: (914) 944-3377  
FAX: (866) 567-5240

JORGE B. HERNANDEZ R.A. A.I.A.  
LICENSE NUMBER: 030424-1  
CERTIFICATE NUMBER: 2323801

REVISIONS	DATE	BY
RESUBMITTAL	9/14/2023	ARQ
RESUBMITTAL	4/26/2024	ARQ
RESUBMITTAL	6/30/2024	ARQ
P.B. COMMENTS	09/11/2024	ARQ
WHEELER LOADING	09/25/2024	ARQ
REV. DRAWINGS	10/9/2024	ARQ
REV. DRAWINGS	2/26/2025	ARQ
REV. DRAWINGS	4/9/2025	ARQ
PUBLIC HEARING	4/30/2025	ARQ

DRAWING TITLE:

RAMSAY LAND SURVEY

PROJECT:

THE LANDMARK AT 444

PROJECT ADDRESS:

444 BEDFORD RD  
PLEASANTVILLE  
NY 10570

NYS EDUCATION LAW

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF ARQ ARCHITECTURE P.C. WHETHER THE PROJECT FOR WHICH IT IS MADE IS EXECUTED OR NOT. THIS DRAWING SHALL NOT BE USED BY THE OTHERS OR OTHERS ON THE OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS EXCEPT BY AGREEMENT IN WRITING WITH ARQ ARCHITECTURE P.C. SUBMISSION OR DISTRIBUTION TO MEET OFFICIAL, REGULATORY REQUIREMENTS OR FOR OTHER PURPOSES IN CONNECTION WITH THE PROJECT IS NOT TO BE CONSTRUCTED AS PUBLICATION IN DEROGATION OF THE RIGHTS OF ARQ ARCHITECTURE P.C. REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THIS DRAWING BELONGS TO ARQ ARCHITECTURE P.C. WITHOUT PREJUDICE, NO MODIFICATIONS TO THIS DRAWING IN ACCORDANCE WITH THE NYS EDUCATION LAW.

IT IS A VIOLATION OF THE LAW FOR ANY PERSON UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF A LICENSED PROFESSIONAL IS ALTERED BY THE ALTERING LICENSED PROFESSIONAL, SHALL APPEAR TO THEIR ITEM THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

SEAL & SIGNATURE



EXP. 3-31-2026

DATE:

3/12/2021

PROJECT NO.:

21-037

DRAWN BY:

ARQ

CHECKED BY:

JBH

DWG. NO.:

S-103





RAMSAY LAND SURVEYING, P.C.  
PROFESSIONAL LAND SURVEYORS – PLANNERS

CROSS- SECTIONS ALONG BEDFORD ROAD .

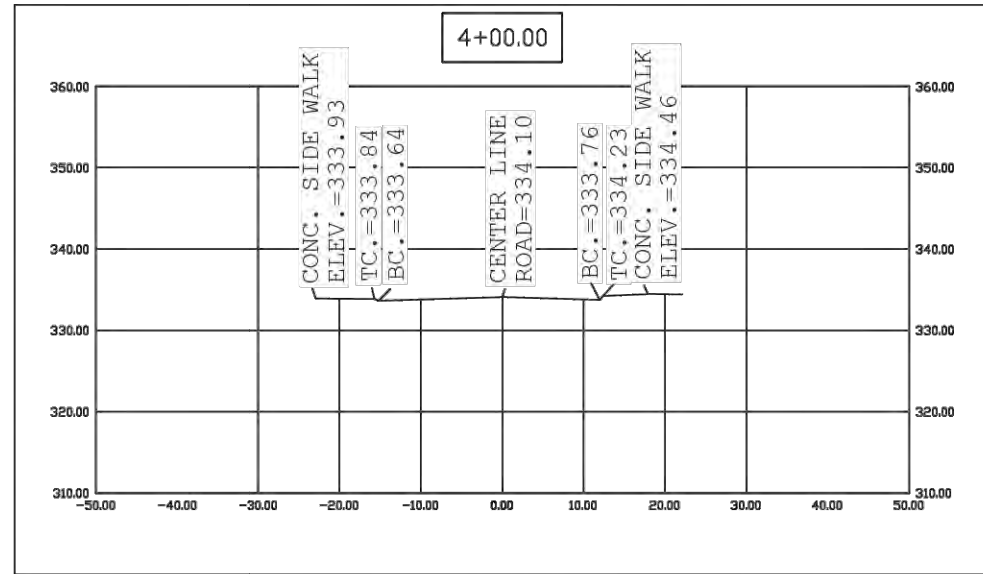
TITLE No. XXXXXXX



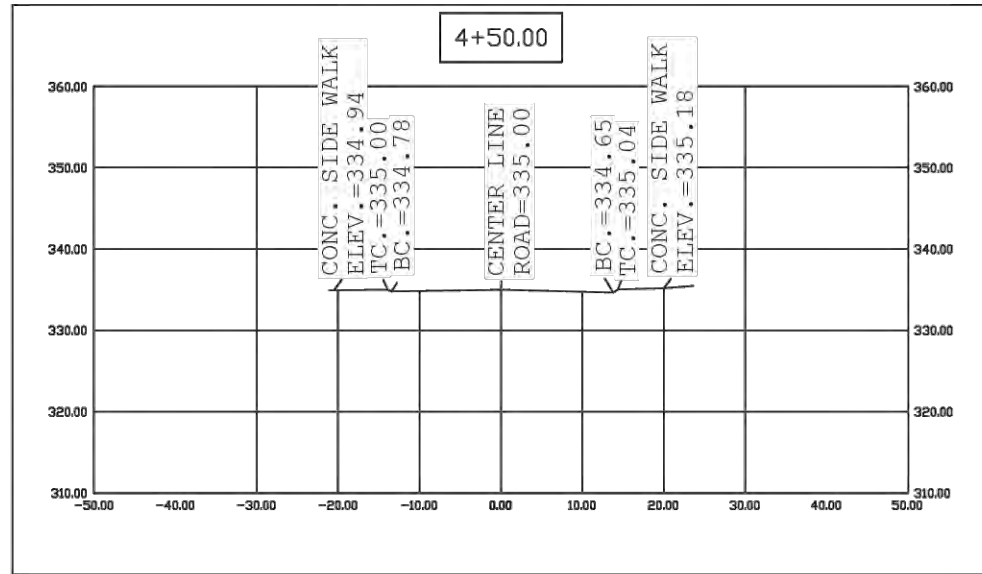
100 EXECUTIVE BLVD. SUITE 204  
OSSINING, NY 10562  
arqpc.com  
PHONE: (914) 944-3377  
FAX: (866) 567-5240

JORGE B. HERNANDEZ R.A. A.I.A.  
LICENSE NUMBER: 030424-1  
CERTIFICATE NUMBER: 2323801

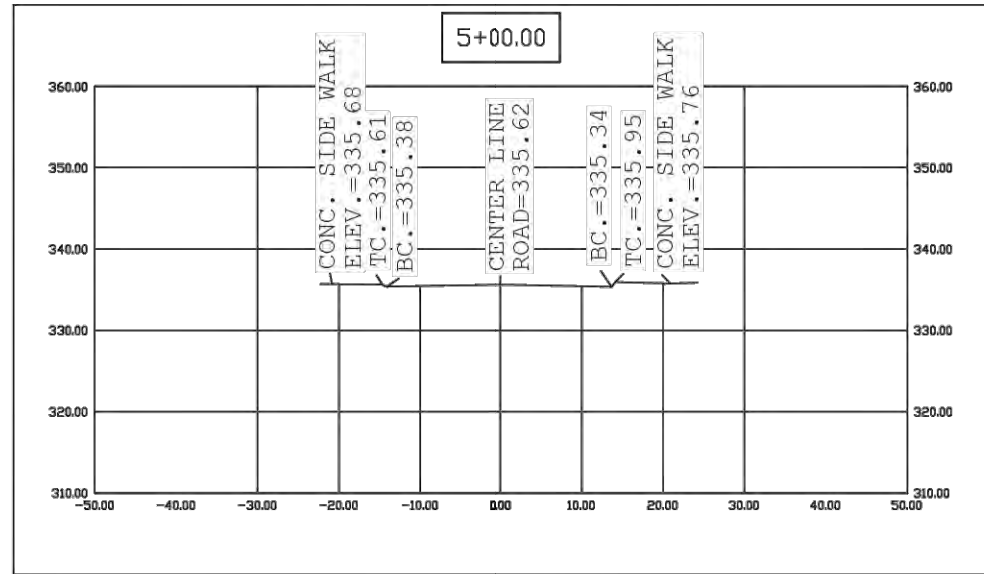
REVISIONS	DATE	BY
RESUBMITTAL	9/14/2023	ARQ
RESUBMITTAL	4/26/2024	ARQ
RESUBMITTAL	9/30/2024	ARQ
P.B. COMMENTS	09/11/2024	ARQ
WHEELER LOADING	09/26/2024	ARQ
REV. DRAWINGS	10/9/2024	ARQ
REV. DRAWINGS	2/26/2025	ARQ
REV. DRAWINGS	4/9/2025	ARQ
PUBLIC HEARING	4/30/2025	ARQ



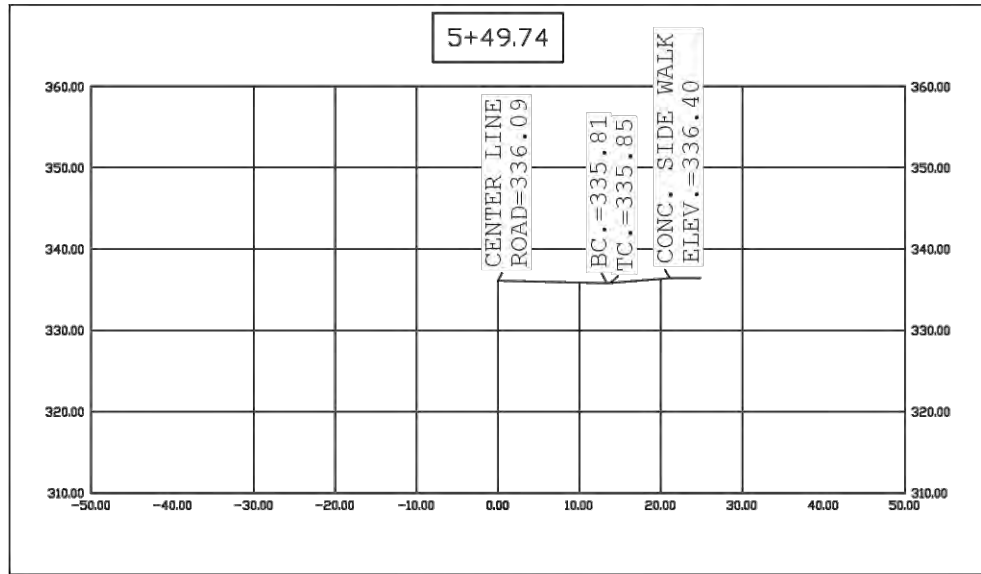
SECTION 9



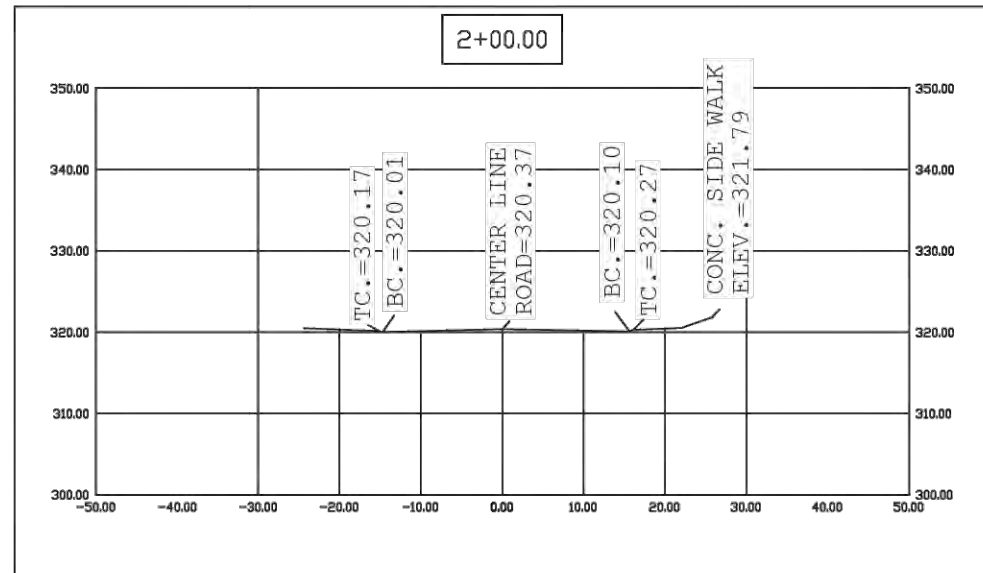
SECTION 10



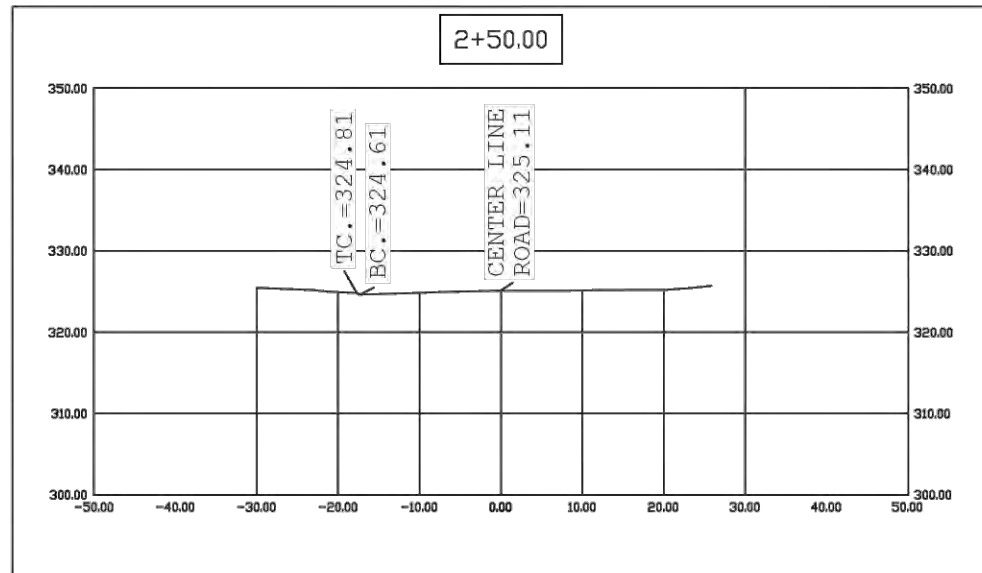
SECTION 11



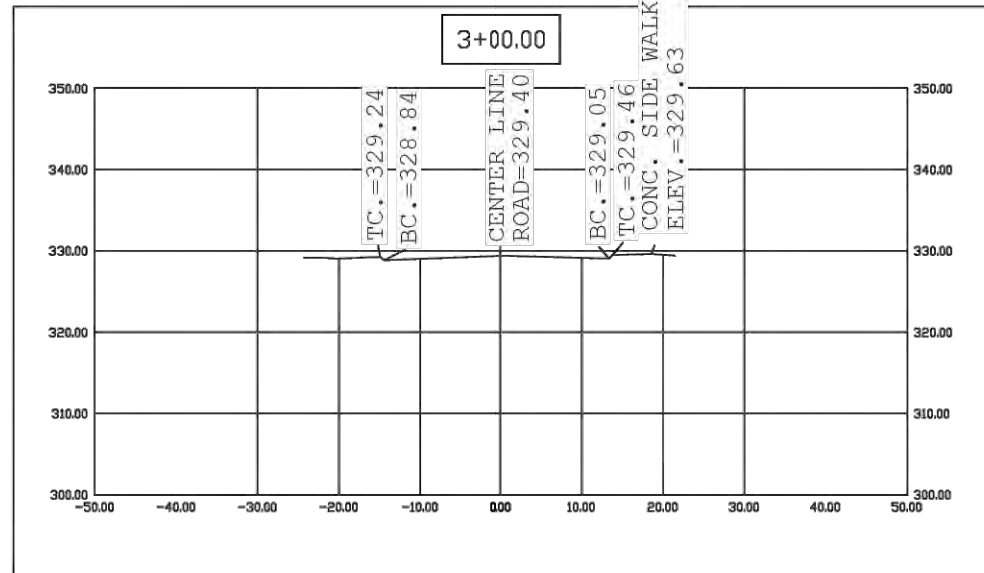
SECTION 11



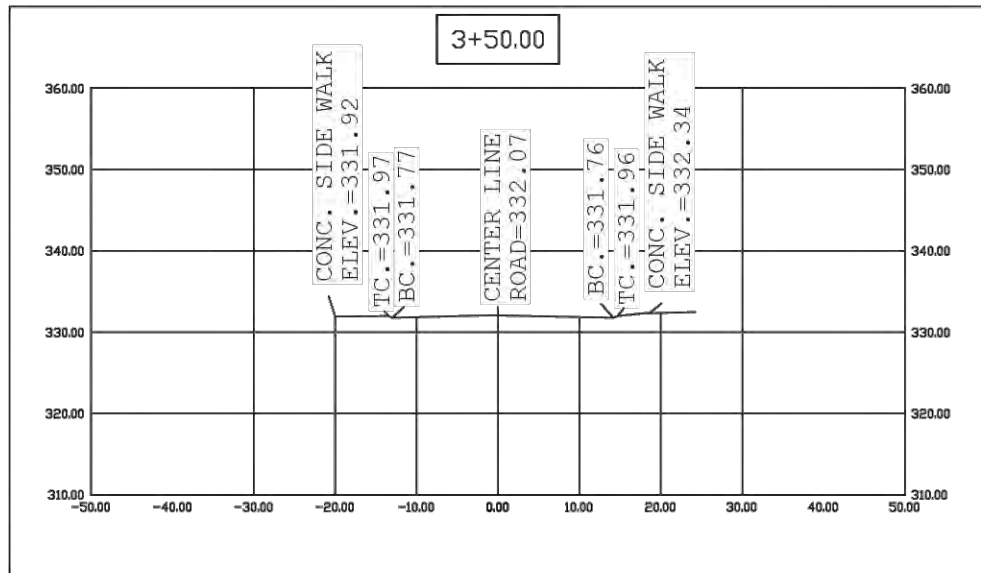
SECTION 5



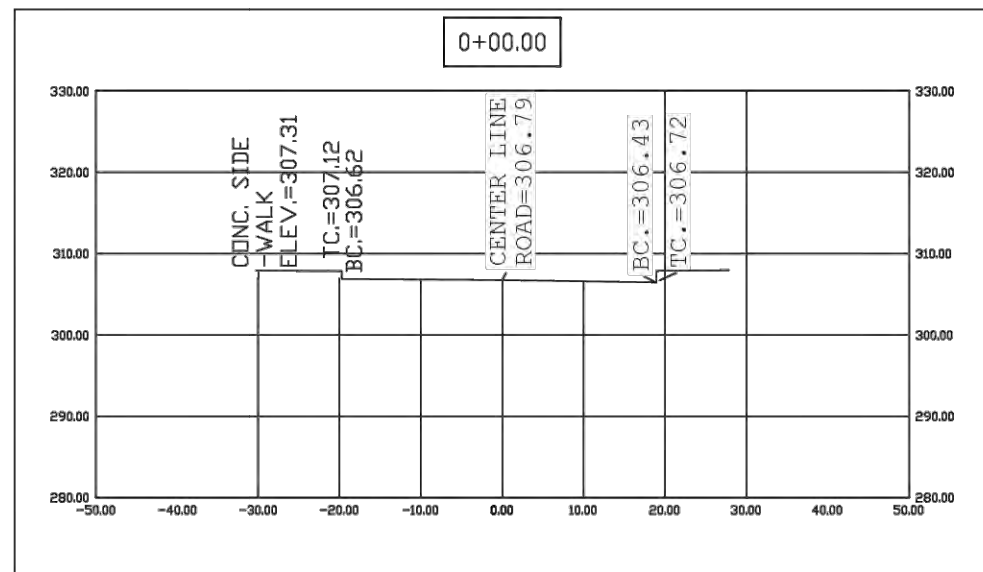
SECTION 6



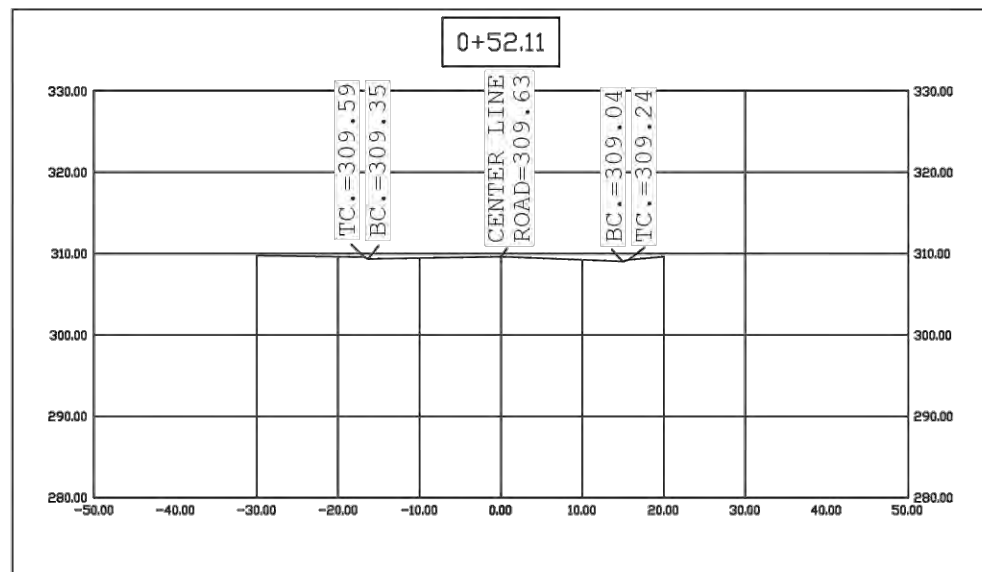
SECTION 7



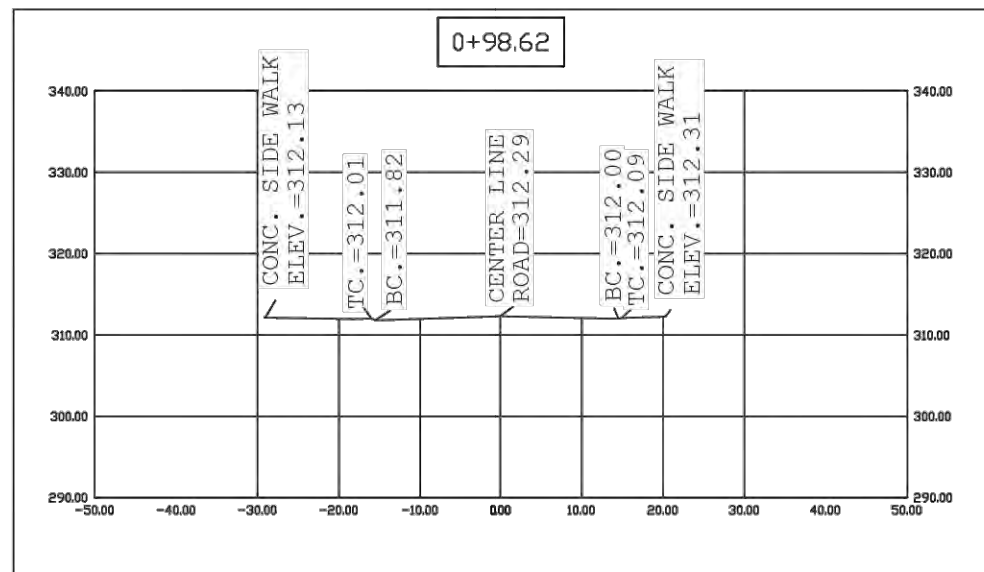
SECTION 8



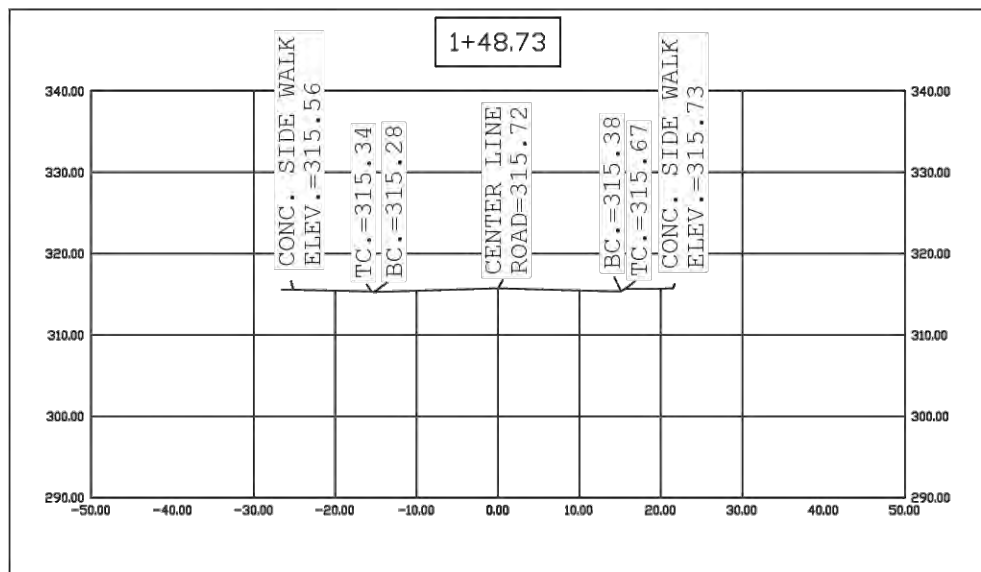
SECTION 1



SECTION 2



SECTION 3



SECTION 4

SCALE 1" = 20'

DESIGNATED AS SECTION 3, BLOCK 22, LOTS 4, 5, 5A, 6 AND 6A  
ON THE TAX ASSESSMENT MAP OF THE TOWN OF MOUNT PLEASANT,  
WESTCHESTER COUNTY, NEW YORK, AND ALSO KNOWN AS 444 BEDFORD ROAD  
AND 109 WHEELER AVENUE, PLEASANTVILLE, NEW YORK.

SEC. No. 106.6  
BLOCK No. 5

CERTIFIED TO : 444 ASSOCIATES LLC  
WESTCHESTER COUNTY  
BUILDING DEPARTMENT.

DATE OF SURVEY : JANUARY 14, 2025  
MAP DRAFTED : JANUARY 21, 2025



RAMSAY LAND SURVEYING, P.C.  
PROFESSIONAL LAND SURVEYORS – PLANNERS

3024 RADCLIFF AVENUE  
BRONX, NEW YORK 10469  
MOBILE # 917 544 8174  
PHONE: 718 884 0238  
EMAIL:

RVNPTCLANDSURV@YAHOO.COM



CROSS-CUT TOPOGRAPHICAL SURVEY  
OF  
444 BEDFORD ROAD AND  
109 WHEELER AVENUE,  
IN THE VILLAGE  
OF PLEASANTVILLE  
TOWN OF  
MOUNT PLEASANT  
WESTCHESTER COUNTY  
STATE OF NEW YORK.

NEVILLE V. RAMSAY, PROFESSIONAL LAND SURVEYOR  
NEW YORK STATE LICENCE No. 050294-1

DRAWING TITLE:

CROSS SECTIONS ALONG  
BEDFORD ROAD

PROJECT:

THE LANDMARK AT 444

PROJECT ADDRESS:

444 BEDFORD RD  
PLEASANTVILLE  
NY 10570

NYS EDUCATION LAW

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL  
REMAIN THE PROPERTY OF ARQ ARCHITECTURE P.C. WHETHER  
THE PROJECT FOR WHICH IT IS MADE IS EXECUTED OR NOT.  
THIS DRAWING SHALL NOT BE USED BY THE OTHERS OR  
OTHERS ON THE OTHER PROJECTS FOR ADDITIONS TO THIS  
PROJECT OR FOR COMPLETION OF THIS PROJECT BY  
OTHERS EXCEPT BY AGREEMENT IN WRITING WITH ARQ  
ARCHITECTURE P.C. SUBMISSION OR DISTRIBUTION TO MEET  
OFFICIAL REGULATORY REQUIREMENTS OR FOR OTHER  
PURPOSES IN CONNECTION WITH THE PROJECT IS NOT TO BE  
CONSTRUCTED AS PUBLICATION IN DEROGATION OF THE  
RIGHTS OF ARQ ARCHITECTURE P.C. REPRODUCTION OR  
PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS  
PROHIBITED. TITLE TO THIS DRAWING BELONGS TO ARQ  
ARCHITECTURE P.C. WITHOUT PREJUDICE TO MODIFICATIONS  
TO THIS DRAWING IN ACCORDANCE WITH THE NYS EDUCATION  
LAW.

IT IS A VIOLATION OF THE LAW FOR ANY PERSON UNLESS  
ACTING UNDER THE DIRECTION OF A LICENSED  
PROFESSIONAL TO ALTER AN ITEM IN ANY WAY. IF AN ITEM  
BEARING THE SEAL OF A LICENSED PROFESSIONAL IS  
ALTERED, THE ALTERING LICENSED PROFESSIONAL SHALL  
APPLY TO THEIR ITEM THEIR SEAL AND THE NOTATION  
"ALTERED BY FOLLOWED BY THEIR SIGNATURE AND THE  
DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION  
OF THE ALTERATION."

SEAL & SIGNATURE



EXP. 3-31-2026

DATE:

3/12/2021

PROJECT NO:

21-037

DRAWING BY:

ARQ

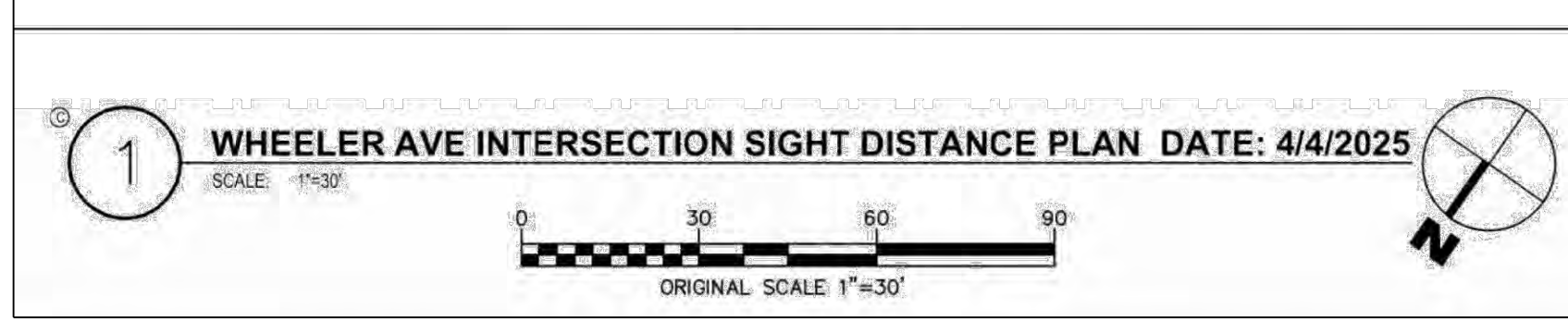
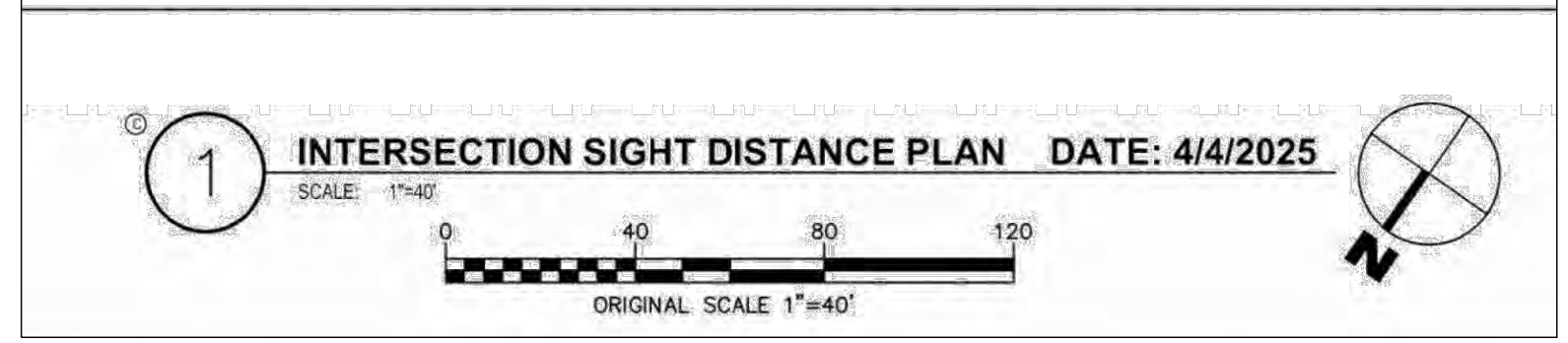
CHECKED BY:

JBH

DWG. NO:

S-104





100 EXECUTIVE BLVD. SUITE 204  
OSSING, NY 10562  
arqpc.com  
PHONE: (914) 944-3377  
FAX: (866) 567-5240

JORGE B. HERNANDEZ R.A. A.I.A.  
LICENSE NUMBER: 030424-1  
CERTIFICATE NUMBER: 2323801

REVISIONS	DATE	BY
RESUBMITTAL	9/14/2023	ARQ
RESUBMITTAL	4/26/2024	ARQ
RESUBMITTAL	9/30/2024	ARQ
P.B. COMMENTS	09/11/2024	ARQ
WHEELER LOADING	09/26/2024	ARQ
REV. DRAWINGS	10/9/2024	ARQ
REV. DRAWINGS	2/26/2025	ARQ
REV. DRAWINGS	4/9/2025	ARQ
PUBLIC HEARING	4/30/2025	ARQ

DRAWING TITLE:  
PROPOSED INTERSECTION  
SIGHT DISTANCES PLANS

PROJECT:  
THE LANDMARK AT 444

PROJECT ADDRESS:  
444 BEDFORD RD  
PLEASANTVILLE  
NY 10570

NYS EDUCATION LAW  
THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF ARQ ARCHITECTURE P.C. WHETHER THE PROJECT FOR WHICH IT IS MADE IS EXECUTED OR NOT. THIS DRAWING SHALL NOT BE USED BY THE OTHERS OR OTHERS ON THE OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS EXCEPT BY AGREEMENT IN WRITING WITH ARQ ARCHITECTURE P.C. SUBMISSION OR DISTRIBUTION TO MEET OFFICIAL REGULATORY REQUIREMENTS OR FOR OTHER PURPOSES IN CONNECTION WITH THE PROJECT IS NOT TO BE CONSTRUCTED AS PUBLICATION IN DEROGATION OF THE RIGHTS OF ARQ ARCHITECTURE P.C. REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THIS DRAWING BELONGS TO ARQ ARCHITECTURE P.C. WITHOUT PREJUDICE. NO MODIFICATIONS TO THIS DRAWING IN ACCORDANCE WITH THE NYS EDUCATION LAW.

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING LICENSED PROFESSIONAL SHALL AFFIX TO THEIR ITEM THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

SEAL & SIGNATURE



DATE: 3/12/2021	DWG. NO.:
PROJECT NO.:	
21-037	
DRAWING BY:	
ARQ	
CHECKED BY:	
JBH	

S-105





**JORGE B. HERNANDEZ R.A. A.I.A.**  
**LICENSE NUMBER: 030424-1**  
**CERTIFICATE NUMBER: 2323601**

REVISIONS	DATE	BY
RESUBMITTAL	9/14/2023	ARQ
RESUBMITTAL	4/26/2024	ARQ
RESUBMITTAL	8/30/2024	ARQ
P.B. COMMENTS	09/11/2024	ARQ
WHEELER LOADING	09/25/2024	ARQ
REV. DRAWINGS	10/9/2024	ARQ
REV. DRAWINGS	2/26/2025	ARQ
REV. DRAWINGS	4/9/2025	ARQ
PUBLIC HEARING	4/30/2025	ARQ

DRAWING TITLE:  
PROPOSED INTERSECTION  
SIGHT DISTANCE PLAN W/  
AERIAL VIEW

PROJECT:

THE LANDMARK AT 444

PROJECT ADDRESS:  
444 BEDFORD RD  
PLEASANTVILLE  
NY 10570

---

NYS EDUCATION LAW

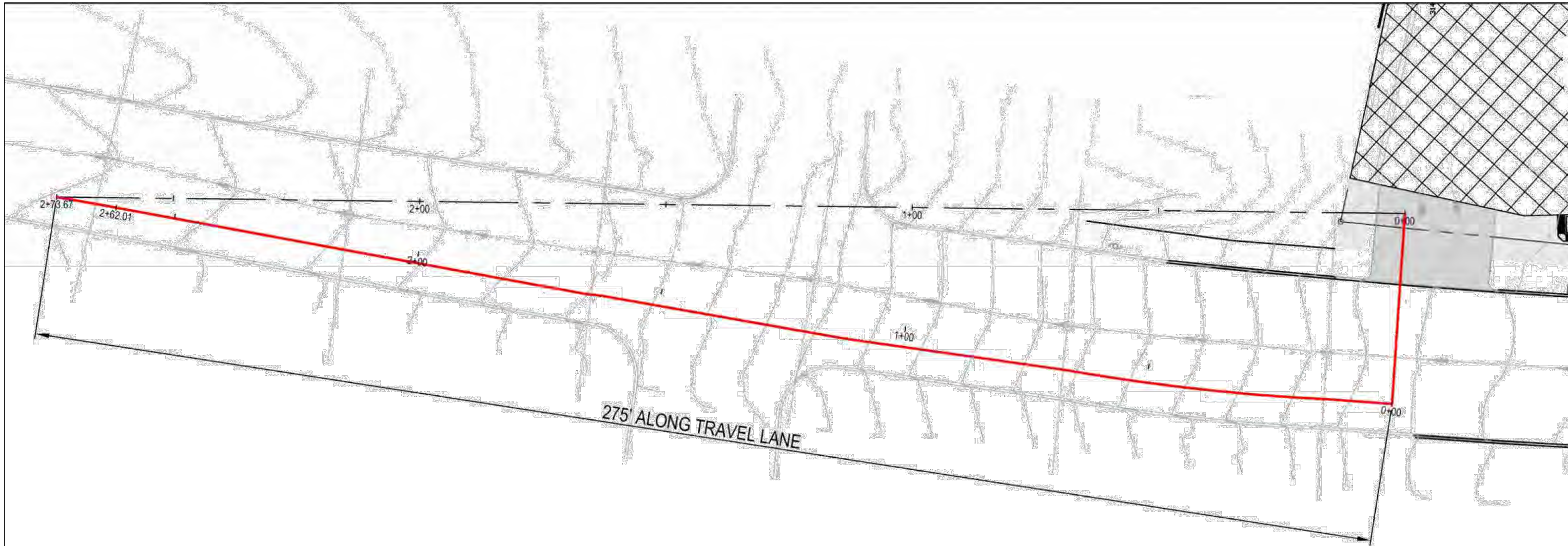
THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF ARQ ARCHITECTURE PC, WHETHER THE PROJECT FOR WHICH IT IS MADE IS EXECUTED OR NOT. THIS DRAWING SHALL NOT BE USED BY THE OTHERS OR OTHER FUTURE OTHERS WITHOUT THE WRITTEN CONSENT OF THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS EXCEPT BY AGREEMENT IN WRITING WITH ARQ ARCHITECTURE PC. SUBMISSION OR DISTRIBUTION TO MEET OFFICIAL REGULATORY REQUIREMENTS OR FOR OTHER PURPOSES IN CONNECTION WITH THE PROJECT IS NOT TO BE CONSTRUCTED AS PUBLICATION IN DEROGATION OF THE RIGHTS OF ARQ ARCHITECTURE PC. REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THIS DRAWING BELONGS TO ARQ ARCHITECTURE PC. THIS DRAWING IS THE PROPERTY OF ARQ ARCHITECTURE PC. THIS DRAWING IS LOANED TO THIS DRAWING IN ACCORDANCE WITH THE MYS EDUCATION LAW.

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL, TO ALTER AN ITEM IN ANY WAY, IF AN ITEM BEARING THE SEAL OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING LICENSED PROFESSIONAL SHALL AFFIX TO THEIR ITEM THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

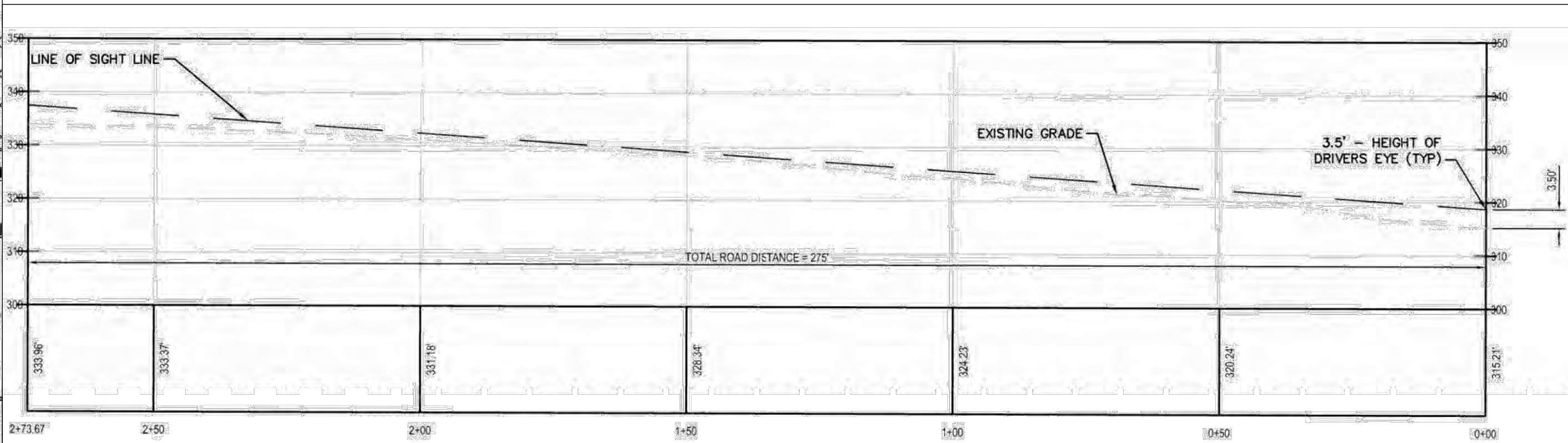
SEAL & SIGNATURE

<u>DATE:</u> 3/12/2021	DWG. NO.:  S-106
<u>PROJECT NO:</u> 21-037	
<u>DRAWING BY:</u> ARQ	
<u>CHECKED BY:</u> JBH	

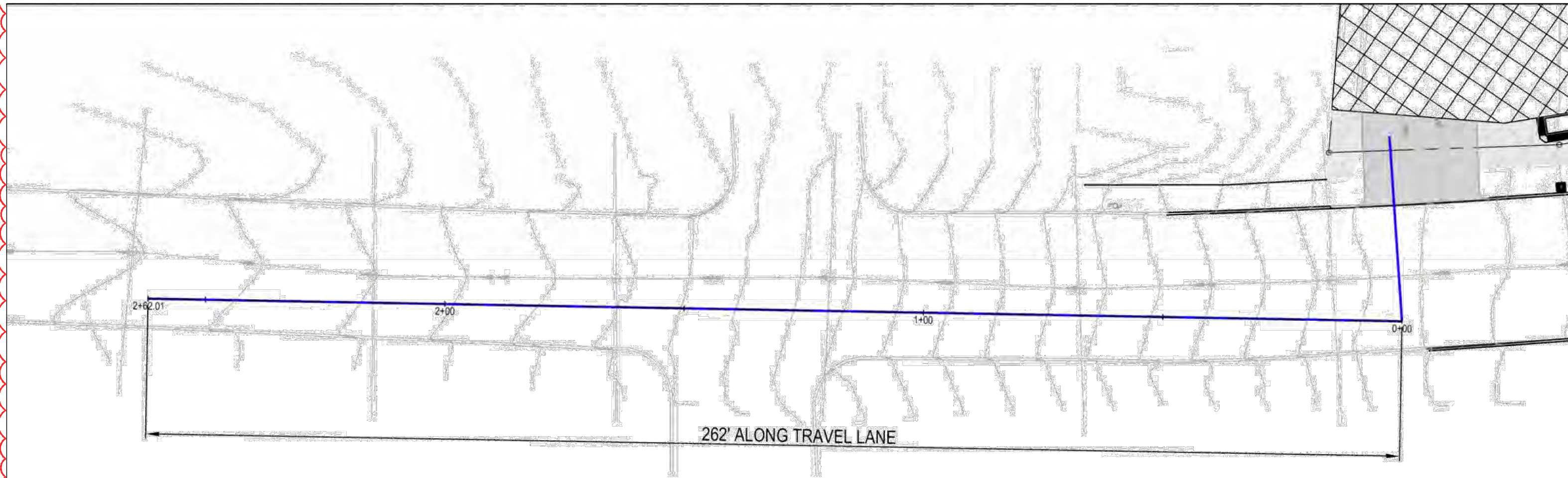




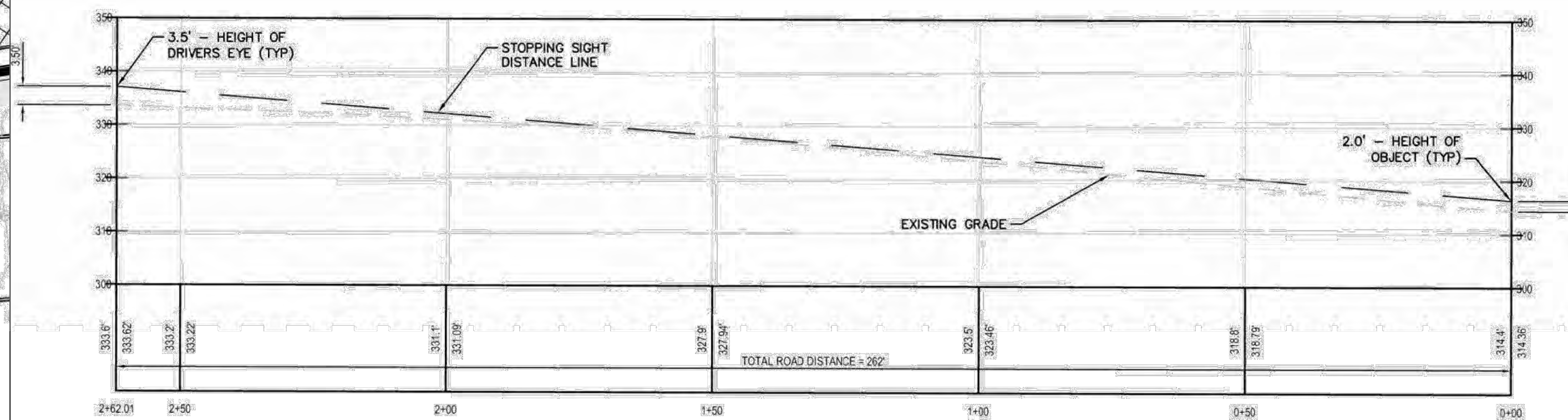
1 BEDFORD INTERSECTION SIGHT DISTANCE PLAN VIEW DATE: 4/4/2025  
SCALE: 1"=20'  
ORIGINAL SCALE 1"=20'



1 BEDFORD ROAD INTERSECTION SIGHT DISTANCE PROFILE DATE: 4/4/2025  
SCALE: H: 1"=20' V: 1"=20'



1 BEDFORD ROAD STOPPING SIGHT DISTANCE PLAN VIEW DATE: 4/4/2025  
SCALE: 1"=20'  
ORIGINAL SCALE 1"=20'



1 BEDFORD ROAD STOPPING SIGHT DISTANCE PROFILE DATE: 4/4/2025  
SCALE: H: 1"=20' V: 1"=20'



100 EXECUTIVE BLVD. SUITE 204  
OSSING, NY 10562  
arqpc.com  
PHONE: (914) 944-3377  
FAX: (866) 567-5240

JORGE B. HERNANDEZ R.A. A.I.A.  
LICENSE NUMBER: 030424-1  
CERTIFICATE NUMBER: 2323801

REVISIONS	DATE	BY
RESUBMITTAL	9/14/2023	ARQ
RESUBMITTAL	4/25/2024	ARQ
RESUBMITTAL	9/30/2024	ARQ
P.B. COMMENTS	09/11/2024	ARQ
WHEELER LOADING	09/25/2024	ARQ
REV. DRAWINGS	10/9/2024	ARQ
REV. DRAWINGS	2/26/2025	ARQ
REV. DRAWINGS	4/9/2025	ARQ
PUBLIC HEARING	4/30/2025	ARQ

DRAWING TITLE:  
PROPOSED INTERSECTION  
SIGHT DISTANCE, STOPPING  
SIGHT DISTANCE PLANS &  
PROFILES

PROJECT:  
THE LANDMARK AT 444

PROJECT ADDRESS:  
444 BEDFORD RD  
PLEASANTVILLE  
NY 10570

NY'S EDUCATION LAW  
THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF ARQ ARCHITECTURE P.C. WHETHER THE PROJECT FOR WHICH IT IS MADE IS EXECUTED OR NOT. THIS DRAWING SHALL NOT BE USED BY THE OTHERS OR OTHERS ON THE OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS EXCEPT BY AGREEMENT IN WRITING WITH ARQ ARCHITECTURE P.C. SUBMISSION OR DISTRIBUTION TO MEET OFFICIAL, REGULATORY REQUIREMENTS OR FOR OTHER PURPOSES IN CONNECTION WITH THE PROJECT IS NOT TO BE CONSTRUCTED AS PUBLICATION IN DEROGATION OF THE RIGHTS OF ARQ ARCHITECTURE P.C. REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THIS DRAWING BELONGS TO ARQ ARCHITECTURE P.C. WITHOUT PREJUDICE, NO MODIFICATIONS TO THIS DRAWING IN ACCORDANCE WITH THE NY'S EDUCATION LAW.

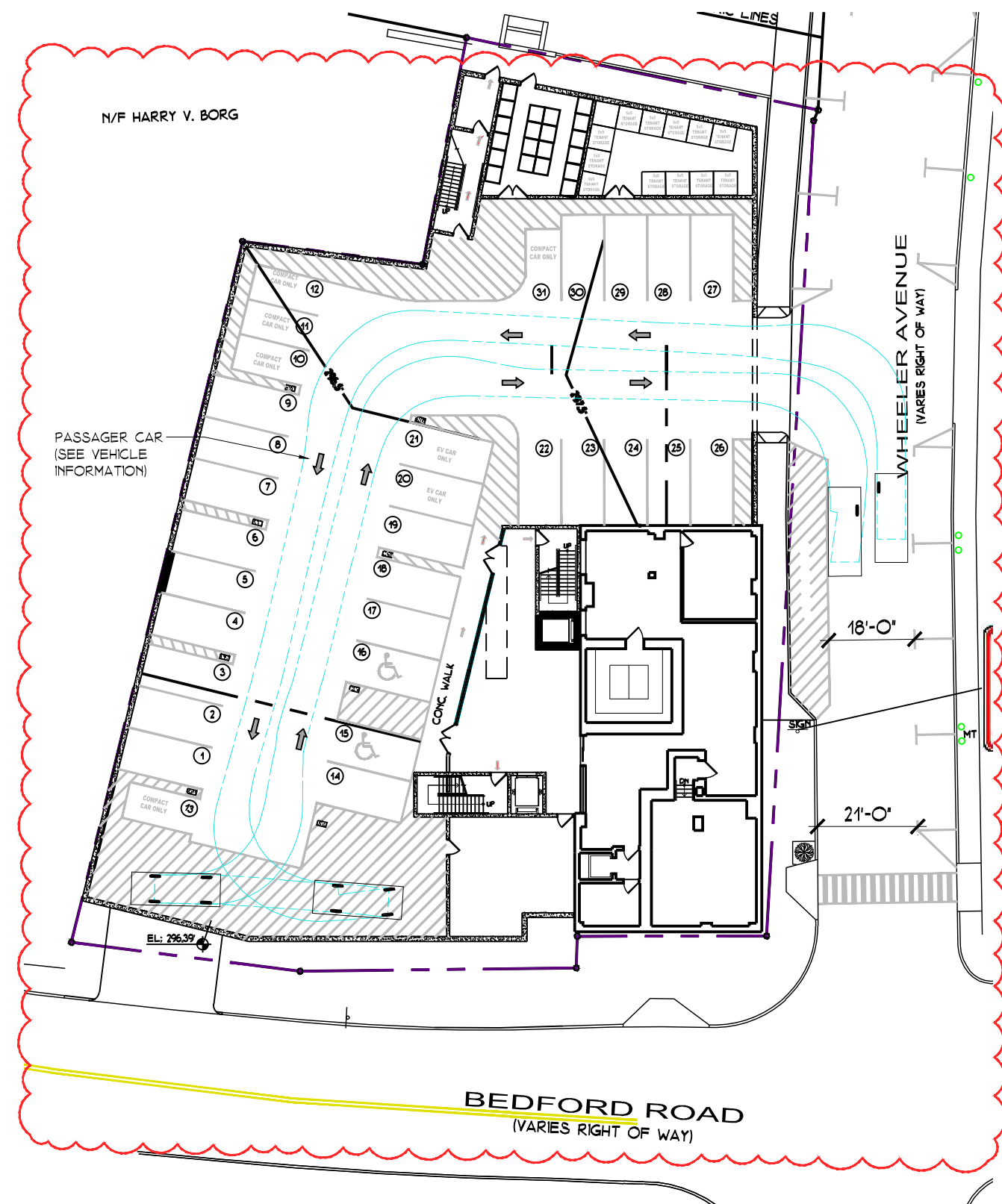
IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING LICENSED PROFESSIONAL SHALL APPEAR TO THEIR ITEM THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

SEAL & SIGNATURE



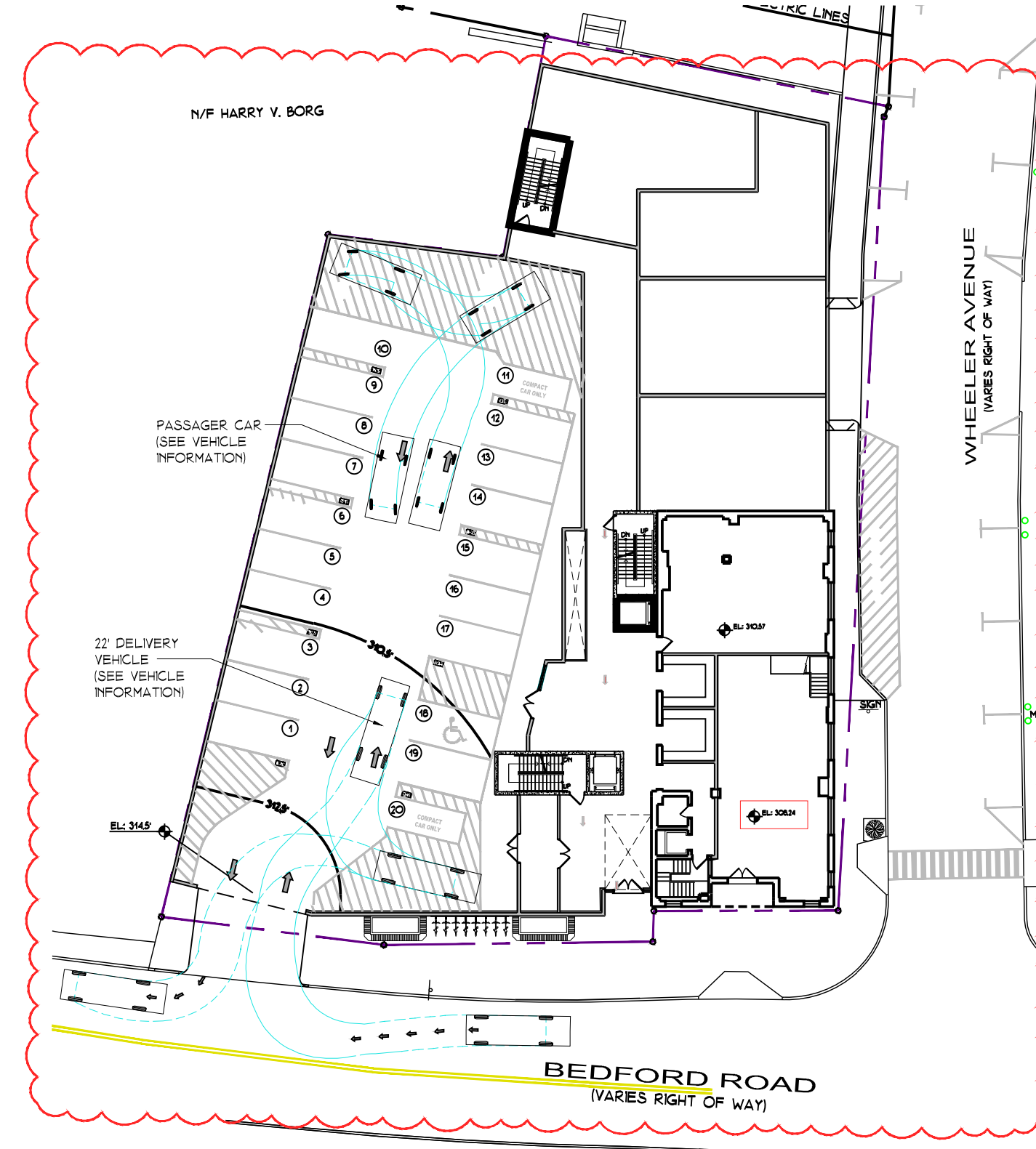
DATE:  
3/12/2021  
PROJECT NO:  
21-037  
DRAWING BY:  
ARQ  
CHECKED BY:  
JBH  
DWG. NO:  
S-107



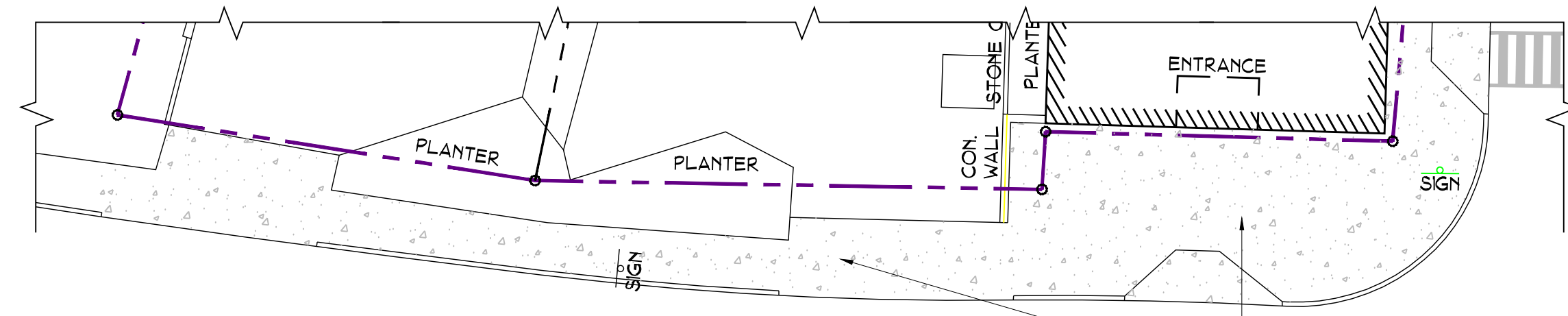


PROPOSED LOWER LEVEL  
VEHICLE MANEUVERABILITY  
(PASSENGER CAR)  
1" = 30'-0"

VEHICLE INFORMATION		N.T.S.	
PASSENGER CAR:	19'-0"	22' DELIVERY VEHICLE:	22'-9"
OVERALL LENGTH:	19'-0"	OVERALL LENGTH:	22'-9"
OVERALL WIDTH:	7'-0"	OVERALL WIDTH:	6'-5"
OVERALL BODY HEIGHT:	4'-3"	OVERALL BODY HEIGHT:	8'-9"
TRACK WIDTH:	6'-0"	TRACK WIDTH:	6'-5"

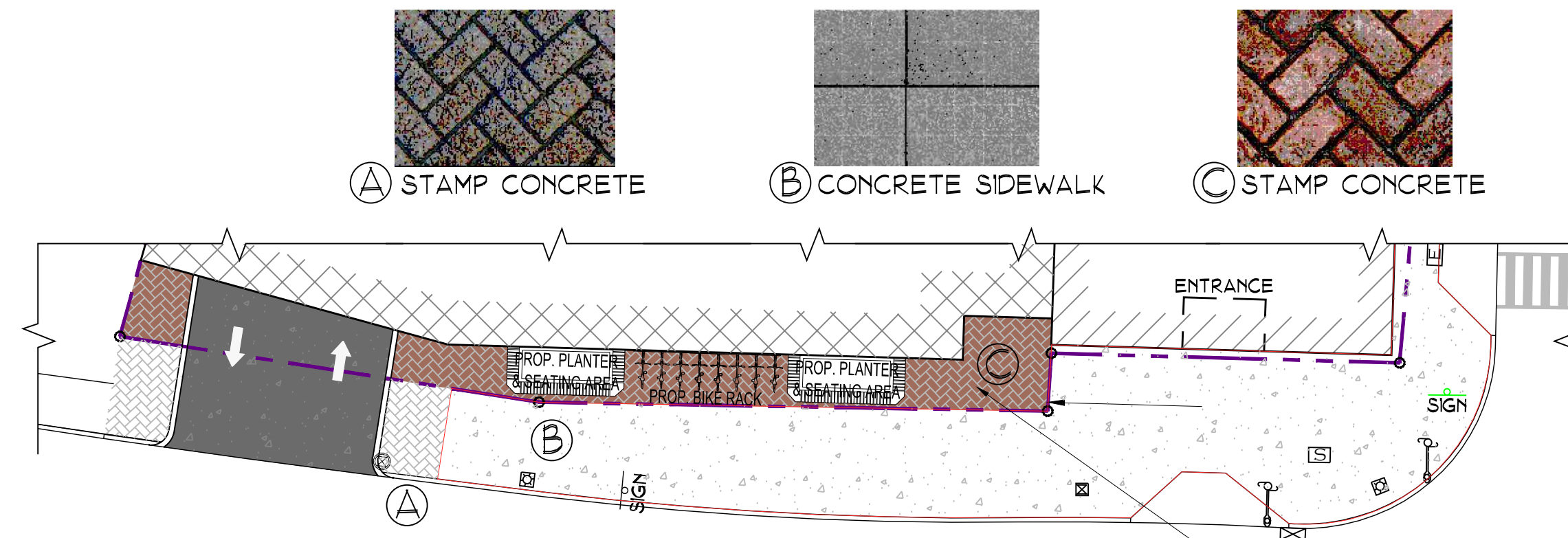


PROPOSED MAIN LEVEL  
VEHICLE MANEUVERABILITY  
(PASSENGER CAR AND DELIVERY VAN)  
1" = 30'-0"



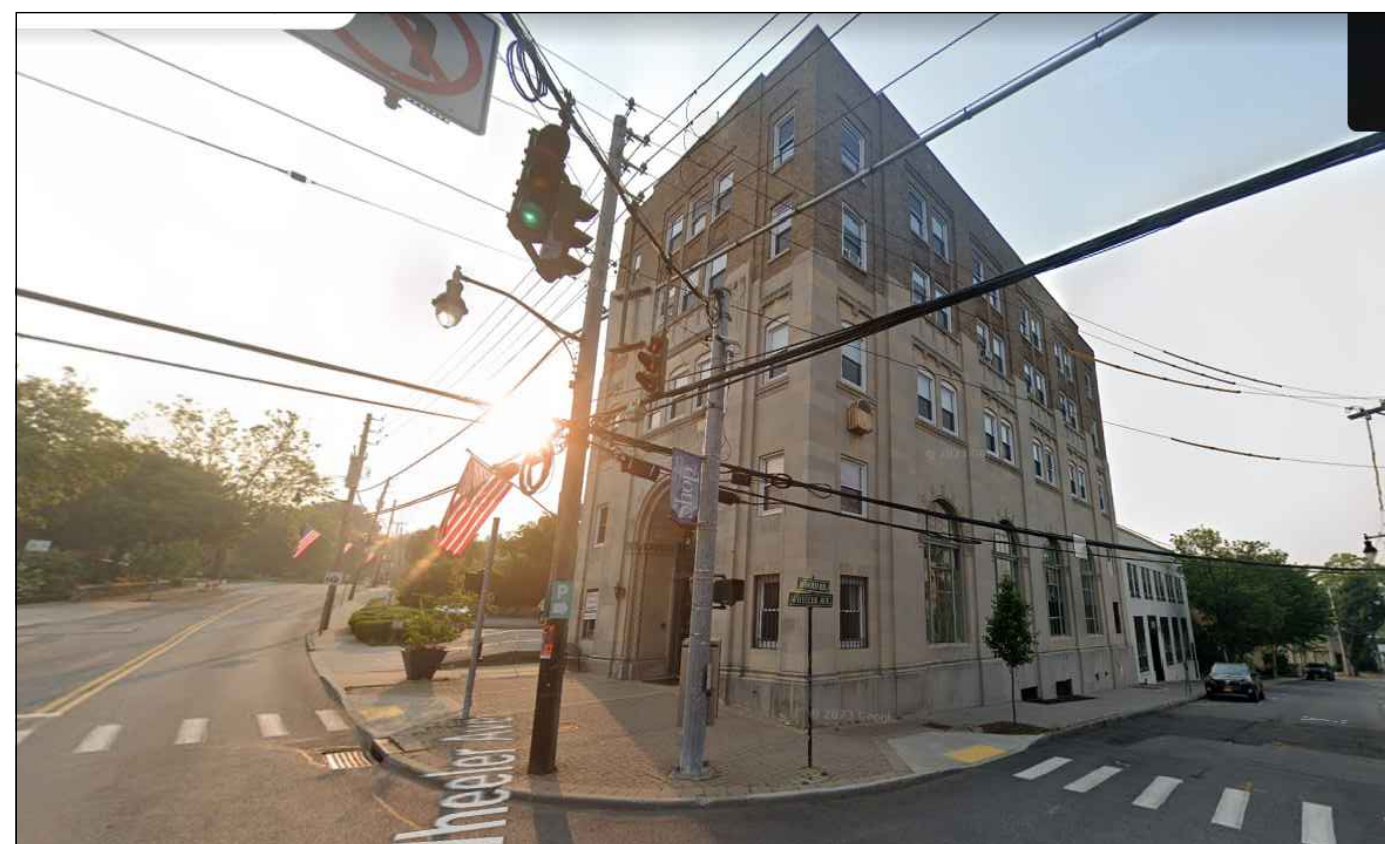
EXISTING CIVIC SPACE PLAN  
1" = 20'-0"

EXIST.  
SIDEWALK CIVIC SPACE  
AREA= 1,149 SQ.FT.

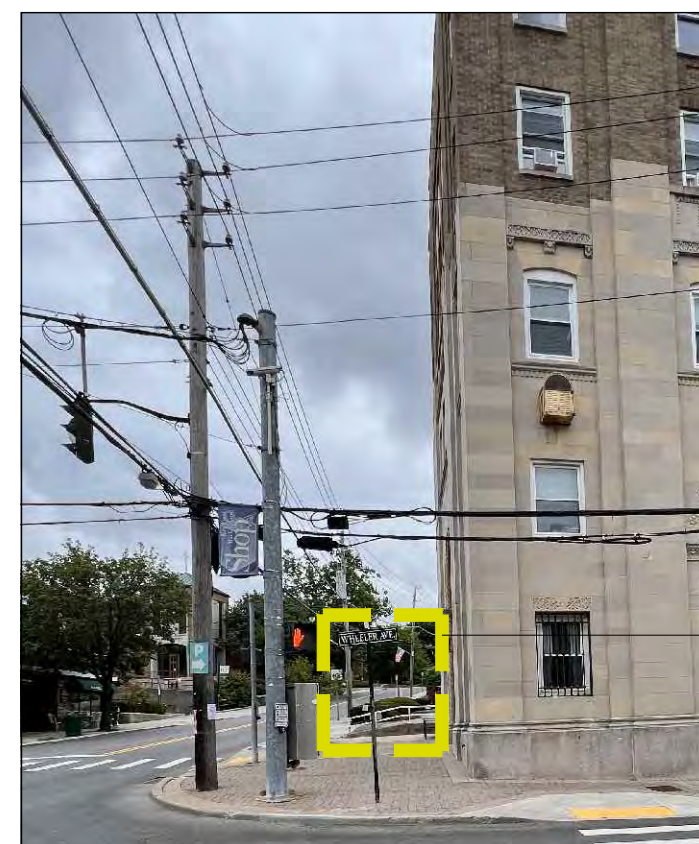


PROPOSED CIVIC SPACE PLAN  
1" = 20'-0"

PROPOSED  
CONTIGUOUS SIDEWALK  
CIVIC SPACE  
AREA= 2,323 SQ.FT.



EXISTING CIVIC SPACE CONDITIONS PLAN  
N.T.S.



PROPOSED  
ADDITIONAL SPACE



PROPOSED CIVIC SPACE  
N.T.S.



100 EXECUTIVE BLVD. SUITE 204  
OSSING, NY 10562  
arqpc.com  
PHONE: (914) 944-3377  
FAX: (866) 567-5240

JORGE B. HERNANDEZ R.A. A.I.A.  
LICENSE NUMBER: 030424-1  
CERTIFICATE NUMBER: 2323801

REVISIONS	DATE	BY
RESUBMITTAL	9/14/2023	ARQ
RESUBMITTAL	4/26/2024	ARQ
RESUBMITTAL	9/30/2024	ARQ
P.B. COMMENTS	09/11/2024	ARQ
WHEELER LOADING	09/25/2024	ARQ
REV. DRAWINGS	10/9/2024	ARQ
REV. DRAWINGS	2/26/2025	ARQ
REV. DRAWINGS	4/9/2025	ARQ
PUBLIC HEARING	4/30/2025	ARQ

DRAWING TITLE:  
PROPOSED VEHICLE  
MANEUVERABILITY PLANS AND  
EXIST. & PROPOSED CIVIC  
SPACE PLANS WITH IMAGES

PROJECT:  
THE LANDMARK AT 444

PROJECT ADDRESS:  
444 BEDFORD RD  
PLEASANTVILLE  
NY 10570

NYS EDUCATION LAW  
THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL  
REMAIN THE PROPERTY OF ARQ ARCHITECTURE P.C. WHETHER  
THE PROJECT FOR WHICH IT IS MADE IS EXECUTED OR NOT.  
THIS DRAWING SHALL NOT BE USED BY THE OTHERS OR  
OTHERS ON THE OTHER PROJECTS FOR ADDITIONS TO THIS  
PROJECT OR FOR COMPLETION OF THIS PROJECT BY  
OTHERS EXCEPT BY AGREEMENT IN WRITING WITH ARQ  
ARCHITECTURE P.C. SUBMISSION OR DISTRIBUTION TO MEET  
OFFICIAL, REGULATORY REQUIREMENTS OR FOR OTHER  
PURPOSES IN CONNECTION WITH THE PROJECT IS NOT TO BE  
CONSTRUCTED AS PUBLICATION IN DEROGATION OF THE  
RIGHTS OF ARQ ARCHITECTURE P.C. REPRODUCTION OR  
PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS  
PROHIBITED. TITLE TO THIS DRAWING BELONGS TO ARQ  
ARCHITECTURE P.C. WITHOUT PREJUDICE. NO MODIFICATIONS  
TO THIS DRAWING IN ACCORDANCE WITH THE NYS EDUCATION  
LAW.

IT IS A VIOLATION OF THE LAW FOR ANY PERSON UNLESS  
ACTING UNDER THE DIRECTION OF A LICENSED  
PROFESSIONAL, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM  
BEARING THE SEAL OF A LICENSED PROFESSIONAL IS  
ALTERED, THE ALTERING LICENSED PROFESSIONAL SHALL  
APPLY TO THEIR ITEM THEIR SEAL AND THE NOTATION  
"ALTERED BY FOLLOWED BY THEIR SIGNATURE AND THE  
DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION  
OF THE ALTERATION."

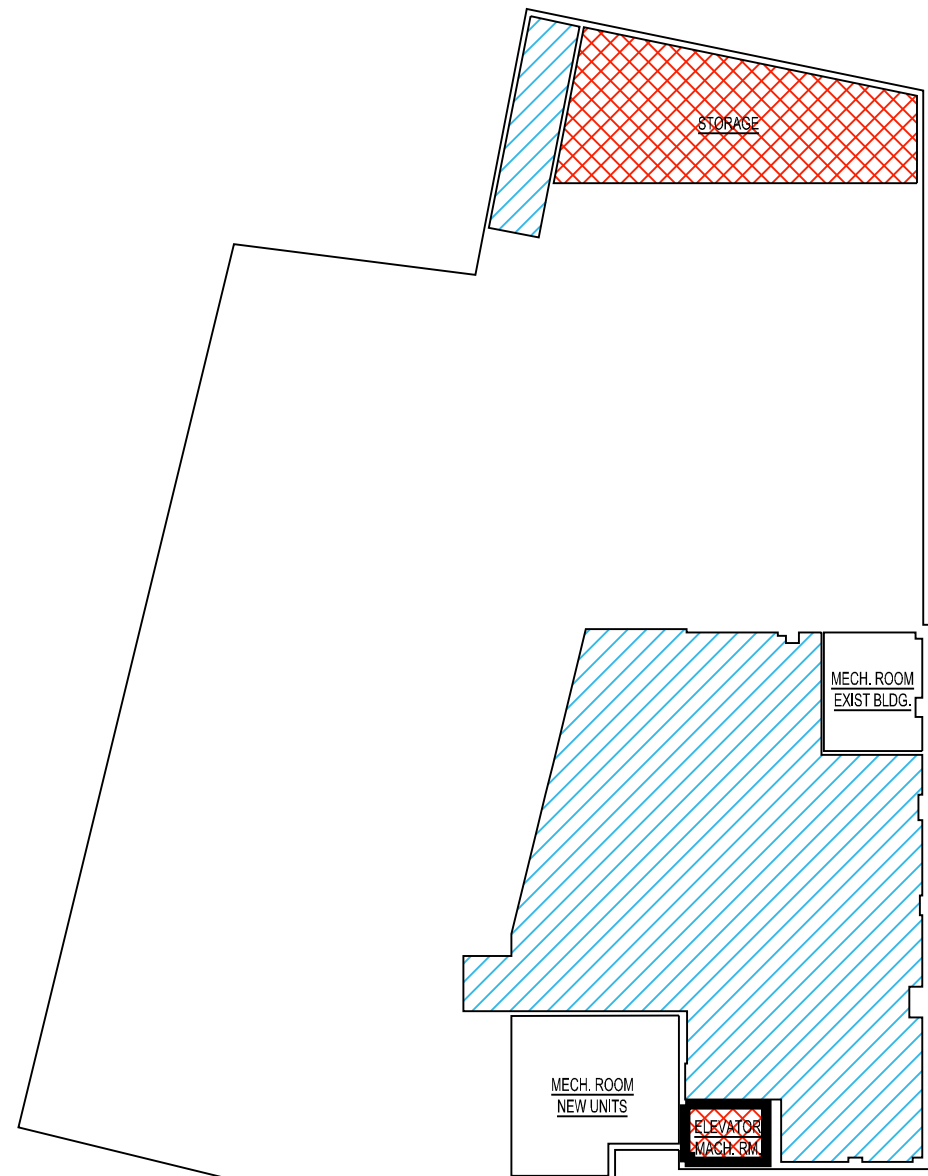
SEAL & SIGNATURE



DATE: 3/12/2021	DWG. NO.:
PROJECT NO.:	
21-037	
DRAWING BY:	
ARQ	
CHECKED BY:	
JBH	

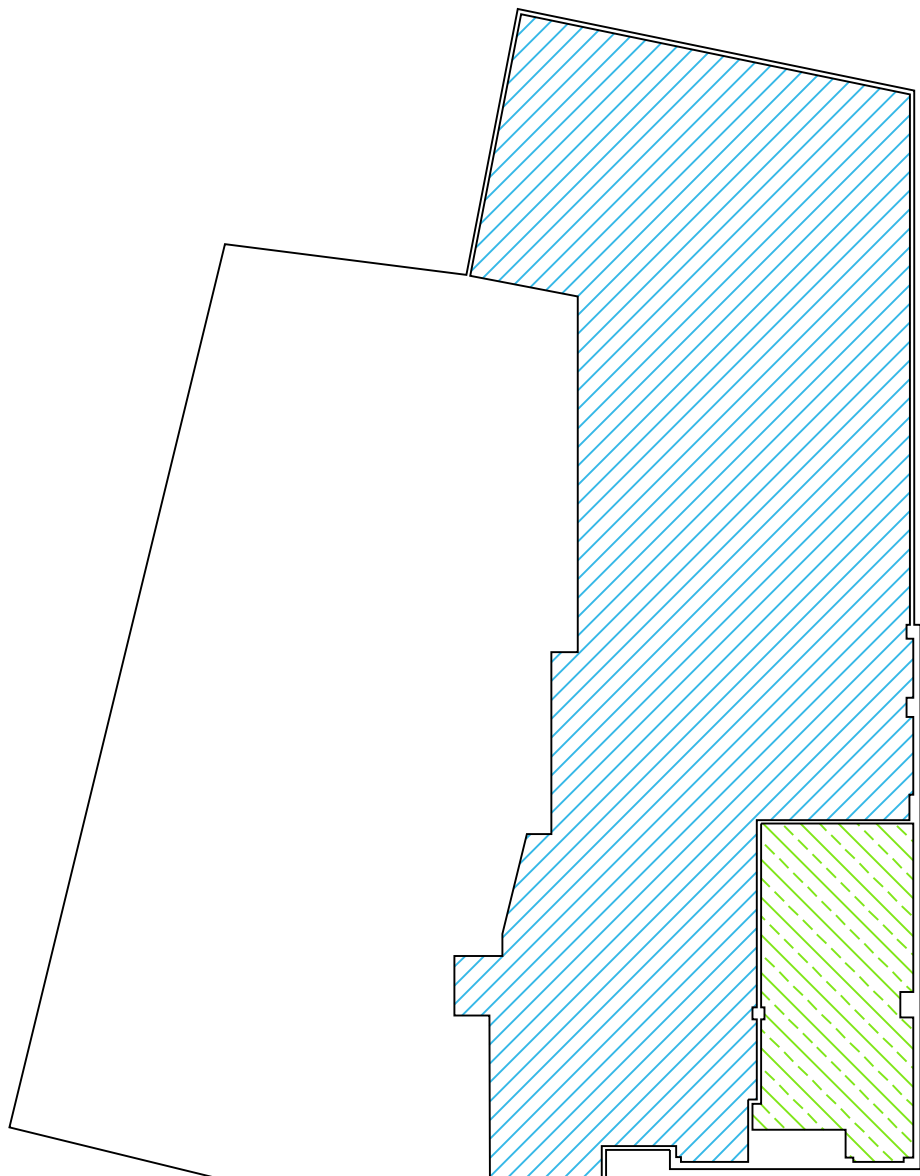
S-108





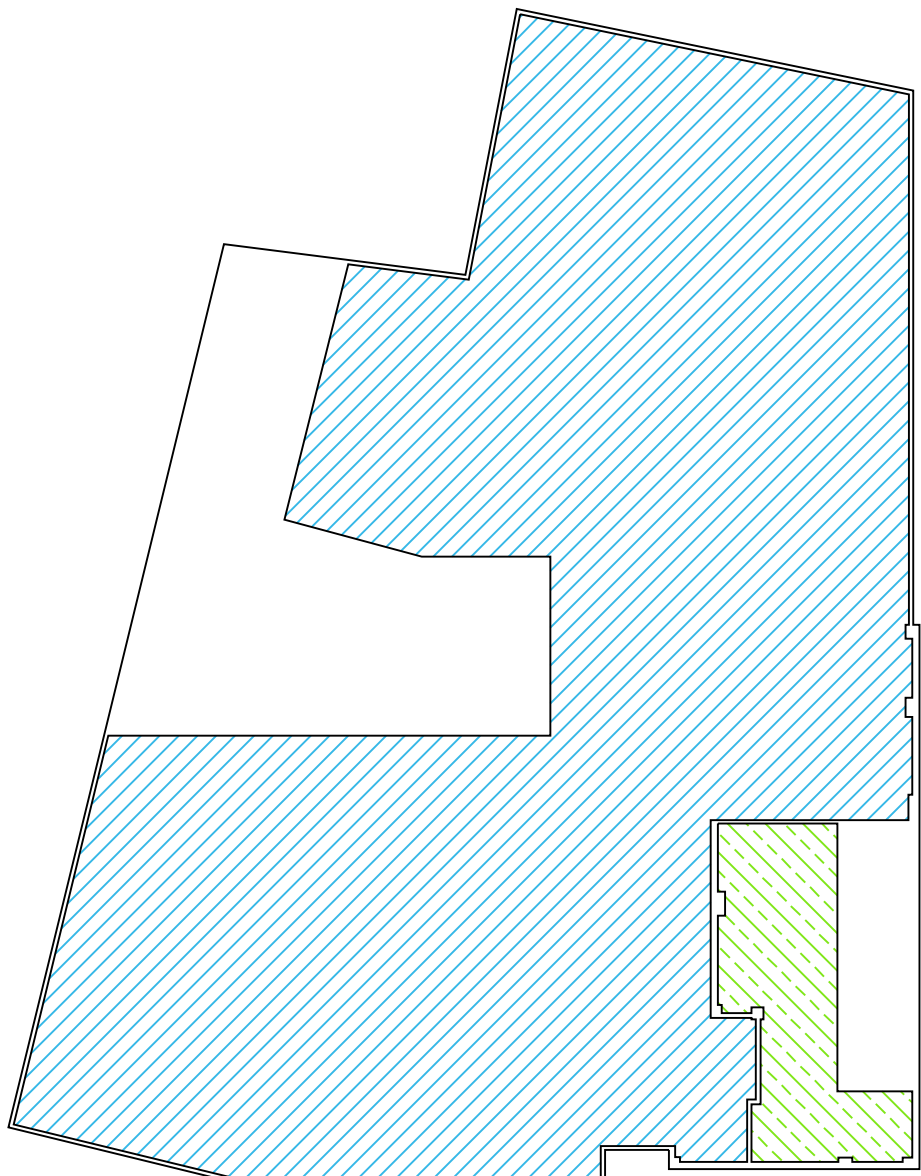
LOWER LEVEL FLOOR  
KEY MAP

F.A.R. = 4,266 S.F.



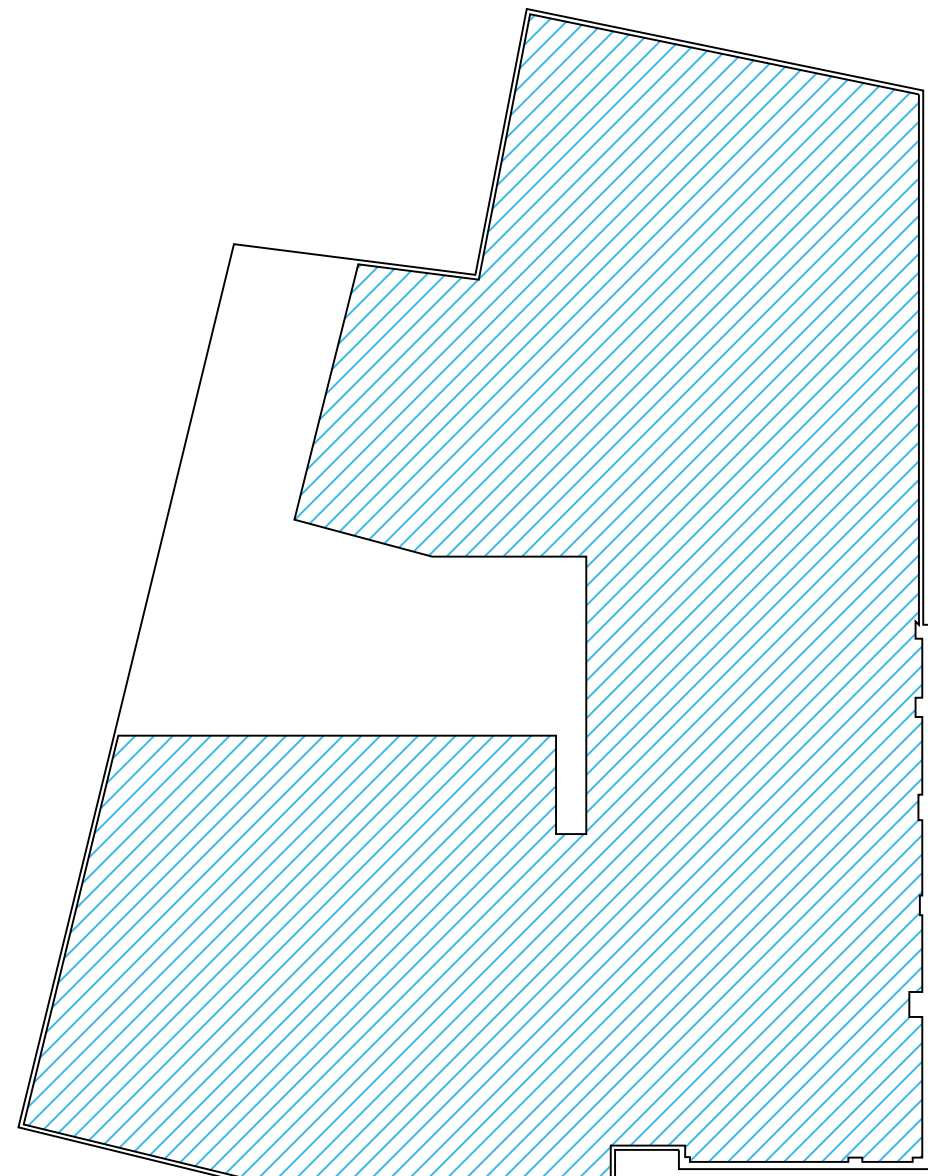
MAIN FLOOR  
KEY MAP

TOTAL F.A.R. = 10,195 S.F.  
RESIDENTIAL: 9,011 S.F.  
RETAIL: 1,184 S.F.  
RESIDENTIAL: 5 APARTMENTS  
2 (1 BEDROOM)  
3 (2 BEDROOMS)



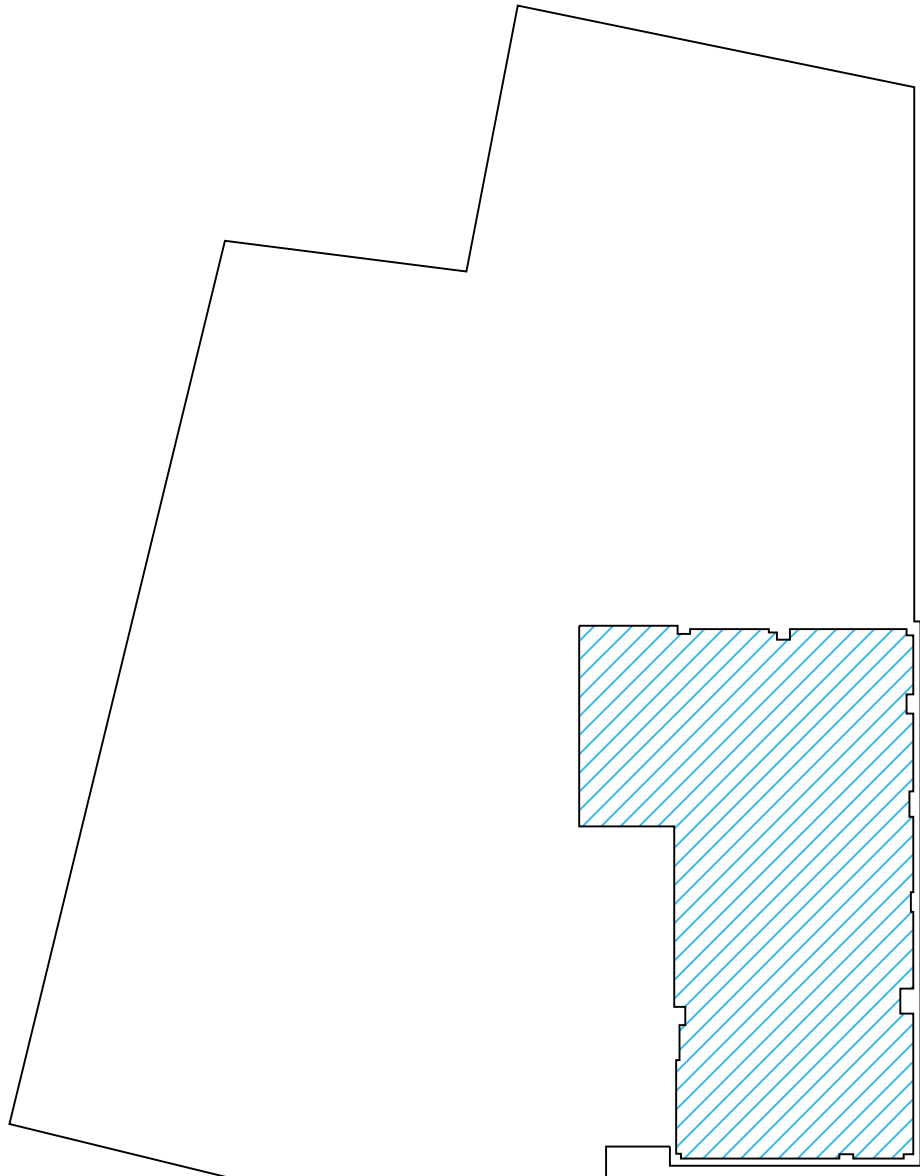
SECOND FLOOR  
KEY MAP

TOTAL F.A.R. = 16,260 S.F.  
RESIDENTIAL: 15,298 S.F.  
RETAIL: 962 S.F.  
RESIDENTIAL: 15 APARTMENTS  
7 (1 BEDROOM)  
4 DUPLEX (1 BEDROOM)  
4 (2 BEDROOMS)



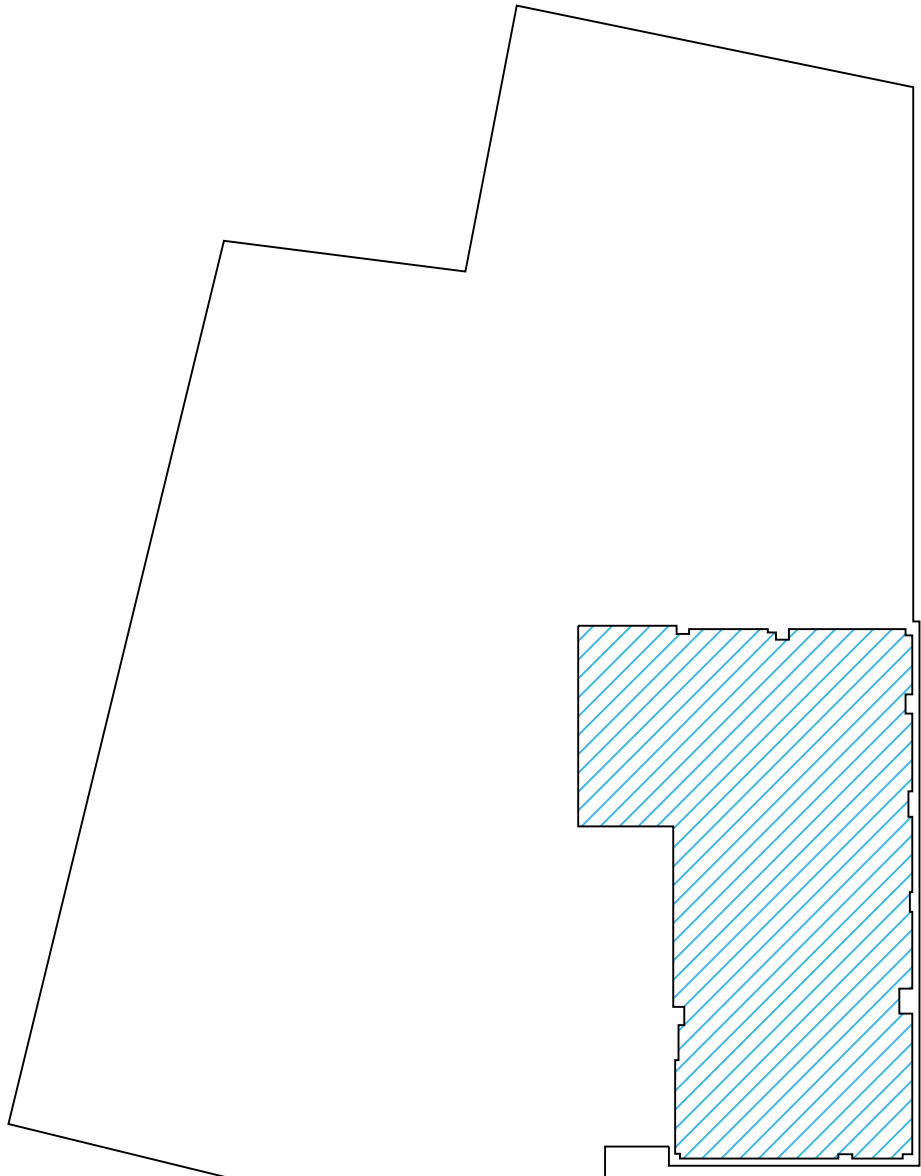
THIRD FLOOR  
KEY MAP

TOTAL F.A.R. = 16,637 S.F.  
(RESIDENTIAL ONLY)  
RESIDENTIAL: 12 APARTMENTS  
7 (1 BEDROOM)  
3 (2 BEDROOMS)



FOURTH FLOOR  
KEY MAP

TOTAL F.A.R. = 3,514 S.F.  
(RESIDENTIAL ONLY)  
RESIDENTIAL: 2 APARTMENTS  
2 (2 BEDROOMS)



FIFTH FLOOR  
KEY MAP

TOTAL F.A.R. = 3,514 S.F.  
(RESIDENTIAL ONLY)  
RESIDENTIAL: 2 APARTMENTS  
2 (2 BEDROOMS)

KEY MAPS

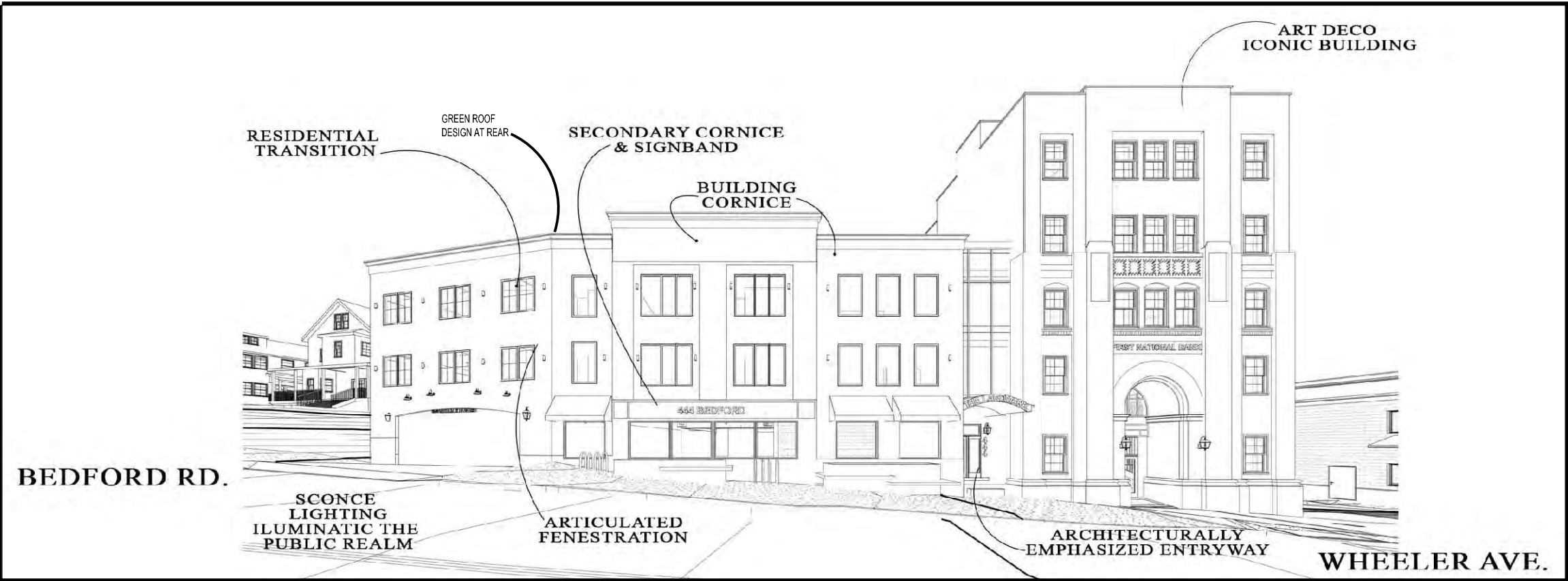
1"=30'-0"

PROPOSED NEW DEVELOPMENT

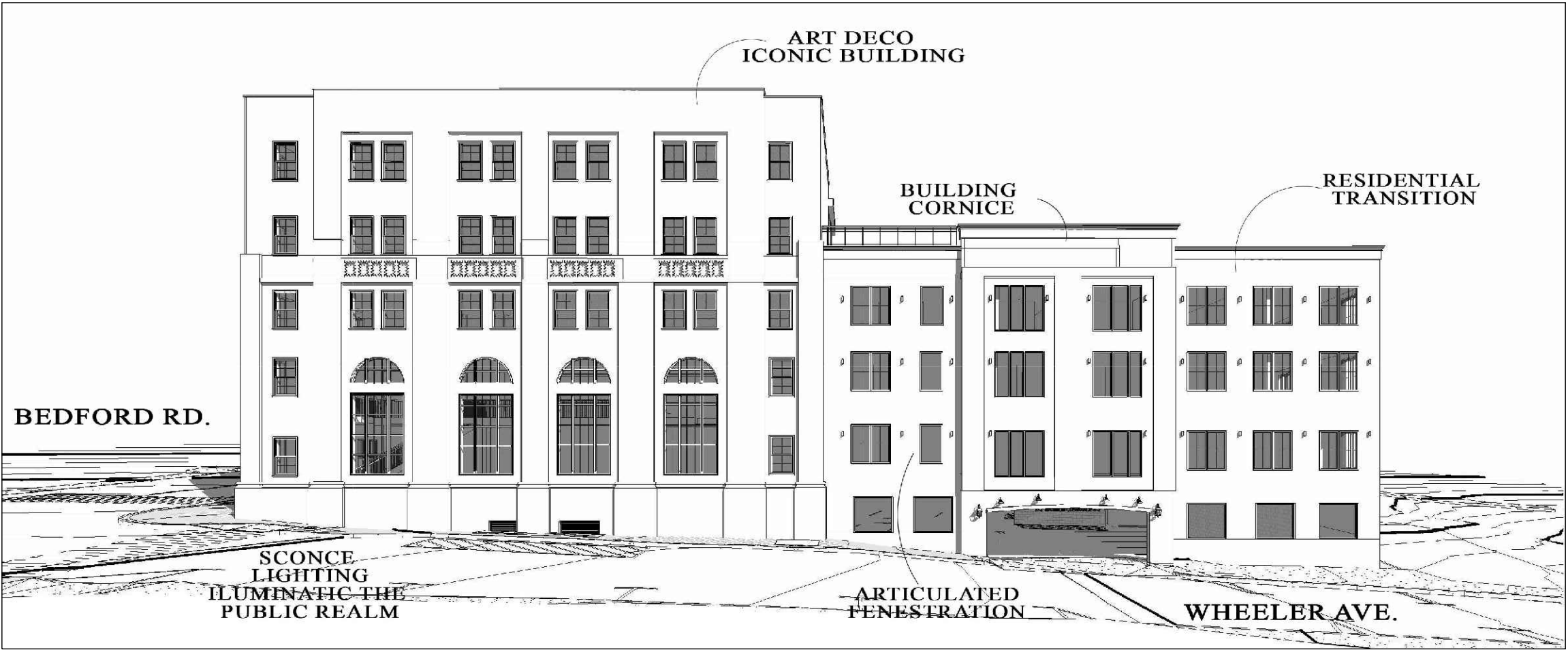
FLOOR:	1 BEDROOM APARTMENT:	1 BEDROOMS APT. (DUPLEX):	2 BEDROOMS APARTMENT:	TOTAL
MAIN	2	0	3	5
SECOND	7	4	4	15
THIRD	7	-	5	12
FOURTH	0	0	2	2
FIFTH	0	0	2	2
TOTAL:	16	4	16	36

FLOOR AREA RATIO (F.A.R.)

LOT SIZE: 22,331 X 2	= 44,662 S.F.
23,482 X 2.3 (15% F.A.R. BONUS)	= 51,361 S.F.
EXISTING 5 STORY = 3,368 S.F. X 5 =	15,940 S.F.
EXISTING 3 STORY = 2,428 S.F. X 3 =	7,284 S.F.
TOTAL EXISTING F.A.R.	= 24,124 S.F.
TOTAL PROPOSED NEW DEVELOPMENT F.A.R.	= 50,872 S.F.



PROPOSED  
DEVELOPMENT / BEDFORD RD. ELEVATION N.T.S.



PROPOSED  
DEVELOPMENT / WHEELER AVE. ELEVATION N.T.S.



100 EXECUTIVE BLVD. SUITE 204  
OSSING, NY 10562  
arqpc.com  
PHONE: (914) 944-3377  
FAX: (866) 567-5240

JORGE B. HERNANDEZ R.A. A.I.A.  
LICENSE NUMBER: 030424-1  
CERTIFICATE NUMBER: 2323801

REVISIONS	DATE	BY
RESUBMITTAL	9/14/2023	ARQ
RESUBMITTAL	4/26/2024	ARQ
RESUBMITTAL	9/30/2024	ARQ
P.B. COMMENTS	09/11/2024	ARQ
WHEELER LOADING	09/25/2024	ARQ
REV. DRAWINGS	10/9/2024	ARQ
REV. DRAWINGS	2/26/2025	ARQ
REV. DRAWINGS	4/9/2025	ARQ
PUBLIC HEARING	4/30/2025	ARQ

DRAWING TITLE:

KEY MAPS, TABLE AND  
PROPOSED DEVELOPMENT  
ELEVATIONS

PROJECT:

THE LANDMARK AT 444

PROJECT ADDRESS:

444 BEDFORD RD  
PLEASANTVILLE  
NY 10570

NYS EDUCATION LAW

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF ARQ ARCHITECTURE P.C. WHETHER THE PROJECT FOR WHICH IT IS MADE IS EXECUTED OR NOT. THIS DRAWING SHALL NOT BE USED BY THE OTHERS OR OTHERS ON THE OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS EXCEPT BY AGREEMENT IN WRITING WITH ARQ ARCHITECTURE P.C. SUBMISSION OR DISTRIBUTION TO MEET OFFICIAL, REGULATORY REQUIREMENTS OR FOR OTHER PURPOSES IN CONNECTION WITH THE PROJECT IS NOT TO BE CONSTRUCTED AS PUBLICATION IN DEROGATION OF THE RIGHTS OF ARQ ARCHITECTURE P.C. REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THIS DRAWING BELONGS TO ARQ ARCHITECTURE P.C. WITHOUT PREJUDICE TO MODIFICATIONS TO THIS DRAWING IN ACCORDANCE WITH THE NYS EDUCATION LAW.

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING LICENSED PROFESSIONAL SHALL AFFIX TO THEIR ITEM THEIR SEAL AND THE NOTATION "ALTERED BY FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

SEAL & SIGNATURE



DATE:

3/12/2021

PROJECT NO.:

21-037

DRAWING BY:

ARQ

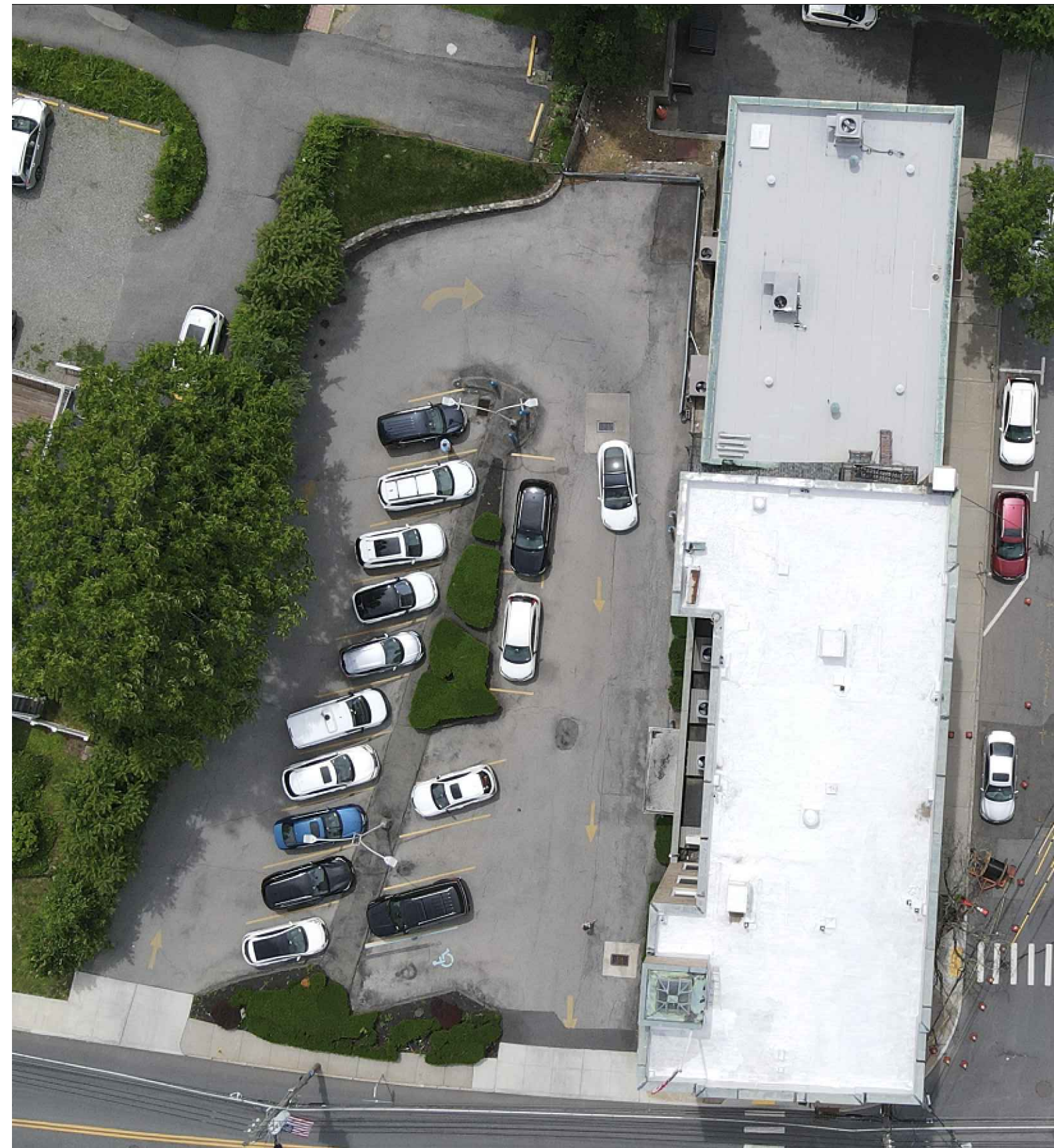
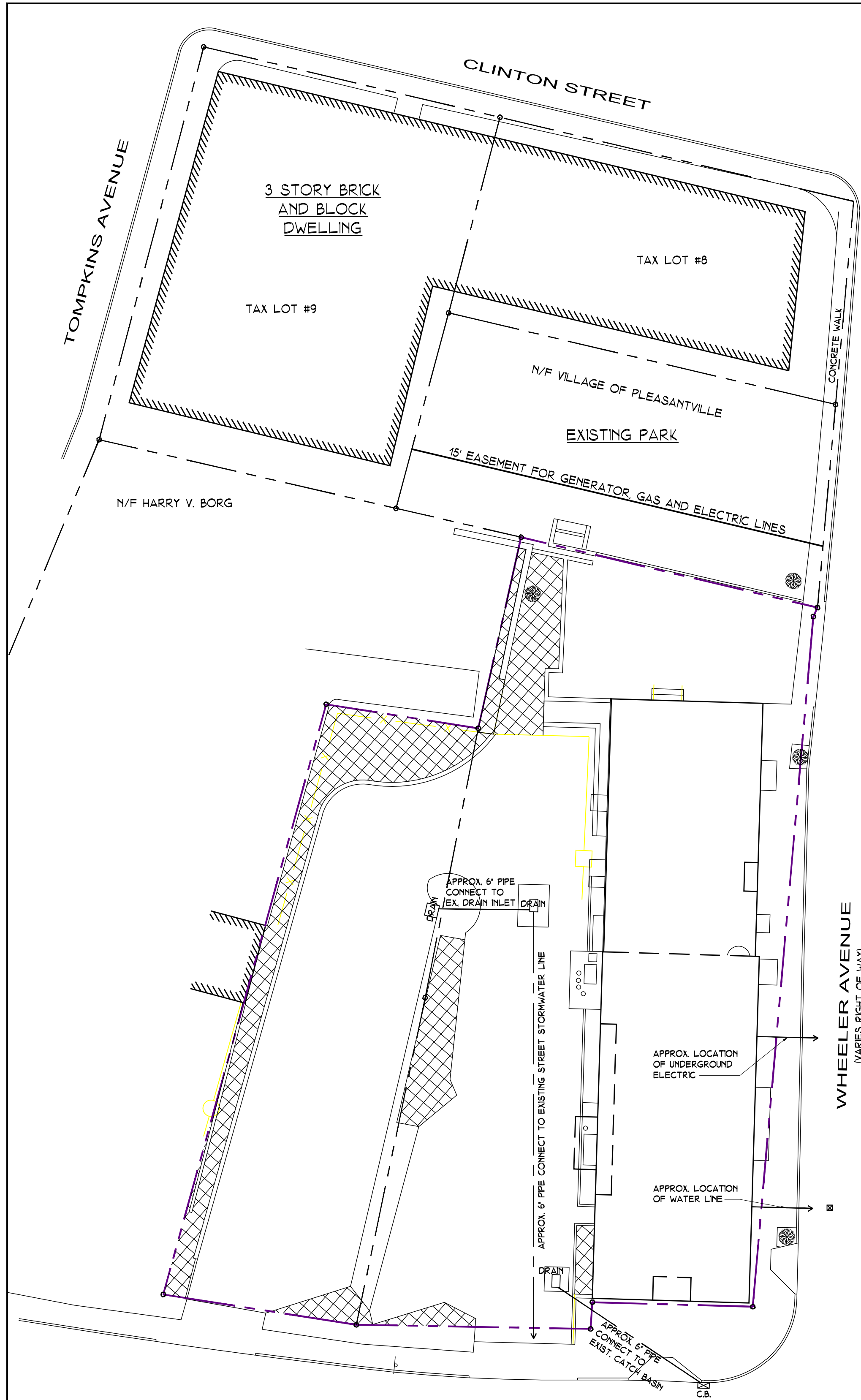
CHECKED BY:

JBH

DWG. NO.:

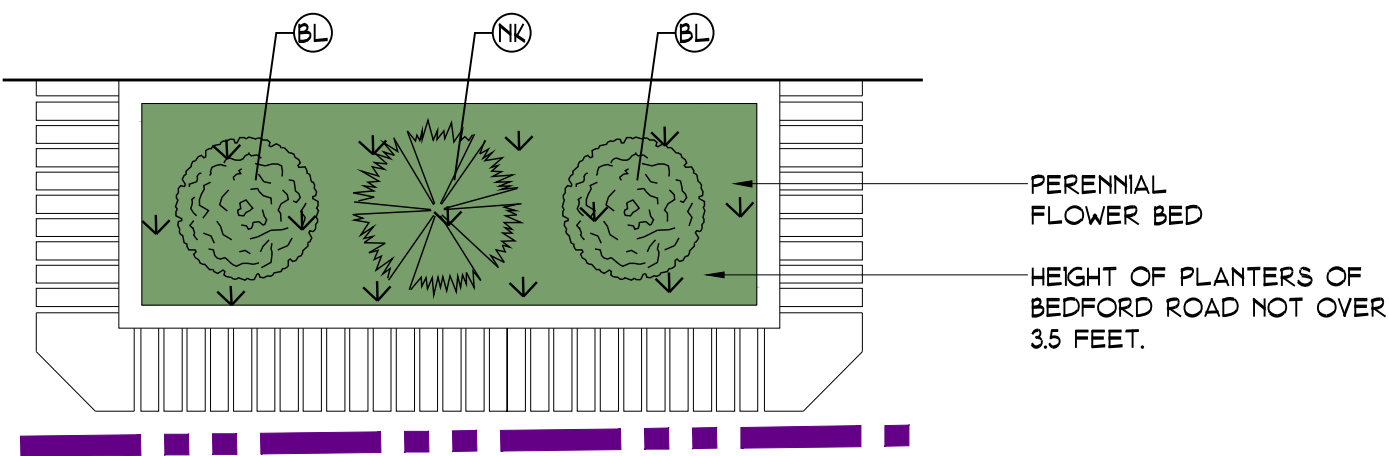
S-109



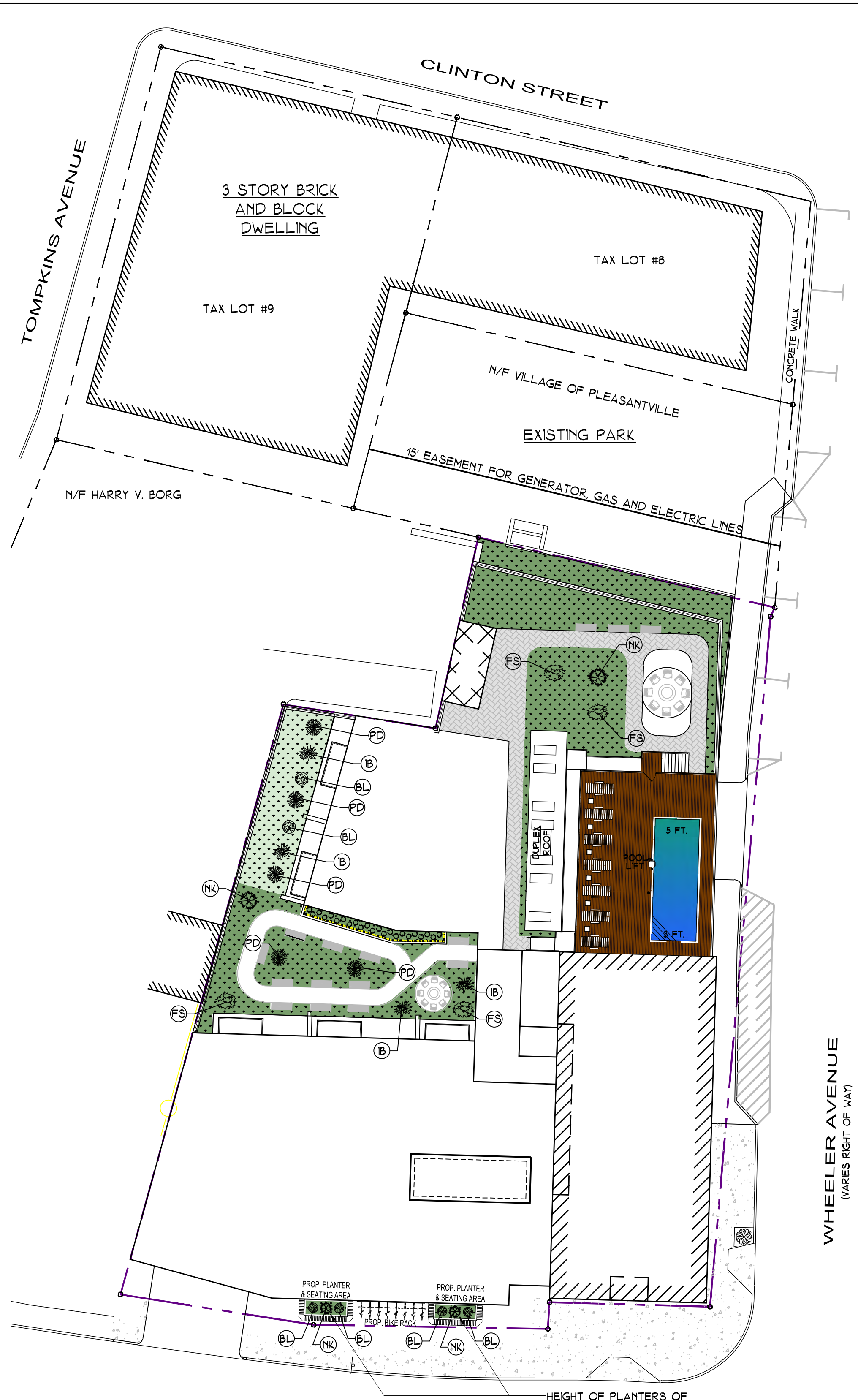


STORMWATER SITE MANAGEMENT TABULATION LEGEND			
	EXISTING PERVIOUS AREA	=	2,510 SQ.FT.
	PROPOSED PERVIOUS AREA	=	1,822 SQ.FT.
	PROPOSED PERVIOUS AREA GREEN ROOF DESIGN	=	500 SQ.FT.
NOTE: 1. PROVIDE 500 S.F. OF EXTENSIVE GREEN ROOF PER NYS STORM WATER DESIGN MANUAL. 2. THE INTENSIVE GREEN ROOF PROPOSED OVER THE PARKING AREA WILL REPLICATE AND/OR IMPROVE THE CURRENT RUNOFF VALUE AT THE SITE			

PROPOSED PLANTING LEGEND					
SYM.	KEY	COMMON NAME	SCIENTIFIC NAME	SIZE	QUANTITY
	PD	NORTHERN PRAIRIE DROPSEED	SPOROBOLUS HETEROLEPIS x	2' HGT	5
	BL	BROAD-LEAVED SEDGE	CAREX PLATYPHYLLA x	1' HGT	6
	NK	NINEBARK	PHYSOCARPUS OPULIFOLIUS x	2' HGT	4
	FS	FRAGRANT SUMAC	RHUS AROMATICA x	4' HGT	4
	IB	INKBERRY	ILEX GLABRA x	3' HGT	4
* RECOMMENDED WESTCHESTER COUNTY NATIVE PLANTS BY NEW YORK FLORA ATLAS					



ENLARGED PROPOSED PLANTING & SEATING AREA NT.S.



PROPOSED PERVIOUS AREA AND LANDSCAPING PLAN 1" = 20'-0"



100 EXECUTIVE BLVD. SUITE 204  
OSSINING, NY 10562  
arqpc.com  
PHONE: (914) 944-3377  
FAX: (866) 567-5240

JORGE B. HERNANDEZ R.A. A.I.A.  
LICENSE NUMBER: 030424-1  
CERTIFICATE NUMBER: 2323801

REVISIONS	DATE	BY
RESUBMITTAL	9/14/2023	ARQ
RESUBMITTAL	4/26/2024	ARQ
RESUBMITTAL	9/30/2024	ARQ
P.B. COMMENTS	09/11/2024	ARQ
WHEELER LOADING	09/26/2024	ARQ
REV. DRAWINGS	10/9/2024	ARQ
REV. DRAWINGS	2/26/2025	ARQ
REV. DRAWINGS	4/9/2025	ARQ
PUBLIC HEARING	4/30/2025	ARQ

DRAWING TITLE:  
EXIST. & PROPOSED PERVIOUS  
AREA AND LANDSCAPING  
PLANS

PROJECT:  
THE LANDMARK AT 444

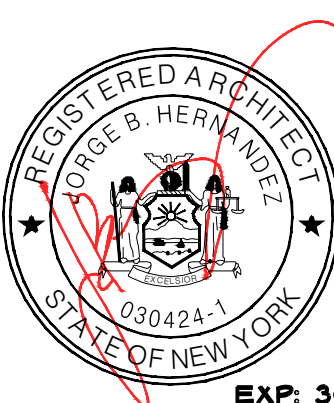
PROJECT ADDRESS:  
444 BEDFORD RD  
PLEASANTVILLE  
NY 10570

NYS EDUCATION LAW

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF ARQ ARCHITECTURE P.C. WHETHER THE PROJECT FOR WHICH IT IS MADE IS EXECUTED OR NOT. THIS DRAWING SHALL NOT BE USED BY THE OTHERS OR OTHERS ON THE OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS EXCEPT BY AGREEMENT IN WRITING WITH ARQ ARCHITECTURE P.C. SUBMISSION OR DISTRIBUTION TO MEET OFFICIAL REGULATORY REQUIREMENTS OR FOR OTHER PURPOSES IN CONNECTION WITH THE PROJECT IS NOT TO BE CONSTRUCTED AS PUBLICATION IN DEROGATION OF THE RIGHTS OF ARQ ARCHITECTURE P.C. REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THIS DRAWING BELONGS TO ARQ ARCHITECTURE P.C. WITHOUT PREJUDICE. NO MODIFICATIONS TO THIS DRAWING IN ACCORDANCE WITH THE NYS EDUCATION LAW.

IT IS A VIOLATION OF THE LAW FOR ANY PERSON UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF A LICENSED PROFESSIONAL IS ALTERED THE ALTERING LICENSED PROFESSIONAL SHALL AFFIX TO THEIR ITEM THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

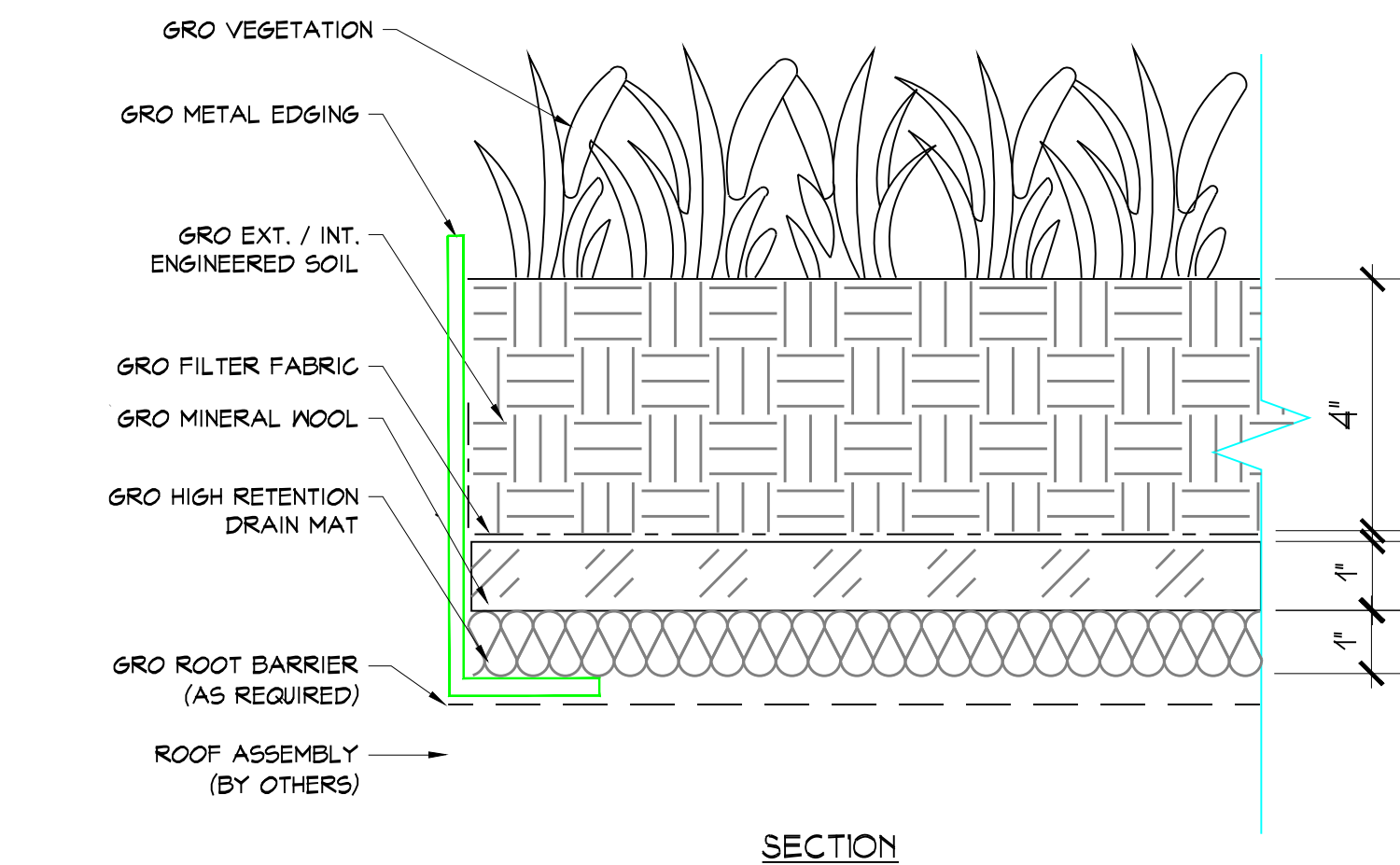
SEAL & SIGNATURE



DATE: 3/12/2021	DWG. NO.:
PROJECT NO.:	
21-037	
DRAWING BY:	
ARQ	
CHECKED BY:	
JBH	

S-110

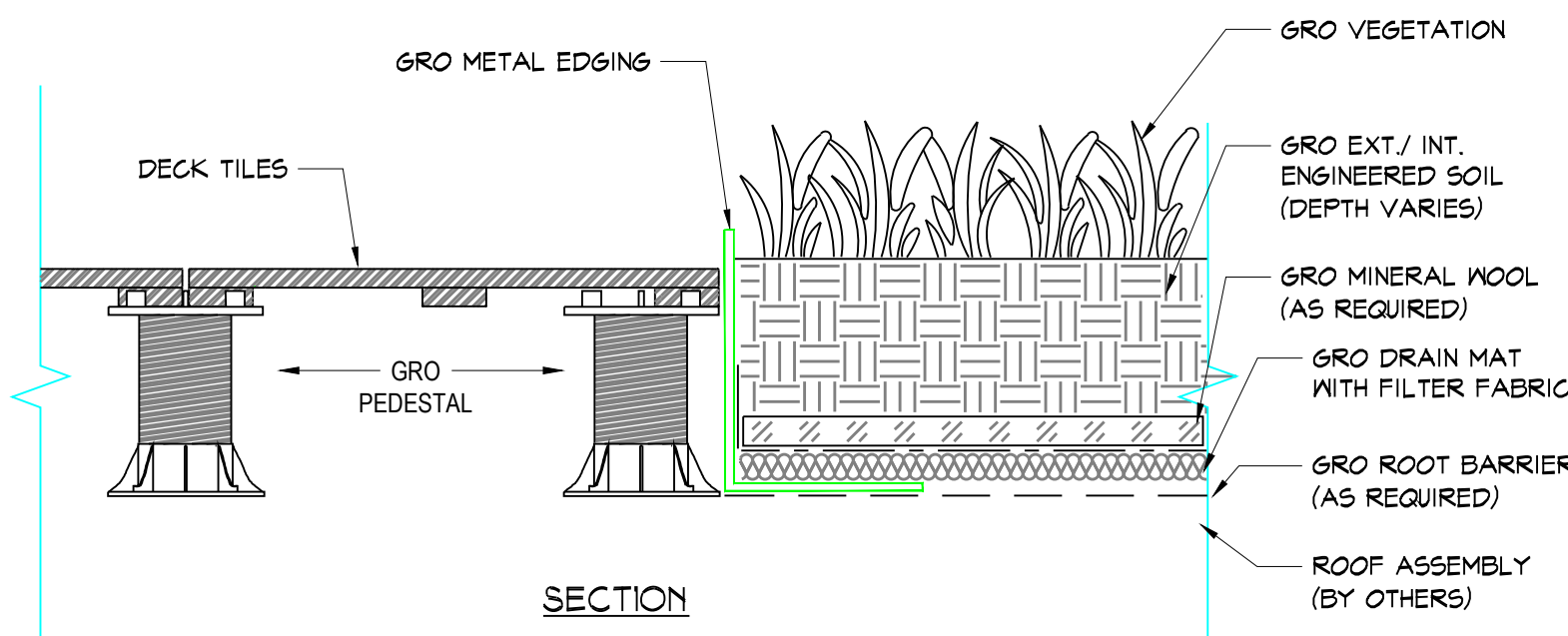




- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
  2. DO NOT SCALE DRAWING.
  3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
  4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
  5. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT [WWW.GREENRISETECH.COM](http://WWW.GREENRISETECH.COM).

### DETAIL GRO WATERHOG XL LAYERED GREEN ROOF SYSTEM

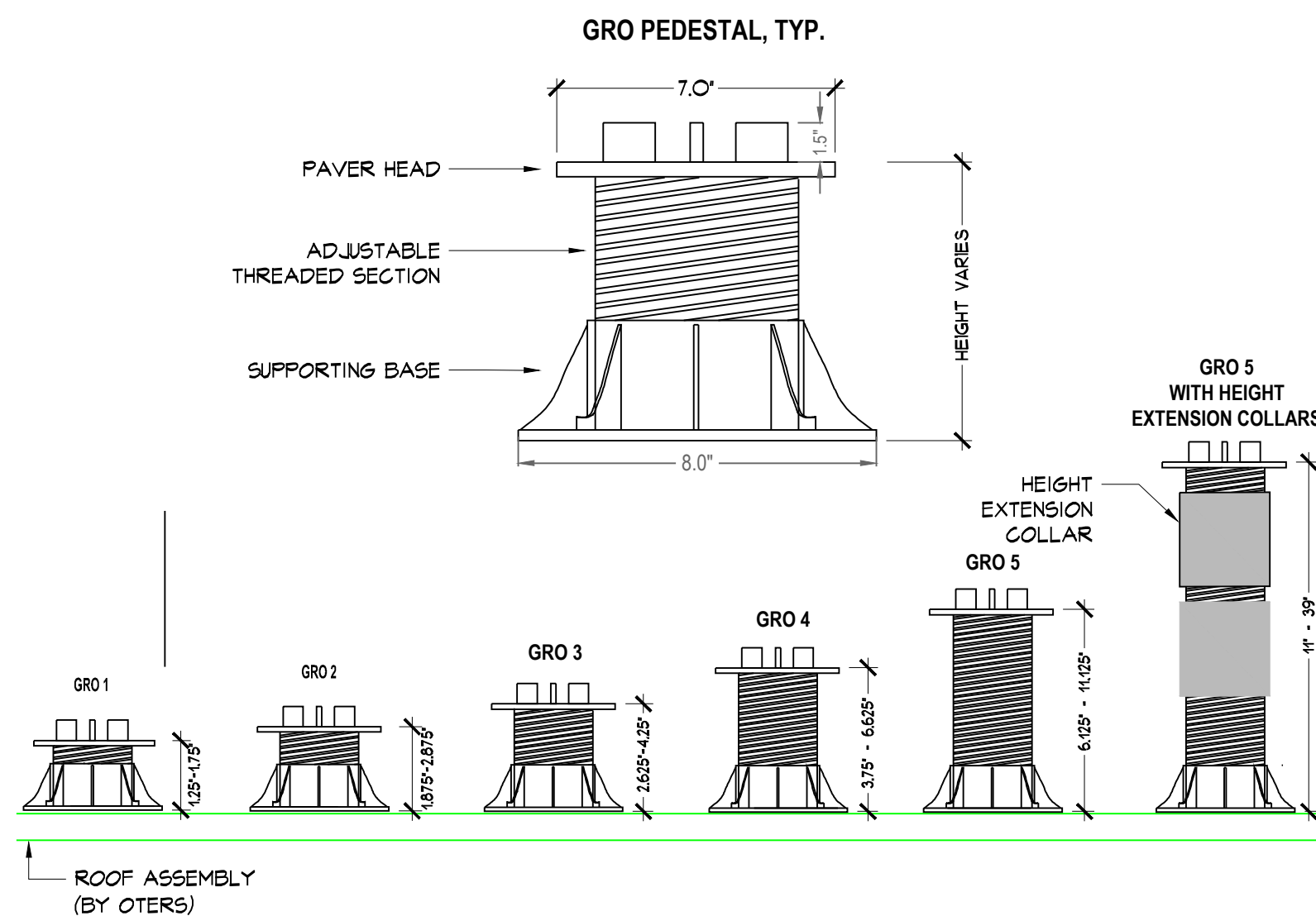
GREEN RISE COPYRIGHT



- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
  2. DO NOT SCALE DRAWING.
  3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
  4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
  5. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT [WWW.GREENRISETECH.COM](http://WWW.GREENRISETECH.COM).

### GRO LAYERED GREEN ROOF SYSTEM DETAIL ADJACENT TO GRO DECK TILES WITH GRO PEDESTALS

GREEN RISE COPYRIGHT



- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
  2. DO NOT SCALE DRAWING.
  3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.
  4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
  5. CONTRACTOR'S NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT [WWW.GREENRISETECH.COM](http://WWW.GREENRISETECH.COM).

### DETAIL GRO FIXED HEAD PEDESTALS

GREEN RISE COPYRIGHT



#### GRT WATERHOG XL LAYERED SYSTEM SPECIFICATIONS

##### GRT WATERHOG XL LAYERED SYSTEM

The GRT WaterHog XL Layered System is a premium, high-performance system for stormwater management. This system is the standard WaterHog system with an additional 1" layer of premium rock wool, which increases the retention capacity to over 50% above the Classic system!

DEPTH	6"
SOIL	4"
MINERAL WOOL	1"
DRAIN MAT	1"
SATURATED WEIGHT	42 psf
WATER RETENTION	2.4 gal/sf
IRRIGATION	Site Specific

\*soil depths can be customized



[www.greenrisetech.com](http://www.greenrisetech.com)

[info@greenrisetech.com](mailto:info@greenrisetech.com)



#### GRT PORCELAIN PAVERS SPECIFICATIONS

##### GRT PORCELAIN PAVERS

GRT Porcelain Pavers can be used to create patio, terrace, and gathering spaces or to add walking paths to rooftop areas. Made for outdoor use, these pavers are slip, chemical, and fade resistant, and a no-maintenance product. When installed on GRT Pedestals, they offer a practical way to hide and protect roof penetrations, pipes, and uneven surfaces. GRT Porcelain Pavers are available in a variety of aesthetic colors, textures, and sizes, and are a MADE IN THE USA product.



MATERIAL	Porcelain
DIMENSIONS	24" x 24" x 3/4" (nominal); 23 1/2" x 23 1/2" x 3/4" (actual) *Other sizes, including mixed, available per request
WEIGHT	25 lbs.
COLORS	Various colors and styles available
FREEZE / THAW	Resistant (ASTM C1026)
WATER ABSORPTION	≤ 0.5% (ASTM C)
BREAKING STRENGTH	≥ 250 lbf (ASTM C648)
CHEMICAL RESISTANCE	Unaffected (ASTM C650)
ACCOMPANYING GRT PRODUCTS	GRT PEDESTALS



[www.greenrisetech.com](http://www.greenrisetech.com)

[info@greenrisetech.com](mailto:info@greenrisetech.com)



#### GRT 2" STORMWATER DETENTION MODULES SPECIFICATIONS

##### GRT 2" STORMWATER DETENTION MODULES

GRT 2" Stormwater Detention Modules are a lightweight, effective stormwater storage solution to maximize retention and/or detention. Each detention module is 2" thick, can be stacked up to 10' high, and easily configured for efficient use of space. Designed as an open shell, these modules encourage infiltration with 90% internal and surface void area available for high capacity stormwater capture. They are lightweight, making them quick to install, but also strong enough to accommodate heavy loads with a minimum of 6" of cover. Typically installed with GRT Filter Fabric and GRT Root Barrier.



MATERIAL	100% Recycled Polypropylene
MODULE DIMENSIONS & WEIGHT	20" x 24" x 2" (nominal); 4 lbs. 19.68" x 23.62" x 1.97" (actual); 4 lbs.
AREA VOLUME & WATER CAPACITY	0.53 cf & 0.48 cf
MODULE STACKING	Maximum 10' = 60 layers
VOID AREA	90% volume available for water storage
SURFACE AREA VOID	90% of exterior available for infiltration
COMPRESSIVE STRENGTH	240.2 psi (ASTM D 2412 / ASTM F2318)
UNIT WEIGHT	7.55 lbs/cf FS-3 (ASTM 2322)
SERVICE TEMPERATURE	-14°F to 167°F safe temperature range for use
MIN. & MAX. COVER DEPTH	6" to 16.7"

[www.greenrisetech.com](http://www.greenrisetech.com)

[info@greenrisetech.com](mailto:info@greenrisetech.com)



#### GRT FIXED HEAD PEDESTALS SPECIFICATIONS

##### GRT FIXED HEAD PEDESTALS

GRT Pedestals work perfectly with all deck pavers; including wood, porcelain, and concrete. They provide rigid support for pavers and can hold thousands of pounds each. The pedestals help conceal roof extrusions, like anchor points and pipes. GRT Pedestals allow our fastening kit to secure wood and porcelain pavers down to mitigate movement and wind uplift.

MATERIAL	Polypropylene and rubber (head top)
HEIGHT	1" - 39"
BASE DIAMETER & THICKNESS	8" x 1/16"
HEAD DIAMETER	7"
BASE CONTACT SURFACE AREA	49 in²
TAB HEIGHT & THICKNESS	1/2" x 5/32"
COMPRESSION STRENGTH	> 3,000 PSF
FIRE RATING	Class E (UNI EN 13501-1: 2009)
CHARACTERISTICS	Adjustable height Security lock to prevent unlocking Recyclable material
ACCOMPANYING GRT PRODUCTS	GRT Deck Tiles GRT Structural Grate GRT Concrete & 3 Pavers GRT Fastening Kits



**Deck Paver Head:** Heavy duty fixed head; Designed specifically to hold and align all deck pavers and tiles.

**Adjustable Threaded Section:** Allows you to adjust the height in minute increments, within the given range.

**Height Extension Collar:** A simple design with a single 'click' motion to attach these extension collars build up the pedestals to a maximum height of 39".

**Wide Supporting Base:** Pedestals are loosely laid and do not require fixing to the floor. Large diameter spreads loads and ensures stability.

[www.greenrisetech.com](http://www.greenrisetech.com)

[info@greenrisetech.com](mailto:info@greenrisetech.com)



100 EXECUTIVE BLVD. SUITE 204  
OSSINING, NY 10562  
[arqpc.com](http://arqpc.com)  
PHONE: (914) 944-3377  
FAX: (866) 567-5240

**JORGE B. HERNANDEZ R.A. A.I.A.**  
LICENSE NUMBER: 030424-1  
CERTIFICATE NUMBER: 2323801

REVISIONS	DATE	BY
RESUBMITTAL	9/14/2023	ARQ
RESUBMITTAL	4/26/2024	ARQ
RESUBMITTAL	6/30/2024	ARQ
P.B. COMMENTS	09/11/2024	ARQ
WHEELER LOADING	09/26/2024	ARQ
REV. DRAWINGS	10/9/2024	ARQ
REV. DRAWINGS	2/26/2025	ARQ
REV. DRAWINGS	4/9/2025	ARQ
PUBLIC HEARING	4/30/2025	ARQ

#### DRAWING TITLE:

GREEN ROOF DETAILS &  
SPECIFICATION SHEETS

#### PROJECT:

THE LANDMARK AT 444

#### PROJECT ADDRESS:

444 BEDFORD RD  
PLEASANTVILLE  
NY 10570

#### NYS EDUCATION LAW

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF ARQ ARCHITECTURE P.C. WHETHER THE PROJECT FOR WHICH IT IS MADE IS EXECUTED OR NOT. THIS DRAWING SHALL NOT BE USED BY THE OTHERS OR OTHERS ON THE OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS EXCEPT BY AGREEMENT IN WRITING WITH ARQ ARCHITECTURE P.C. SUBMISSION OR DISTRIBUTION TO MEET OFFICIAL, REGULATORY REQUIREMENTS OR FOR OTHER PURPOSES IN CONNECTION WITH THE PROJECT IS NOT TO BE CONSTRUCTED AS PUBLICATION IN DEROGATION OF THE RIGHTS OF ARQ ARCHITECTURE P.C. REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THIS DRAWING BELONGS TO ARQ ARCHITECTURE P.C. WITHOUT PREJUDICE. NO MODIFICATIONS TO THIS DRAWING IN ACCORDANCE WITH THE NYS EDUCATION LAW.

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING LICENSED PROFESSIONAL SHALL APPEAR TO THEIR ITEM THEIR SEAL AND THE NOTATION "ALTERED BY FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

#### SEAL & SIGNATURE



EXP. 3-31-2026

#### DATE:

3/12/2021

#### PROJECT NO.:

21-037

#### DRAWING BY:

ARQ

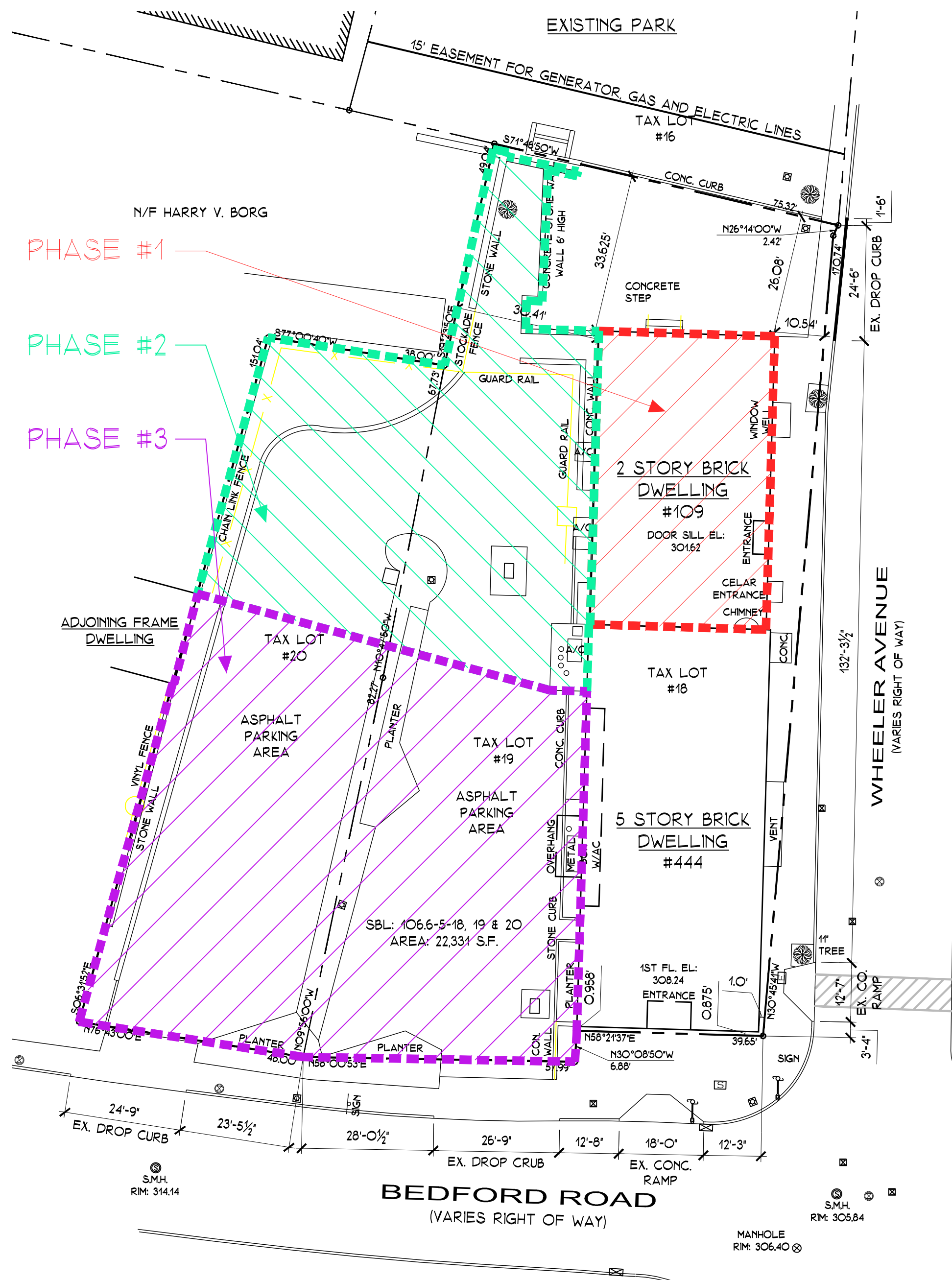
#### CHECKED BY:

JBH

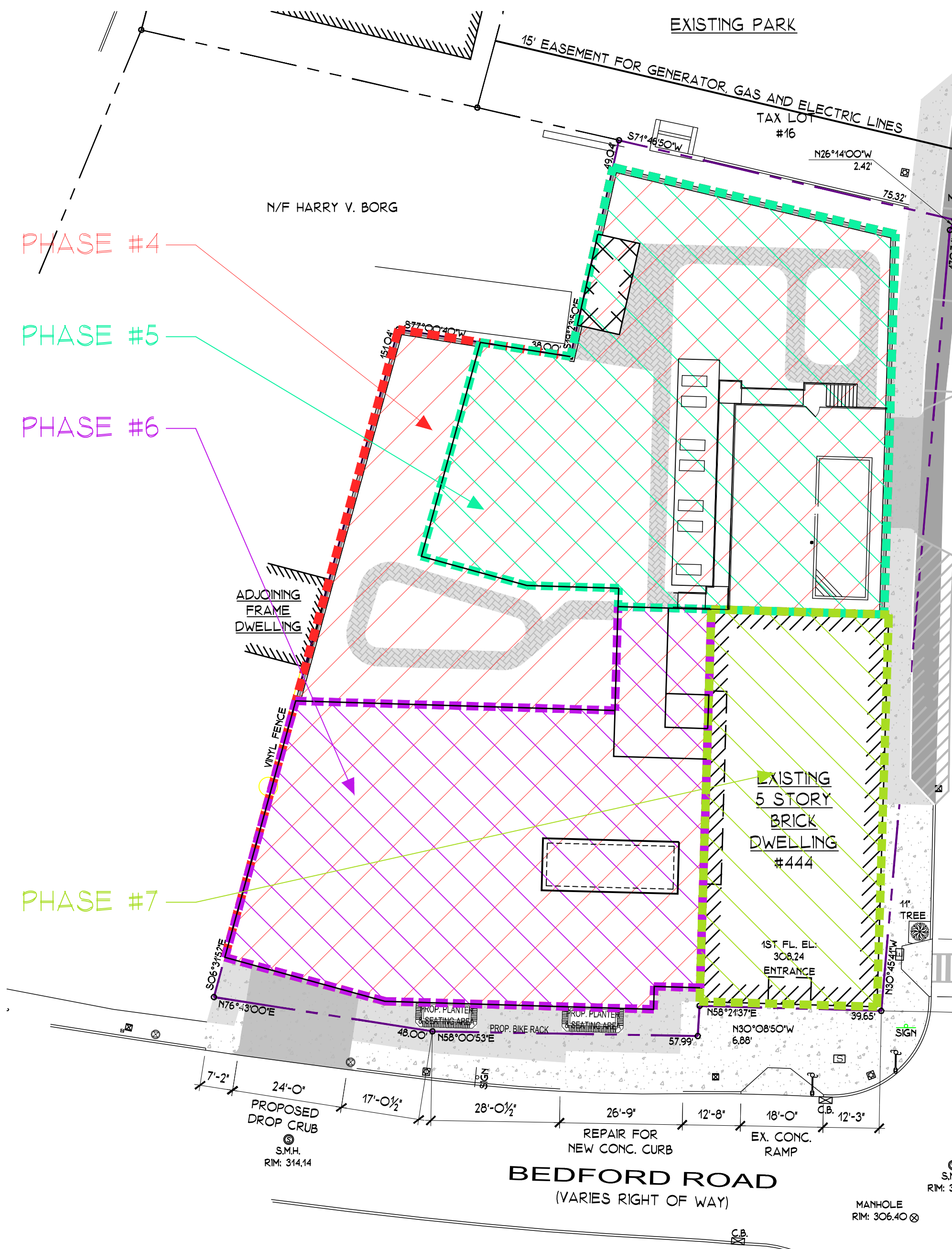
#### DWG. NO.:

S-111

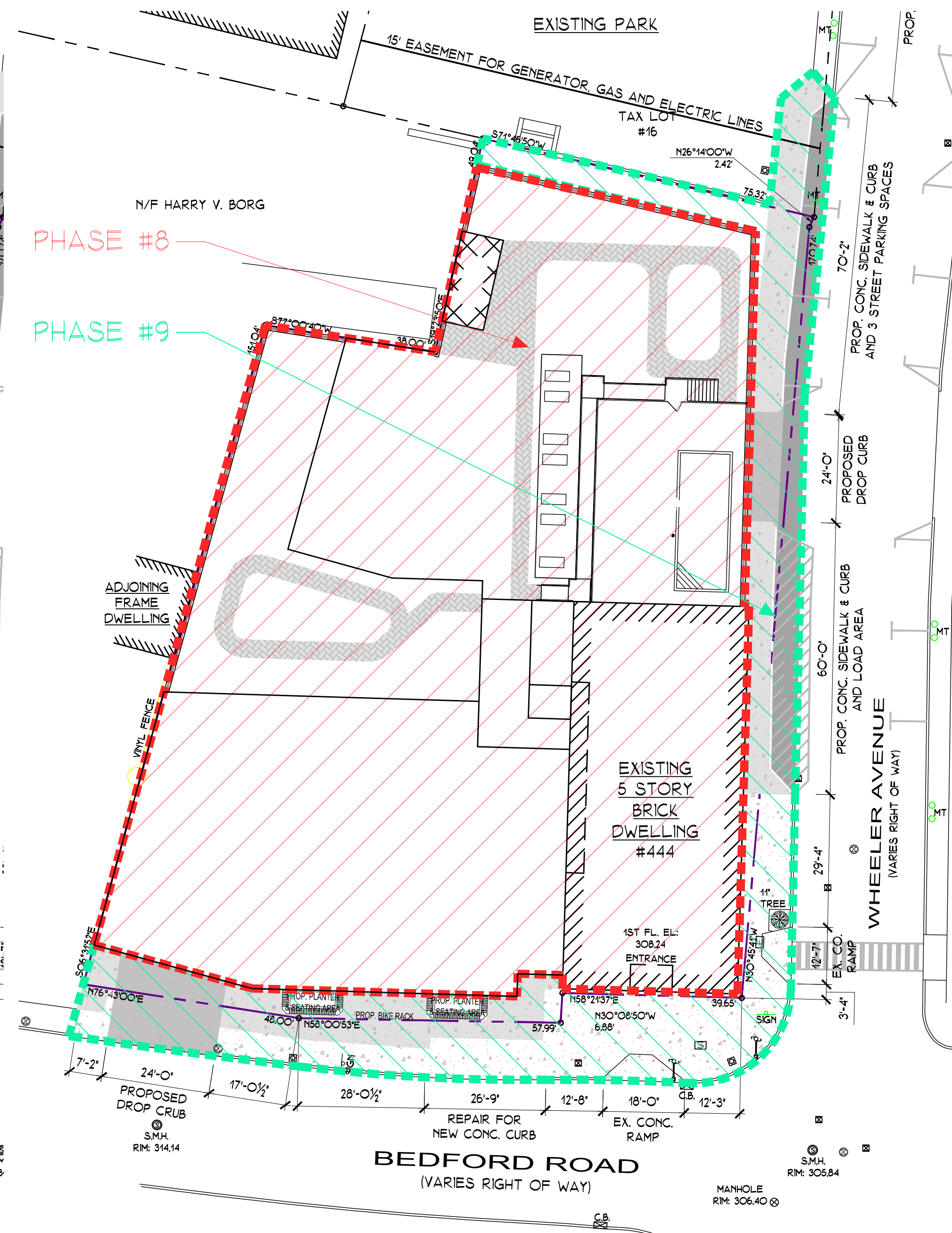




PHASE PLAN @ EXISTING CONDITIONS 1" = 20'-0"



PHASE PLAN @ PROPOSED CONDITIONS 1" = 20'-0"



PHASE PLAN @ PROPOSED CONDITIONS 1" = 20'-0"

CONSTRUCTION SEQUENCE - 444 BEDFORD ROAD		MONTHS																								
STAGE		1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	
PHASE	I DEMOLITION EXISTING BUILDING (#109) AND EXCAVATION																									
	II EXCAVATION AND ROCK REMOVAL																									
	III EXCAVATION AND ROCK REMOVAL																									
	IV PARKING AREA (WHEELER AND BEDFORD WING)																									
	V BUILDING (WHEELER WING)																									
	VI BUILDING (BEDFORD WING)																									
	VII RENOVATION AT EXISTING BUILDING (#444)																									
	VIII FINISHES																									
	IX RENOVATION AT STREET CURB, SIDEWALK AND SITE WORK																									

NOTE:  
ALL INFORMATION ON THIS DRAWING IS FOR  
ILLUSTRATION OF JOB SEQUENCE (PHASING ONLY)



100 EXECUTIVE BLVD. SUITE 204  
OSSING, NY 10562  
arqpc.com  
PHONE: (845) 944-3377  
FAX: (866) 567-5240

JORGE B. HERNANDEZ R.A. A.I.A.  
LICENSE NUMBER: 030424-1  
CERTIFICATE NUMBER: 2323801

REVISIONS	DATE	BY
RESUBMITTAL	9/14/2023	ARQ
RESUBMITTAL	4/26/2024	ARQ
RESUBMITTAL	9/30/2024	ARQ
P.B. COMMENTS	09/11/2024	ARQ
WHEELER LOADING	09/25/2024	ARQ
REV. DRAWINGS	10/9/2024	ARQ
REV. DRAWINGS	2/26/2025	ARQ
REV. DRAWINGS	4/9/2025	ARQ
PUBLIC HEARING	4/30/2025	ARQ

DRAWING TITLE:  
PHASE PLANS AND  
CONSTRUCTION SEQUENCE

PROJECT:  
THE LANDMARK AT 444

PROJECT ADDRESS:  
444 BEDFORD RD  
PLEASANTVILLE  
NY 10570

NYS EDUCATION LAW

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF ARQ ARCHITECTURE P.C. WHETHER THE PROJECT FOR WHICH IT IS MADE IS EXECUTED OR NOT. THIS DRAWING SHALL NOT BE USED BY THE OTHERS OR OTHERS ON THE OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS EXCEPT BY AGREEMENT IN WRITING WITH ARQ ARCHITECTURE P.C. SUBMISSION OR DISTRIBUTION TO MEET OFFICIAL REGULATORY REQUIREMENTS OR FOR OTHER PURPOSES IN CONNECTION WITH THE PROJECT IS NOT TO BE CONSTRUCTED AS PUBLICATION IN DEROGATION OF THE RIGHTS OF ARQ ARCHITECTURE P.C. REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THIS DRAWING BELONGS TO ARQ ARCHITECTURE P.C. WITHOUT PREJUDICE. NO MODIFICATIONS TO THIS DRAWING IN ACCORDANCE WITH THE NYS EDUCATION LAW.

IT IS A VIOLATION OF THE LAW FOR ANY PERSON UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING LICENSED PROFESSIONAL SHALL AFFIX TO THEIR ITEM THEIR SEAL AND THE NOTATION "ALTERED BY FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

SEAL & SIGNATURE



DATE:  
3/12/2021  
PROJECT NO:  
21-037  
DRAWN BY:  
ARQ  
CHECKED BY:  
JBH

DWG. NO:

S-112





**JORGE B. HERNANDEZ R.A. A.I.A.**  
**LICENSE NUMBER: 030424-1**  
**CERTIFICATE NUMBER: 2323601**

REVISIONS	DATE	BY
RESUBMITTAL	9/14/2023	ARQ
RESUBMITTAL	4/26/2024	ARQ
RESUBMITTAL	8/30/2024	ARQ
P.B. COMMENTS	09/11/2024	ARQ
WHEELER LOADING	09/25/2024	ARQ
REV. DRAWINGS	10/9/2024	ARQ
REV. DRAWINGS	2/26/2025	ARQ
REV. DRAWINGS	4/9/2025	ARQ
PUBLIC HEARING	4/30/2025	ARQ

**DRAWING TITLE:**

KEY PLAN & 3D VIEWS TO  
EQUIPMENT SCREENING

PROJECT: \_\_\_\_\_

THE LANDMARK AT 444

PROJECT ADDRESS:

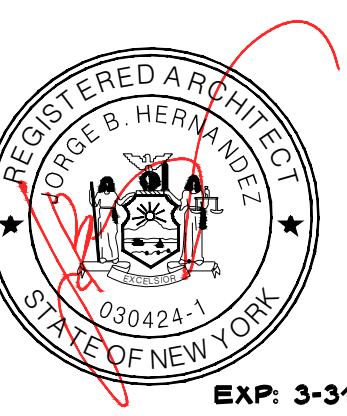
444 BEDFORD RD  
PLEASANTVILLE  
NY 10570

## NY'S EDUCATION LAW

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF ARQ ARCHITECTURE PC, WHETHER THE PROJECT FOR WHICH IT IS MADE IS EXECUTED OR NOT. THIS DRAWING SHALL NOT BE USED BY THE OTHERS OR OTHERS ON THE OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS EXCEPT BY AGREEMENT IN WRITING WITH ARQ ARCHITECTURE PC. SUBMISSION OR DISTRIBUTION TO MEET OFFICIAL REGULATORY REQUIREMENTS OR FOR OTHER PURPOSES IN CONNECTION WITH THE PROJECT IS NOT TO BE CONSIDERED AS PUBLICATION IN DEROGATION OF THE RIGHTS OF ARQ ARCHITECTURE PC. REPRODUCTION OR PUBLICATION BY ANY THIRD PARTY IN ANY FORM OR MANNER IS PROHIBITED. TITLE TO THIS DRAWING BELONGS TO ARQ ARCHITECTURE PC WITHOUT PREJUDICE. NO MODIFICATIONS TO THIS DRAWING IN ACCORDANCE WITH THE NYS EDUCATION LAW.

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING LICENSED PROFESSIONAL SHALL AFFIX TO THEIR ITEM THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

SEAL &amp; SIGNATURE \_\_\_\_\_



EXP: 3-31-2026

DATE: 3/12/2021	DWG. NO.:  S-113
PROJECT NO.: 21-037	
DRAWING BY: ARQ	
CHECKED BY: JBH	



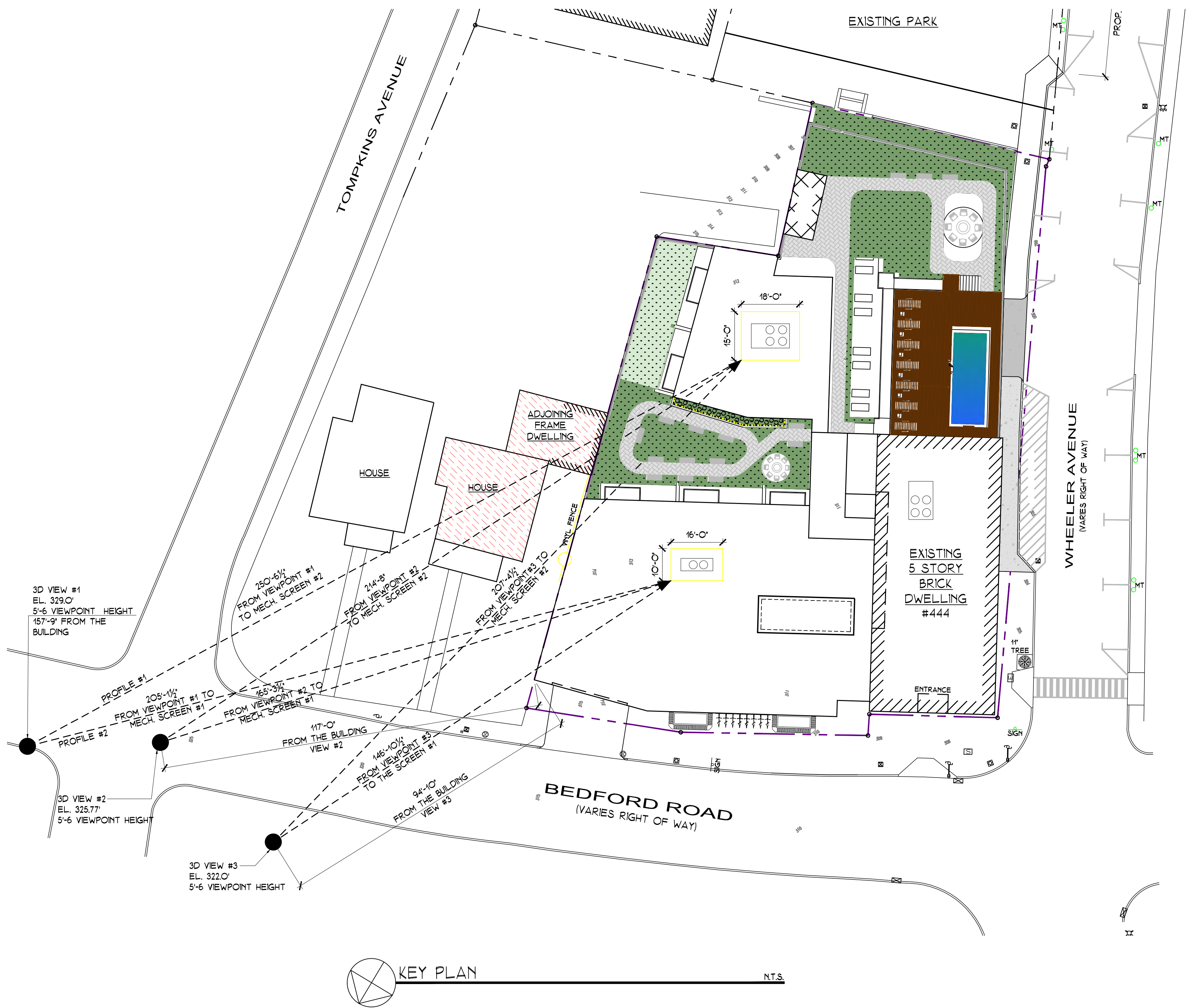
3D VIEW #1 N.T.S.



3D VIEW #2 N.T.S.



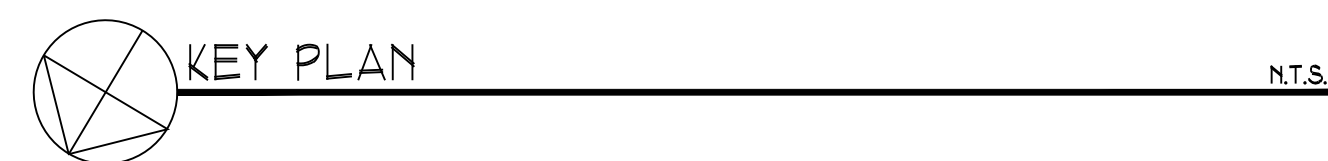
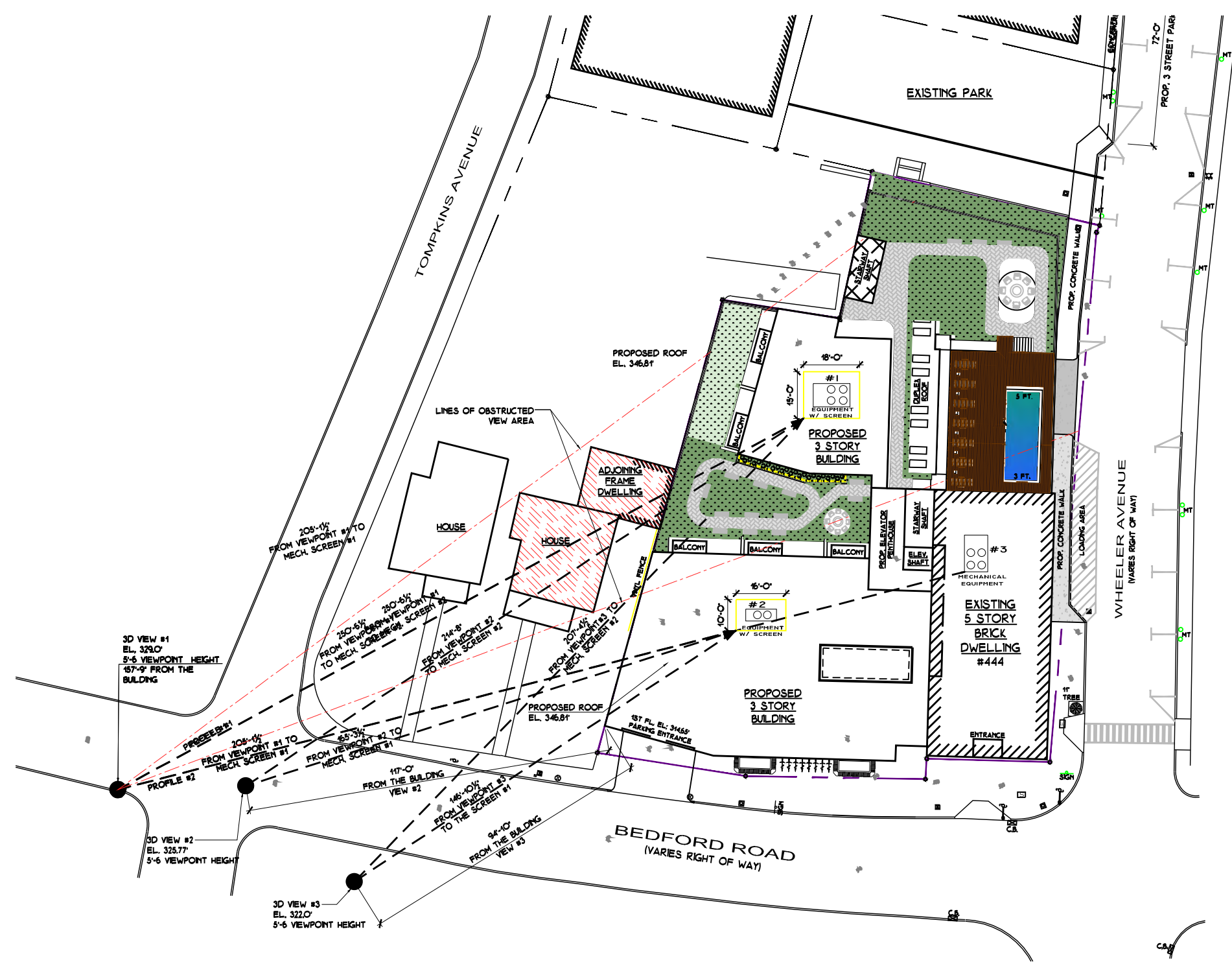
3D VIEW #3 N.T.S.



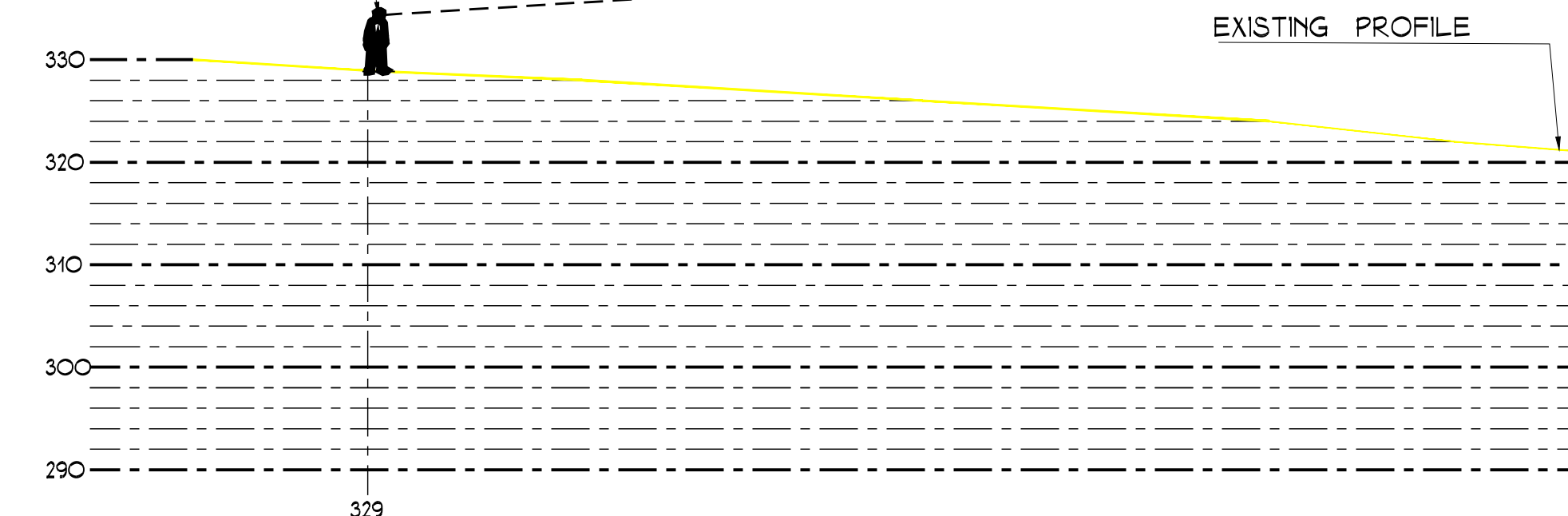
## KEY PLAN

N.T.S.





3D VIEW #1  
EL. 329.0'  
5'-6" VIEWPOINT HEIGHT



NOTE:  
NW VIEW SHAPE OF MECHANICAL EQUIPMENT FROM  
HIGHEST POINT AT BEDFORD ROAD

LINES REPRESENTING THE  
EYES VIEW PROJECTION

ADJACENT HOUSE  
OBSTRUCTING MECHANICAL  
SCREEN (#1) VIEW

PROPOSED ROOF  
EL. 346.12'  
PARAPET

1'-1" VISIBLE

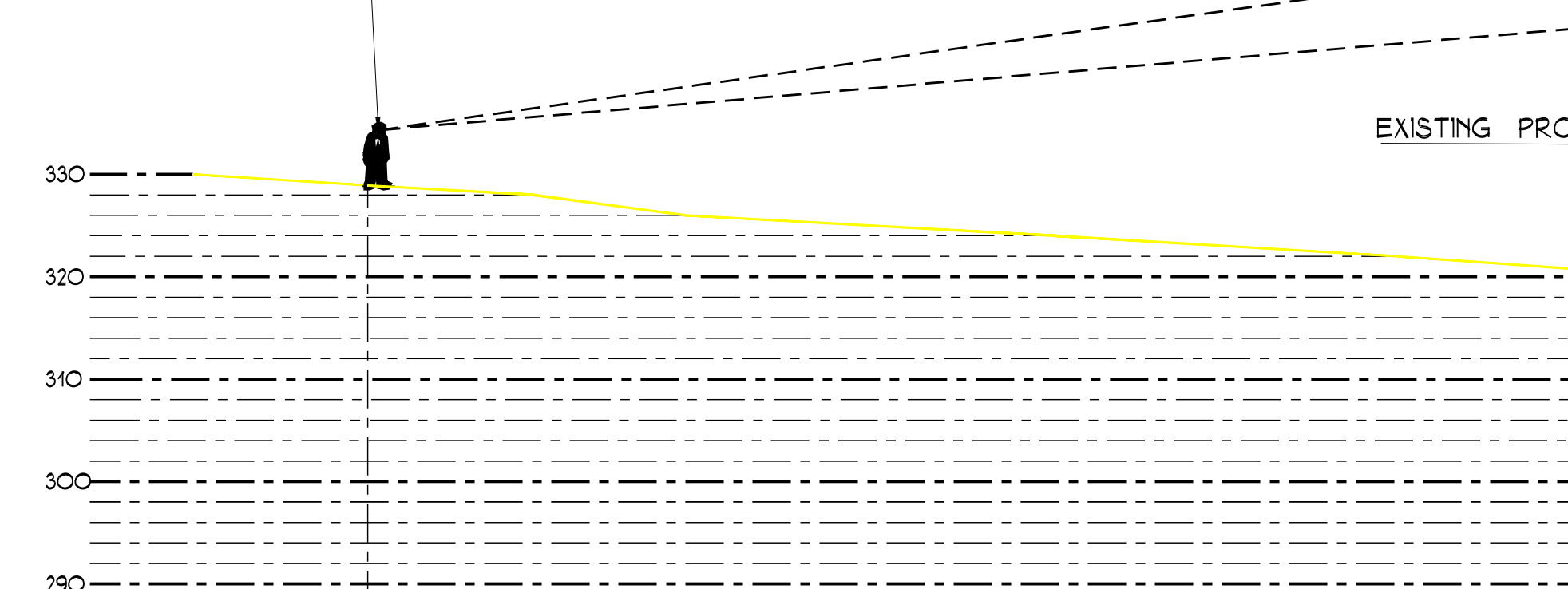
MECHANICAL  
SCREEN #1

5'-0" SCREEN HEIGHT

EXISTING & PROPOSED  
BUILDING

PROFILE #1  
NTS

3D VIEW #1  
EL. 329.0'  
5'-6" VIEWPOINT HEIGHT



NOTE:  
NW VIEW SHAPE OF MECHANICAL EQUIPMENT FROM  
HIGHEST POINT AT BEDFORD ROAD

LINES REPRESENTING THE  
EYES VIEW PROJECTION

PROPOSED ROOF  
EL. 342.86'  
PARAPET

1'-1" VISIBLE

MECHANICAL  
SCREEN #2

5'-0" SCREEN HEIGHT

EXISTING ROOF  
EL. 367.65'  
PARAPET

MACHANICAL  
UNIT

EXISTING & PROPOSED  
BUILDING

PROFILE #2  
NTS



SIMILAR VIEWPOINT  
GOOGLE STREET VIEW

NTS



100 EXECUTIVE BLVD. SUITE 204  
OSSINING, NY 10562  
arqpc.com  
PHONE: (914) 944-3377  
FAX: (866) 567-5240

JORGE B. HERNANDEZ R.A. A.I.A.  
LICENSE NUMBER: 030424-1  
CERTIFICATE NUMBER: 2323801

REVISIONS	DATE	BY
RESUBMITTAL	9/14/2023	ARQ
RESUBMITTAL	4/26/2024	ARQ
RESUBMITTAL	9/30/2024	ARQ
P.B. COMMENTS	09/11/2024	ARQ
WHEELER LOADING	09/26/2024	ARQ
REV. DRAWINGS	10/9/2024	ARQ
REV. DRAWINGS	2/26/2025	ARQ
REV. DRAWINGS	4/9/2025	ARQ
PUBLIC HEARING	4/30/2025	ARQ

DRAWING TITLE:

KEY PLAN & VIEW TO  
EQUIPMENT SCREENING

PROJECT:

THE LANDMARK AT 444

PROJECT ADDRESS:

444 BEDFORD RD  
PLEASANTVILLE  
NY 10570

NYS EDUCATION LAW

THIS DRAWING IS AN INSTRUMENT OF SERVICE AND SHALL REMAIN THE PROPERTY OF ARQ ARCHITECTURE P.C. WHETHER THE PROJECT FOR WHICH IT IS MADE IS EXECUTED OR NOT. THIS DRAWING SHALL NOT BE USED BY THE OTHERS OR OTHERS ON THE OTHER PROJECTS FOR ADDITIONS TO THIS PROJECT OR FOR COMPLETION OF THIS PROJECT BY OTHERS EXCEPT BY AGREEMENT IN WRITING WITH ARQ ARCHITECTURE P.C. SUBMISSION OR DISTRIBUTION TO MEET OFFICIAL REGULATORY REQUIREMENTS OR FOR OTHER PURPOSES IN CONNECTION WITH THE PROJECT IS NOT TO BE CONSTRUCTED AS PUBLICATION IN DEROGATION OF THE RIGHTS OF ARQ ARCHITECTURE P.C. REPRODUCTION OR PUBLICATION BY ANY METHOD IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THIS DRAWING BELONGS TO ARQ ARCHITECTURE P.C. WITHOUT PREJUDICE, NO MODIFICATIONS TO THIS DRAWING IN ACCORDANCE WITH THE NYS EDUCATION LAW.

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING LICENSED PROFESSIONAL SHALL AFFIX TO THEIR ITEM THEIR SEAL AND THE NOTATION "ALTERED BY FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

SEAL & SIGNATURE



DATE: 3/12/2021	DWG. NO.:
PROJECT NO.:	
21-037	
DRAWING BY:	
ARQ	
CHECKED BY:	
JBH	

S-114





14750 E Nelson Ave E unit b, City of Industry, CA 91744, United States



444 Bedford Rd.Plesantville

Prepared for: Mark Sheppard

Filename: 444 Bedford Rd.Plesantville -V5.AGI

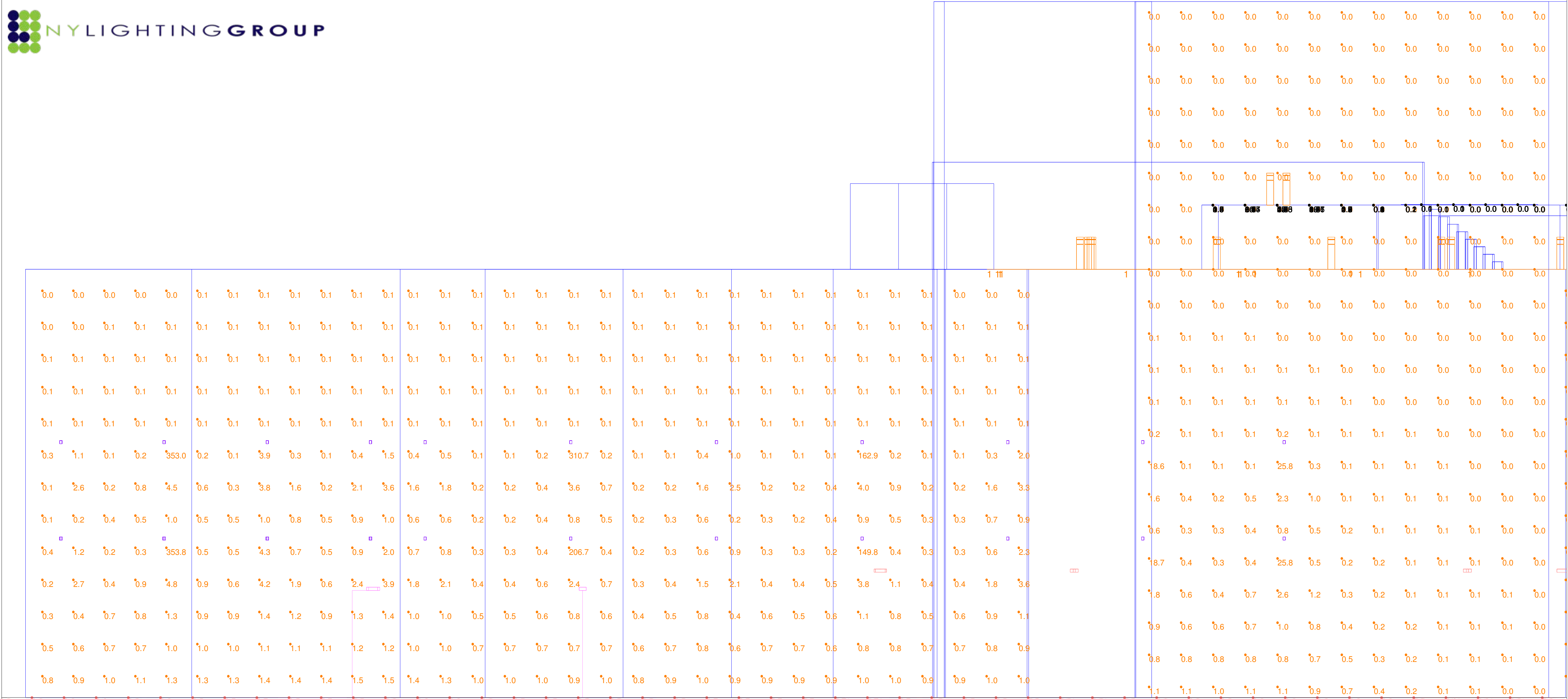
By: Damian Iwanczuk

Date:2025-06-20

AGi32® Version 20.11.12

DISCLAIMER: Calculations have been performed according to IESNA & CIE standards and goodpractice. Some differences between measured values and calculated results may occur due to tolerances in calculation methods, testing procedures, component performance, measurement techniques and field conditions such as voltage and temperature variations. Input data used to generate the attached calculations such as room dimensions, reflectances, furniture and architectural elements significantly affect the lighting calculations. If the real environment conditions do not match the input data, differences will occur between measured values and calculated values.





ELEVATION - BEDFORT

14750 E Nelson Ave E unit b, City of Industry, CA 91744, United States



444 Bedford Rd.Plesantville

Prepared for: Mark Sheppard

Filename: 444 Bedford Rd.Plesantville -V5.AGI


By: Damian Iwanczuk

Date:2025-06-20

AGi32® Version 20.11.12





DISCLAIMER: Calculations have been performed according to IESNA & CIE standards and goodpractice. Some differences between measured values and calculated results may occur due to tolerances in calculation methods, testing procedures, component performance, measurement techniques and field conditions such as voltage and temperature variations. Input data used to generate the attached calculations such as room dimensions, reflectances, furniture and architectural elements significantly affect the lighting calculations. If the real environment conditions do not match the input data, differences will occur between measured values and calculated values.




14750 E Nelson Ave E unit b, City of Industry, CA 91744, United States		444 Bedford Rd.Plesantville	Date:2025-06-20
		Prepared for: Mark Sheppard	AGi32® Version 20.11.12
DISCLAIMER: Calculations have been performed according to IESNA & CIE standards and goodpractice. Some differences between measured values and calculated results may occur due to tolerances in calculation methods, testing procedures, component performance, measurement techniques and field conditions such as voltage and temperature variations. Input data used to generate the attached calculations such as room dimensions, reflectances, furniture and architectural elements significantly affect the lighting calculations. If the real environment conditions do not match the input data, differences will occur between measured values and calculated values.		Filename: 444 Bedford Rd.Plesantville -V5.AGI	Page 3 of 12
		By: Damian Iwanczuk	





Luminaire Schedule										
Symbol	Qty	Label	Arrangement	Description	LLF	Luminaire Lumens	Luminaire Watts	Total Watts	Mounting Height	BUG Rating
	2	ALV-II	Single	ALV-4030T2-XXUNVD C/W 10' POLE	0.900	6880	40.3	80.6	10	B1-U0-G1
	11	BL2A	Single	BL2A-24SC 3000K (Position 3 -	0.900	1745	13.73	151.03	43, 48.984	B1-U0-G1
	5	WPA-28W	Single	WPA-G2-70 4000K (Position 4 - 28W)	0.900	4806	25.6	128	12	B2-U0-G1
	55	WS-S	Single	Wall Mount Cylinder Selectable - DIRECT	0.900	1042	9.5	522.5	10, 15, 18, 24	B1-U1-G0

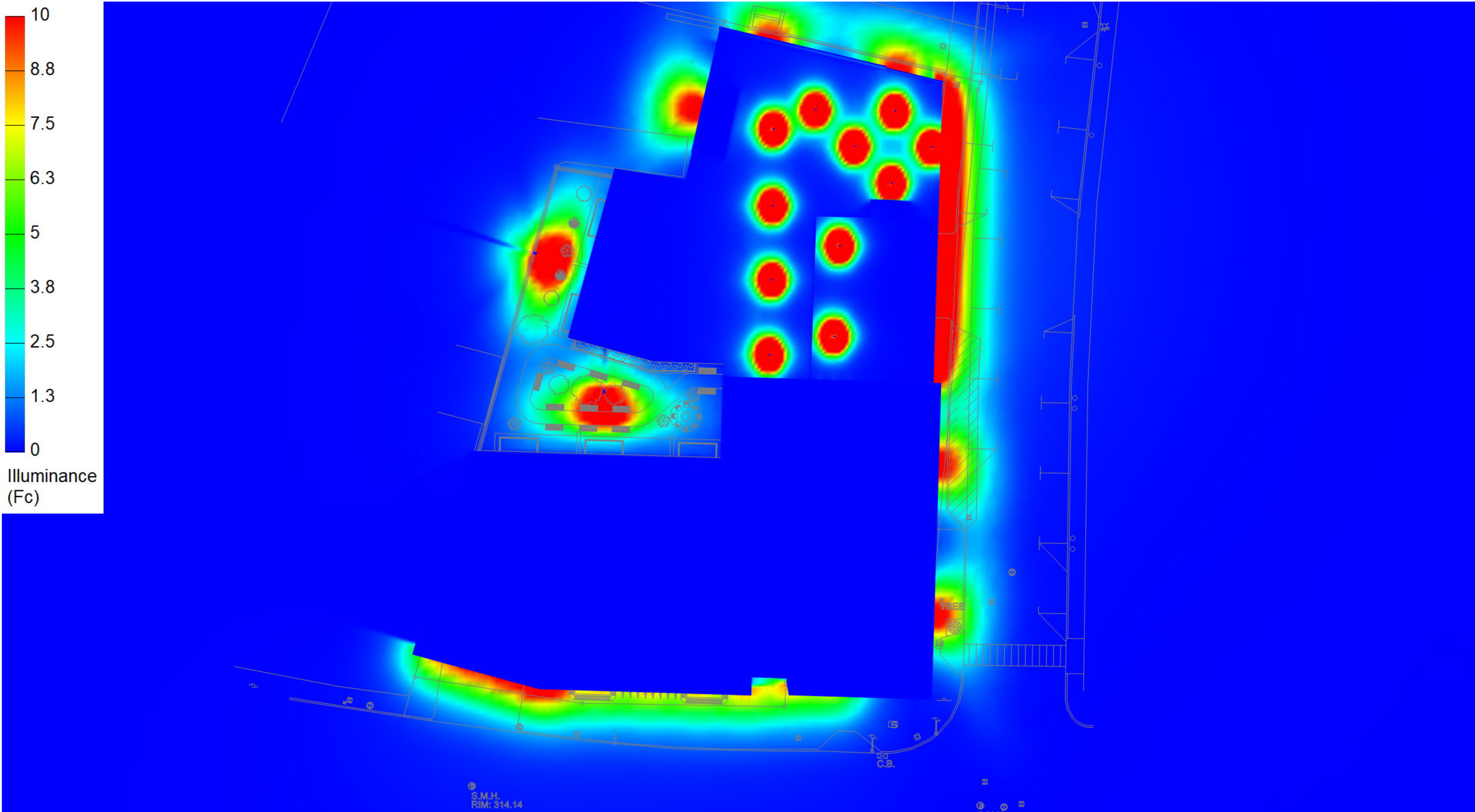
Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
COURTYARD	Illuminance	Fc	3.70	15.0	0.4	9.25	37.50
GARAGE ENTRANCE	Illuminance	Fc	5.35	10.8	0.9	5.94	12.00
PAVED PERIMETER	Illuminance	Fc	6.15	26.1	0.1	61.50	261.00
POOL DECK	Illuminance	Fc	2.57	24.3	0.0	N.A.	N.A.
POOL_Planar	Illuminance	Fc	0.03	0.1	0.0	N.A.	N.A.
ROOFTOP	Illuminance	Fc	4.78	25.2	0.0	N.A.	N.A.
SPILL	Illuminance	Fc	0.46	17.1	0.0	N.A.	N.A.
WALL (WHEELER AVE)	Illuminance	Fc	7.05	345.1	0.1	70.50	3451
WALL SEGMENT 1 (BEDFORT)	Illuminance	Fc	5.26	353.8	0.0	N.A.	N.A.
WALL SEGMENT 2 (BEDFORT)	Illuminance	Fc	3.70	310.7	0.0	N.A.	N.A.
WALL SEGMENT 3 (BEDFORT)	Illuminance	Fc	0.46	25.8	0.0	N.A.	N.A.
SECURITY PERIMETER	Illuminance	Fc	4.05	353.8	0.0	N.A.	N.A.

14750 E Nelson Ave E unit b, City of Industry, CA 91744, United States		444 Bedford Rd.Plesantville		Date:2025-06-20
		Prepared for: Mark Sheppard		AGi32® Version 20.11.12
DISCLAIMER: Calculations have been performed according to IESNA & CIE standards and goodpractice. Some differences between measured values and calculated results may occur due to tolerances in calculation methods, testing procedures, component performance, measurement techniques and field conditions such as voltage and temperature variations. Input data used to generate the attached calculations such as room dimensions, reflectances, furniture and architectural elements significantly affect the lighting calculations. If the real environment conditions do not match the input data, differences will occur between measured values and calculated values.	Filename: 444 Bedford Rd.Plesantville -V5.AGI		Page 4 of 12	
	By: Damian Iwanczuk			









14750 E Nelson Ave E unit b, City of Industry, CA 91744, United States



444 Bedford Rd.Plesantville

Prepared for: Mark Sheppard

Filename: 444 Bedford Rd.Plesantville -V5.AGI

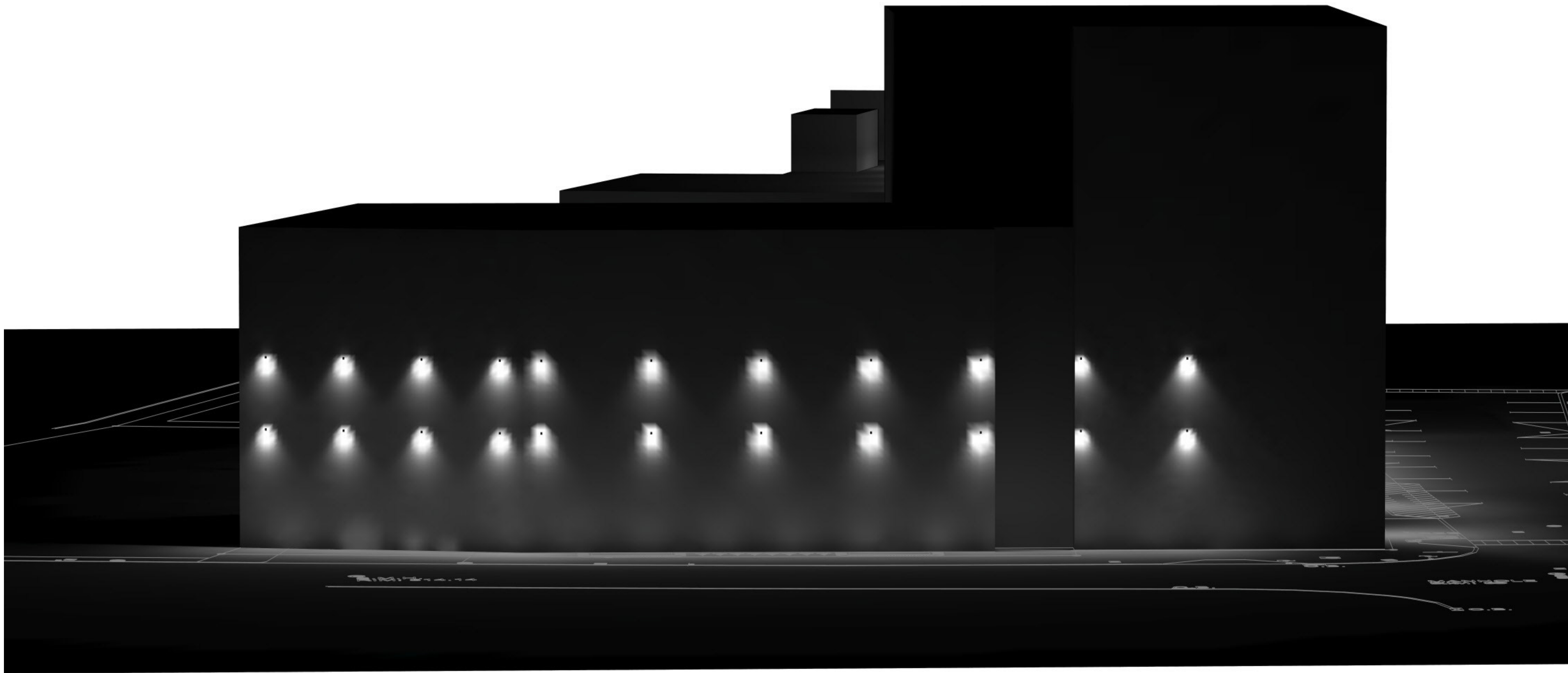
By: Damian Iwanczuk

Date:2025-06-20

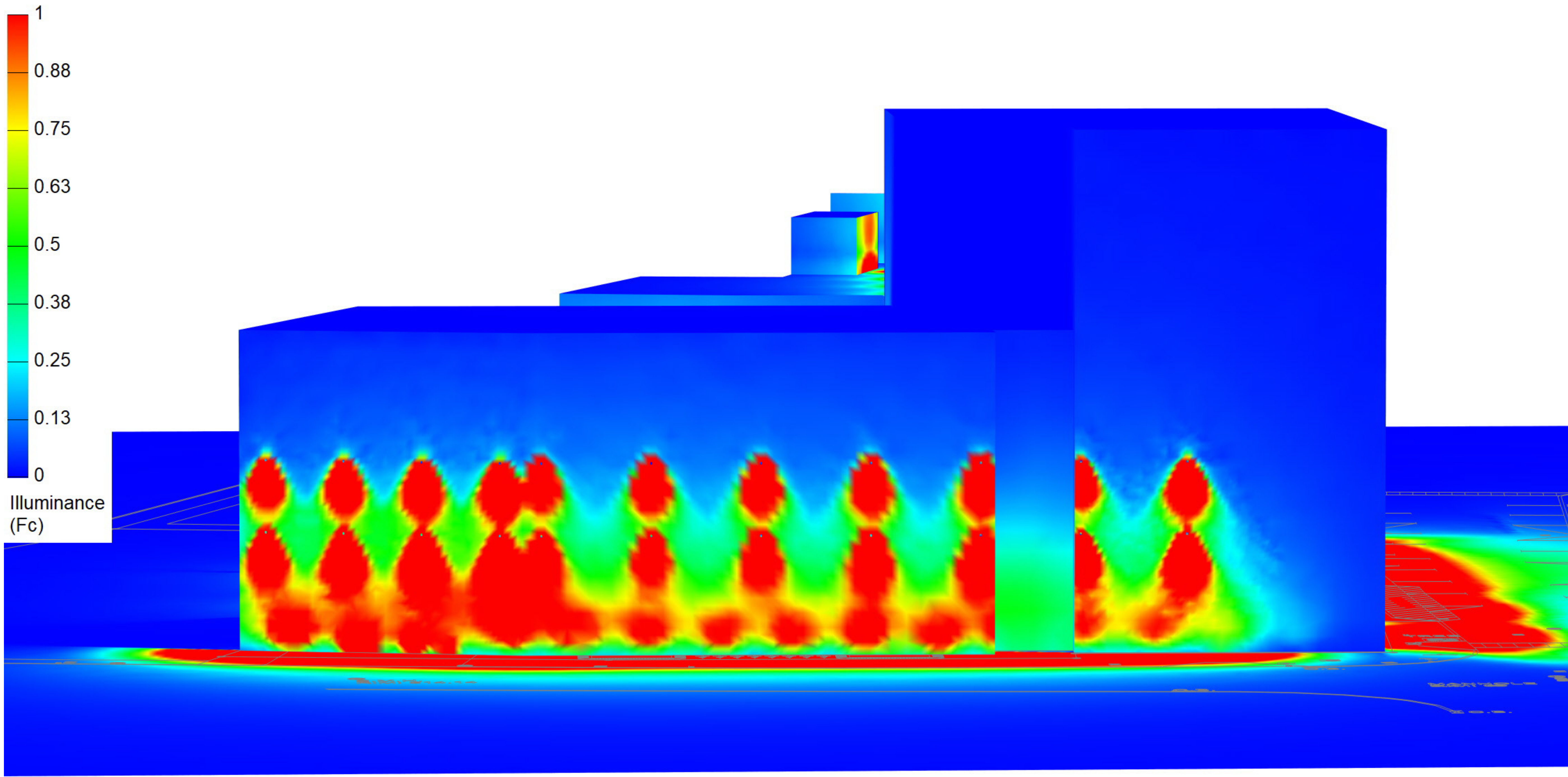
AGi32® Version 20.11.12

DISCLAIMER: Calculations have been performed according to IESNA & CIE standards and goodpractice. Some differences between measured values and calculated results may occur due to tolerances in calculation methods, testing procedures, component performance, measurement techniques and field conditions such as voltage and temperature variations. Input data used to generate the attached calculations such as room dimensions, reflectances, furniture and architectural elements significantly affect the lighting calculations. If the real environment conditions do not match the input data, differences will occur between measured values and calculated values.









14750 E Nelson Ave E unit b, City of Industry, CA 91744, United States



444 Bedford Rd.Plesantville

Prepared for: Mark Sheppard

Filename: 444 Bedford Rd.Plesantville -V5.AGI

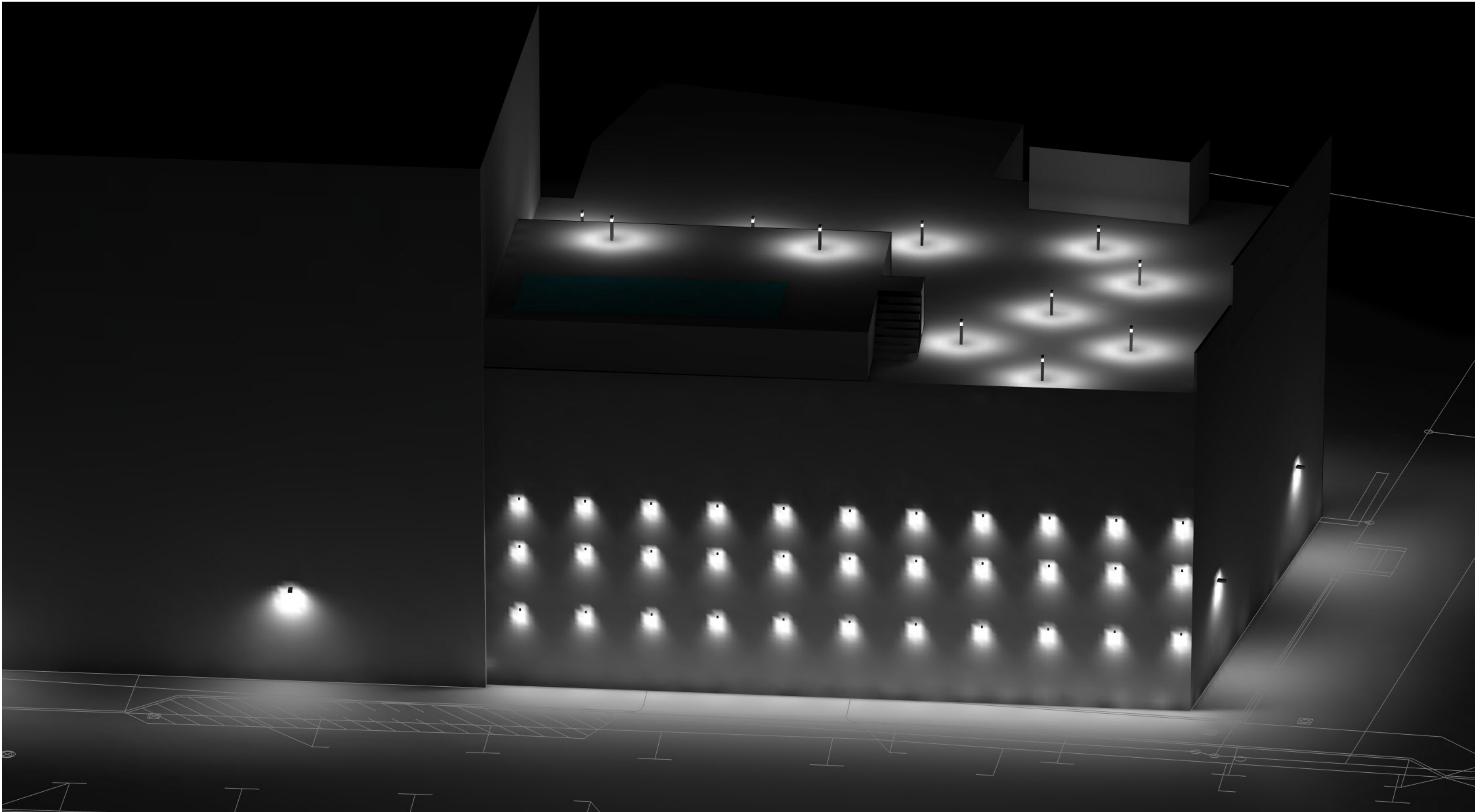
By: Damian Iwanczuk

Date:2025-06-20

AGi32® Version 20.11.12

DISCLAIMER: Calculations have been performed according to IESNA & CIE standards and goodpractice. Some differences between measured values and calculated results may occur due to tolerances in calculation methods, testing procedures, component performance, measurement techniques and field conditions such as voltage and temperature variations. Input data used to generate the attached calculations such as room dimensions, reflectances, furniture and architectural elements significantly affect the lighting calculations. If the real environment conditions do not match the input data, differences will occur between measured values and calculated values.





14750 E Nelson Ave E unit b, City of Industry, CA 91744, United States



444 Bedford Rd.Plesantville

Prepared for: Mark Sheppard

Filename: 444 Bedford Rd.Plesantville -V5.AGI

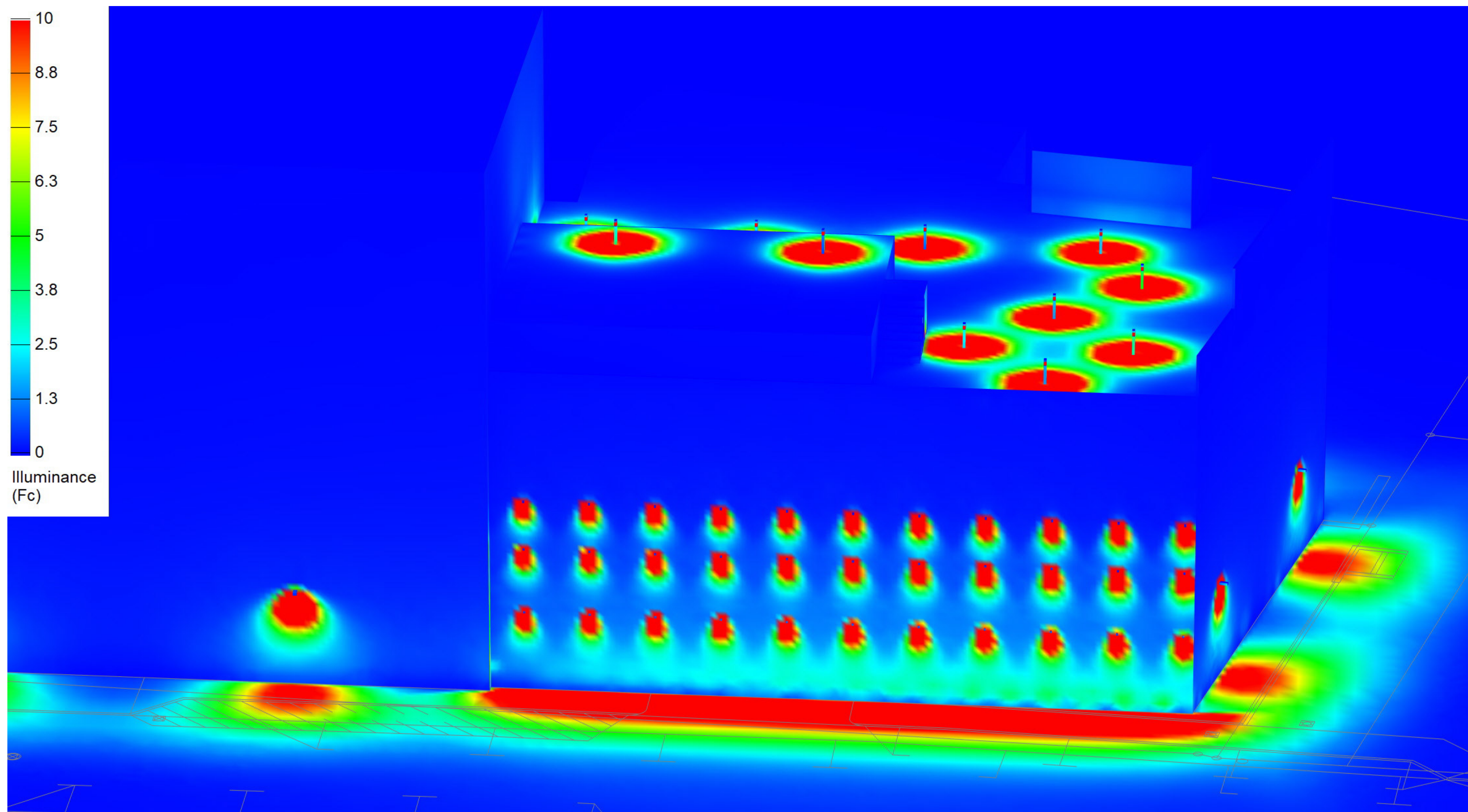
By: Damian Iwanczuk

Date:2025-06-20

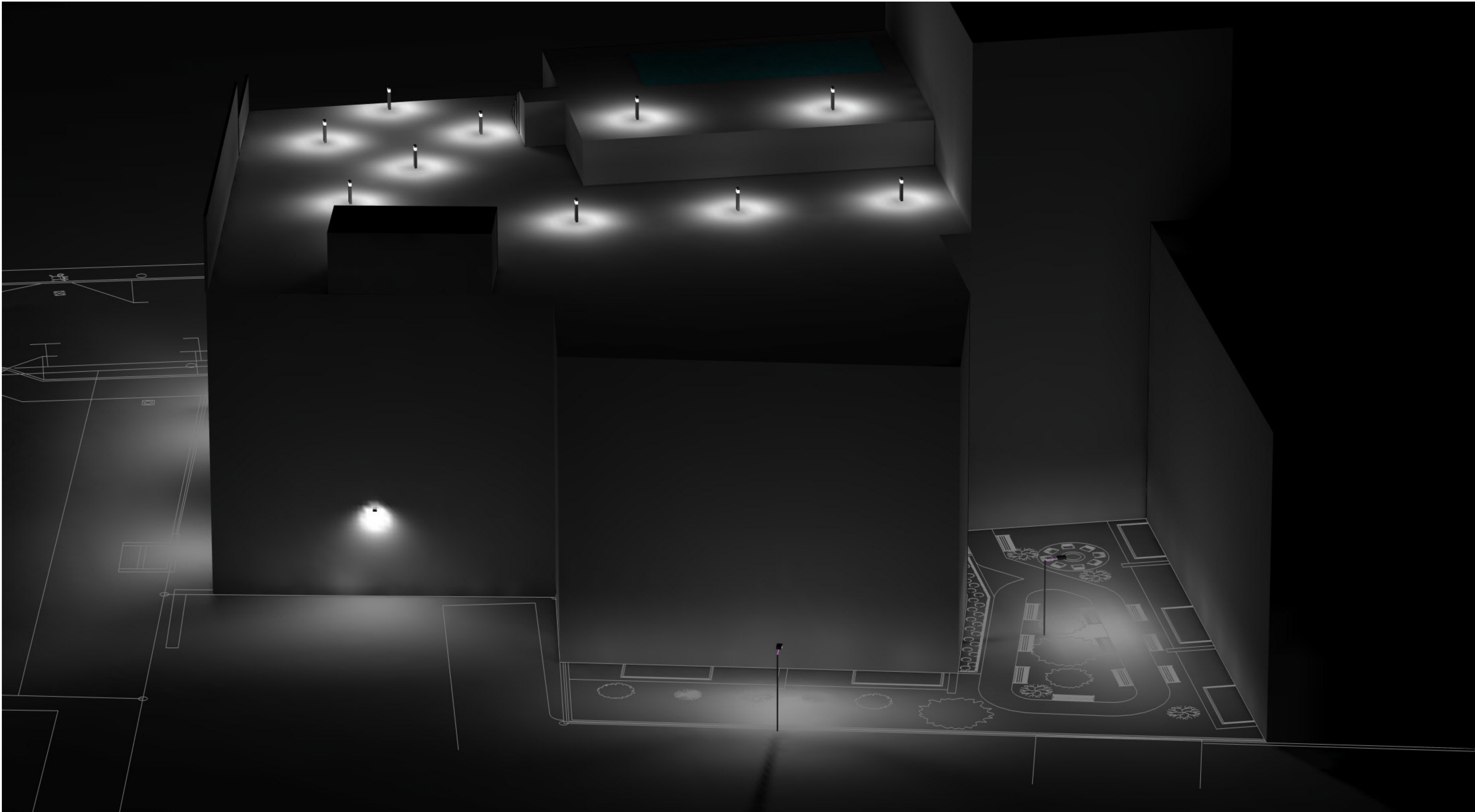
AGi32® Version 20.11.12

DISCLAIMER: Calculations have been performed according to IESNA & CIE standards and goodpractice. Some differences between measured values and calculated results may occur due to tolerances in calculation methods, testing procedures, component performance, measurement techniques and field conditions such as voltage and temperature variations. Input data used to generate the attached calculations such as room dimensions, reflectances, furniture and architectural elements significantly affect the lighting calculations. If the real environment conditions do not match the input data, differences will occur between measured values and calculated values.

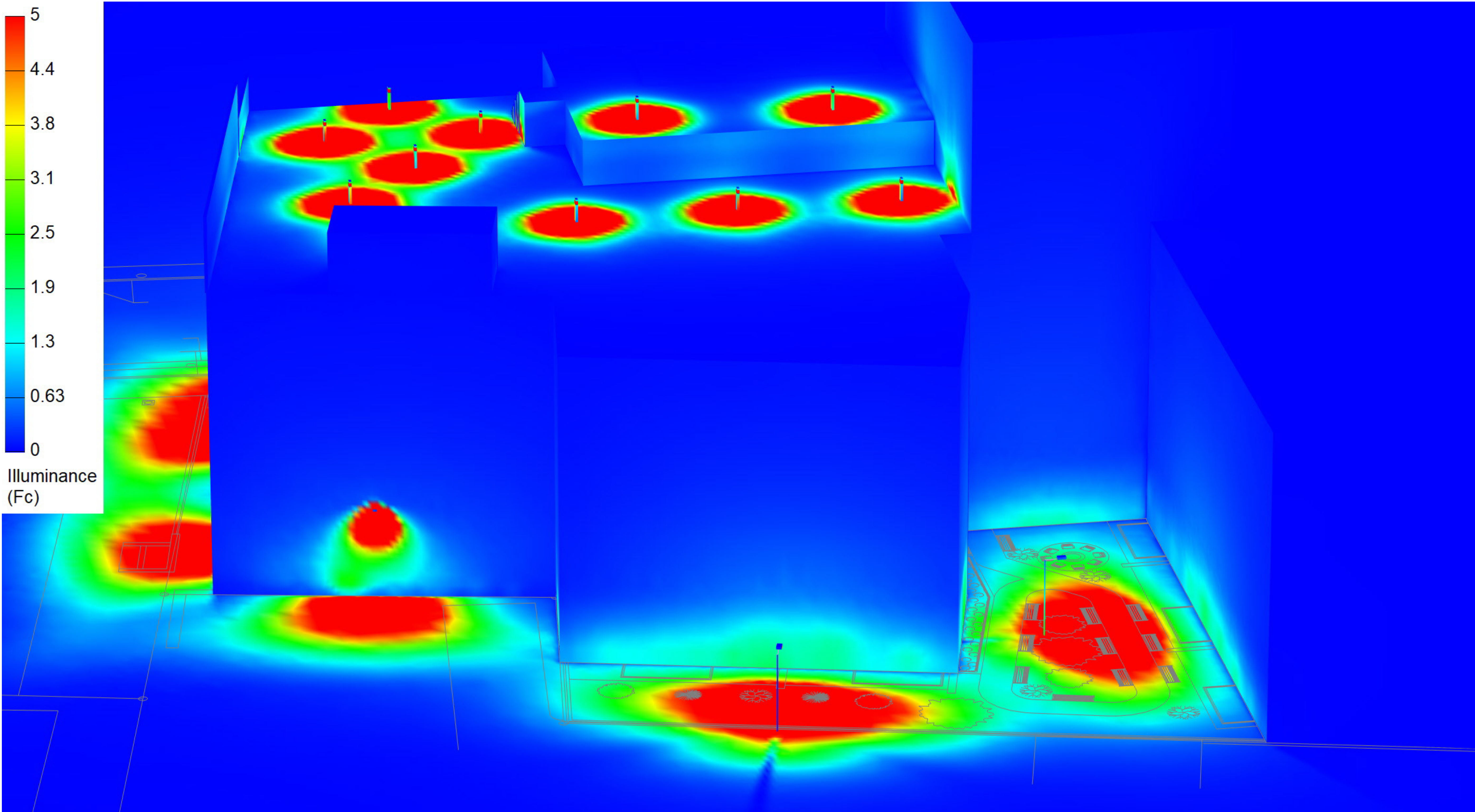












14750 E Nelson Ave E unit b, City of Industry, CA 91744, United States



444 Bedford Rd.Plesantville

Prepared for: Mark Sheppard

Filename: 444 Bedford Rd.Plesantville -V5.AGI

By: Damian Iwanczuk

Date:2025-06-20

AGi32® Version 20.11.12

DISCLAIMER: Calculations have been performed according to IESNA & CIE standards and goodpractice. Some differences between measured values and calculated results may occur due to tolerances in calculation methods, testing procedures, component performance, measurement techniques and field conditions such as voltage and temperature variations. Input data used to generate the attached calculations such as room dimensions, reflectances, furniture and architectural elements significantly affect the lighting calculations. If the real environment conditions do not match the input data, differences will occur between measured values and calculated values.





RAMSAY LAND SURVEYING, P.C.  
PROFESSIONAL LAND SURVEYORS – PLANNERS

NOTE I:  
THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID CERTIFICATIONS SHALL RUN ONLY TO THE PERSON AND OR THE ORGANIZATION FOR WHOM THIS SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENT AGENCY AND LENDING INSTITUTION LISTED HEREON AND TO THE SUCCESSORS AND OR ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE. UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBSECTION 2, OF THE NEW YORK STATE EDUCATION LAW. ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY STAMPED WITH AN ORIGINAL OF THE LAND SURVEYOR'S EMBOSSED OR INKED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.

NOTE II:  
THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE OR A FULL TITLE REPORT AND IS THEREFORE SUBJECT TO ANY STATE OF FACTS THAT MAY BE REVEALED BY AN EXAMINATION OF SUCH DOCUMENTS.

NOTE III:  
THERE ARE NO ACTIVE OR VISIBLE STREAM OR WATERCOURSE ON LOT No. 18, 19 & 20 IN BLOCK No. 5.  
LOCATION OF SUBSURFACE UTILITIES SHOWN HEREON ARE BASED ON RECORD INFORMATION AND / OR ELECTRONIC DETECTION METHODS AND ARE SUBJECT TO THE ACURACY THEREOF. LOCATION OF SUBSURFACE FACILITIES SHOULD BE VERIFIED PRIOR TO EXCAVATION AND /OR CONSTRUCTION. CONSULT WITH THE APPROPRIATE UTILITY COMPANY OR AGENCY PRIOR TO DESIGNING IMPROVEMENTS.

NOTE  
THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID CERTIFICATIONS SHALL RUN ONLY TO THE PERSON AND OR THE ORGANIZATION FOR WHOM THIS SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENT AGENCY AND LENDING INSTITUTION LISTED HEREON AND TO THE SUCCESSORS AND OR ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE.

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBSECTION 2, OF THE NEW YORK STATE EDUCATION LAW.

ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY STAMPED WITH AN ORIGINAL OF THE LAND SURVEYOR'S EMBOSSED OR INKED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.

L1  
N30°08'50"W 6.88'  
L2  
N26°14'00"W 2.42'

SCALE 1" = 20'

DESIGNATED AS SECTION 3, BLOCK 22, LOTS 4, 5, 5A, 6 AND 6A ON THE TAX ASSESSMENT MAP OF THE TOWN OF MOUNT PLEASANT, WESTCHESTER COUNTY, NEW YORK, AND ALSO KNOWN AS 444 BEDFORD ROAD AND 109 WHEELER AVENUE, PLEASANTVILLE, NEW YORK.

SEC. No. 106.6  
BLOCK No. 5  
LOT No. 18, 19 & 20

CERTIFIED TO : 444 ASSOCIATES LLC  
WESTCHESTER COUNTY  
BUILDING DEPARTMENT.

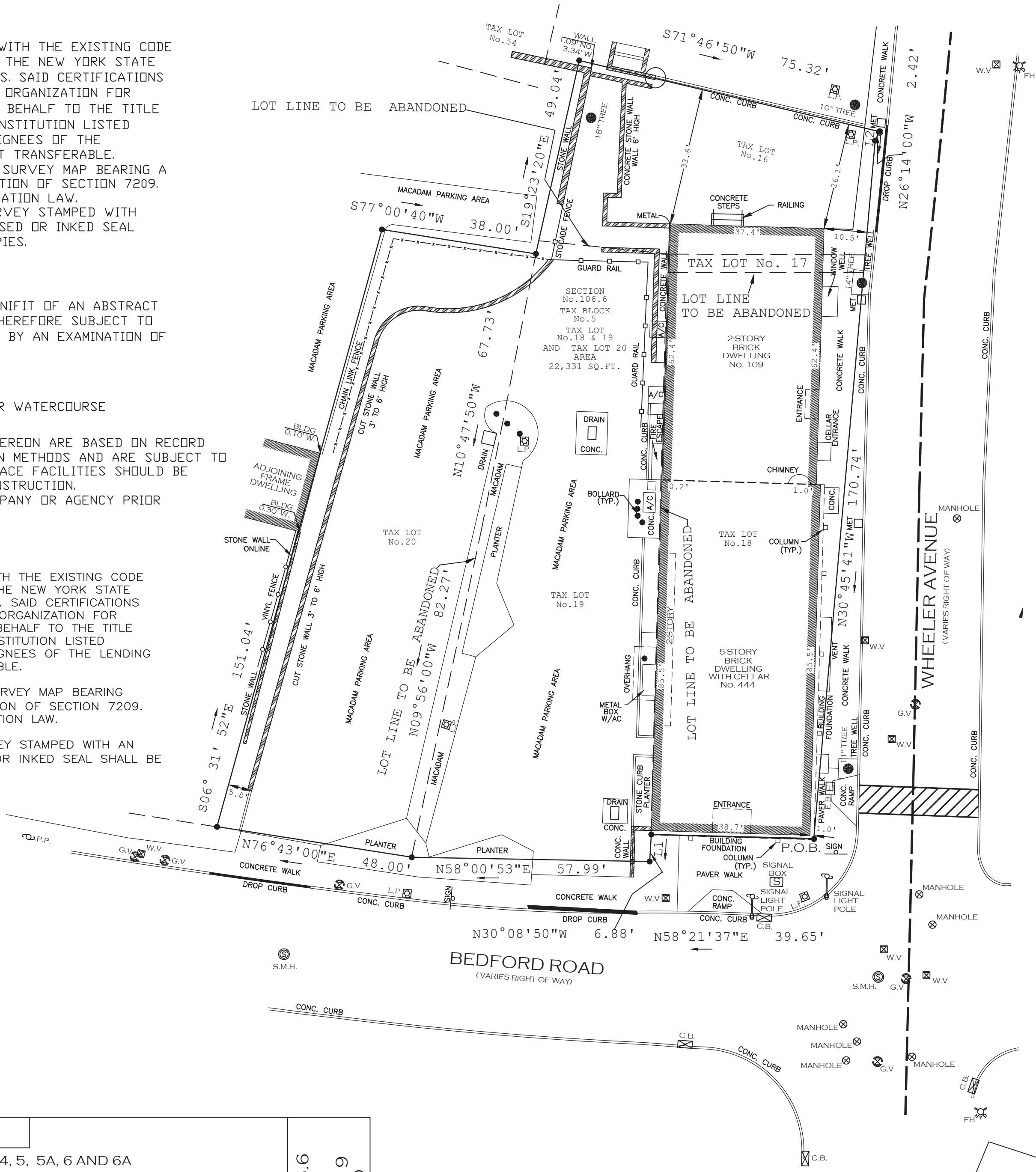
DATE OF SURVEY : JANUARY 10, 2023  
MAP DRAFTED : NOVEMBER 14, 2024



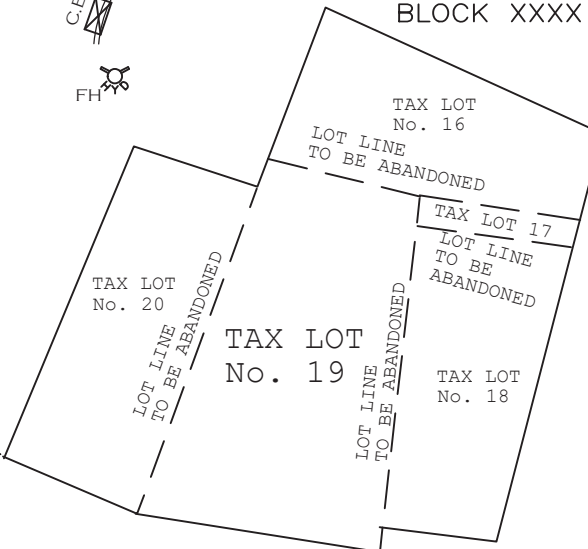
RAMSAY LAND SURVEYING, P.C.  
PROFESSIONAL LAND SURVEYORS – PLANNERS

3024 RADCLIFF AVENUE  
BRONX, NEW YORK 10469  
MOBILE # 917 544 8174  
PHONE: 718 884 0238  
EMAIL:

NYREC.LANDSURV@YAHOO.COM



KEY PLAN : NTS.



TITLE No. XXXXXXXX

I, NEVILLE RAMSAY, THE LAND SURVEYOR WHO MADE THIS MAP DO HEREBY CERTIFY THAT THIS SURVEY OF THE PROPERTY SHOWN HEREON WAS COMPLETED ON NOVEMBER 9, 2022, AND THIS MAP WAS COMPLETED ON NOVEMBER 26, 2022.  
SURVEY UP-DATED : JUNE 18 th. , 2025  
SURVEY UP-DATED : NOVEMBER , 9, 2024

DATE

NEVILLE RAMSAY, PLS. LICENSE No.050294 +  
WESTCHESTER COUNTY DEPARTMENT OF HEALT  
MOUNT KISCO, NEW YORK.

APPROVED PURSUANT TO CHAPTER 873, ARTICLE X, SECTIONS 873.951 AND 873.1021 01 THE WESICHESTER COUNTY SANITARY CODE SUBJECT TO THE PROVISION OF PUBLIC WATER SUPPLY AND PUBLIC SANITARY SEWER FACILITIES TO SERVE ALL STRUCTURES INTENDED FOR HUMAN OCCUPANCY CONSTRUCTED HEREON.

EACH PURCHASER OF PROPERTY SHOWN HEREON SHALL BE FURNISHED A TRUE COPY OF THIS PLAT SHOWING THIS ENDORSEMENT, ANY ENSURES, CHANGES, ADDITIONS OR ALTERATIONS OF ANY KIND EXCEPT THE ADDITION OF SIGNATURES OF OTHER APPROVING AUTHORITY AND THE DATE THEREOF MADE IN ON THIS PLAN AFTER THIS APPROVAL SHALL INVALIDATE THIS APPROVAL.

DATE

APPROVED BY THE ASSISTANT COMMISSIONER OF HEALTH ON BEHALF OF THE DEPARTMENT OF HEALTH.

OWNERS CERTIFICATION

THE UNDERSIGNED OF THE PROPERTY SHOWN HEREON IS FAMILIAR WITH THIS MAP AND LEGENDS, NOTES AND CONDITIONS SHOWN HEREON AND APPROVED FOR FILING IN THE DIVISION OF LAND RECORDS.

DATE

OWNER

DATE

OWNER

OFFICER

OWNER:

"APPROVED SUBJECT TO ALL REQUIREMENTS AND CONDITIONS OF A RESOLUTION DATED OF THE PLANNING BOARD OF THE VILLAGE OF PLEASANTVILLE, NEW YORK. ANY CHANGES, ERASURE, MODIFICATION, OR REVISION OF THIS PLAN. ABSENT RE-APPROVAL FROM THE PLANNING BOARD, SHALL VOID THIS APPROVAL".

DATE

CHAIRMAN

ALL TAXES DUE TO DATE HAVE BEEN PAID

DATE

RECEIVER OF TAXES VILLAGE OF PLEASANTVILLE  
TAX ASSESSMENT MAP DESIGNATION

TAX LOT 16 , 17 , 18 , 19 AND 20  
TAX BLOCK 5  
TAX SECTION 106.6  
ALL TAXES DUE TO DATE HAVE BEEN PAID

DATE

RECEIVER OF TAXES TOWN OF MOUNT PLEASANT

WESTCHESTER COUNTY INDEX SYSTEM  
SHEET XX  
BLOCK XXXX



SURVEY FOR TAX LOTS MERGER,  
OF  
444 BEDFORD ROAD  
IN THE VILLAGE  
OF PLEASANTVILLE  
TOWN OF  
MOUNT PLEASANT  
WESTCHESTER COUNTY  
STATE OF NEW YORK.

NEVILLE V. RAMSAY, PROFESSIONAL LAND SURVEYOR  
NEW YORK STATE LICENCE No. 050294-1





RAMSAY LAND SURVEYING, P.C.  
PROFESSIONAL LAND SURVEYORS – PLANNERS

NOTE I:  
THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. SAID CERTIFICATIONS SHALL RUN ONLY TO THE PERSON AND OR THE ORGANIZATION FOR WHOM THIS SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENT AGENCY AND LENDING INSTITUTION LISTED HEREON AND TO THE SUCCESSORS AND OR ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE. UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBSECTION 2, OF THE NEW YORK STATE EDUCATION LAW. ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY STAMPED WITH AN ORIGINAL OF THE LAND SURVEYOR'S EMBOSSED OR INKED SEAL SHALL BE CONSIDERED TO BE VALID TRUE COPIES.

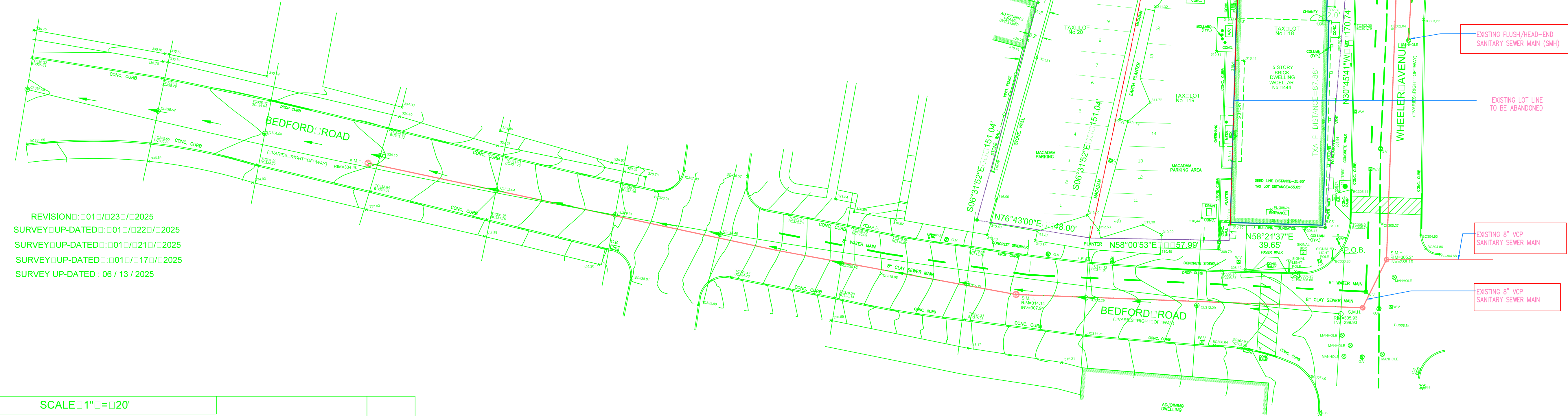
NOTE II:  
THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE OR A FULL TITLE REPORT AND IS THEREFORE SUBJECT TO ANY STATE OF FACTS THAT MAY BE REVEALED BY AN EXAMINATION OF SUCH DOCUMENTS.

NOTE III:  
THERE ARE NO ACTIVE OR VISIBLE STREAM OR WATERCOURSE ON LOT No.18 & 19 IN BLOCK No. 5.

LOCATION OF SUBSURFACE UTILITIES SHOWN HEREON ARE BASED ON RECORD INFORMATION AND / OR ELECTRONIC DETECTION METHODS AND ARE SUBJECT TO THE ACCURACY THEREOF. LOCATION OF SUBSURFACE FACILITIES SHOULD BE VERIFIED PRIOR TO EXCAVATION AND /OR CONSTRUCTION. CONSULT WITH THE APPROPRIATE UTILITY COMPANY OR AGENCY PRIOR TO DESIGNING IMPROVEMENTS.

NOTE IV:  
ELEVATIONS SHOWN HEREON REFER TO THE CITY OF PLEASANTVILLE.

L1  
N30°08'50"W 6.88'  
L2  
N26°14'00"W 2.42'



REVISION 01/23/2025  
SURVEY UP-DATED 01/22/2025  
SURVEY UP-DATED 01/21/2025  
SURVEY UP-DATED 01/17/2025  
SURVEY UP-DATED : 06 / 13 / 2025

SCALE 1"=20'	
DESIGNATED AS: SECTION 3, BLOCK 22, LOTS 4, 5, 6 AND 6A ON THE TAX ASSESSMENT MAP OF THE TOWN OF MOUNT PLEASANT, WESTCHESTER COUNTY, NEW YORK, AND ALSO KNOWN AS: 444 BEDFORD ROAD AND 109 WHEELER AVENUE, PLEASANTVILLE, NEW YORK	
CERTIFIED TO: 444 ASSOCIATES LLC WESTCHESTER COUNTY BUILDING DEPARTMENT	
DATE OF SURVEY: JANUARY 14, 2025 MAP DRAFTED: JANUARY 21, 2025	

SEC. No. 106.6  
BLOCK No. 5

RAMSAY LAND SURVEYING, P.C.  
PROFESSIONAL LAND SURVEYORS – PLANNERS

3024 RADCLIFF AVENUE  
BRONX, NEW YORK 10469  
MOBILE: 917-544-8174  
PHONE: 718-884-0238  
EMAIL:  
nvreclandsun@yahoo.com





**From:** [THOMAS ROONEY](#)  
**To:** [Building Inspector](#)  
**Subject:** 444 Bedford Road  
**Date:** Tuesday, June 24, 2025 3:57:03 PM

---

\*\*\*\*[CAUTION: This email originated from an external source. Do not click links or open attachments unless you recognize the sender and know the content is safe.]\*\*\*\*

I am sending this email as I will not be able to attend the Wednesday meeting public hearing.

I would just like to know that I am opposed to any more appointments in the village.

Also the rumor around the village is that the owner of the property is getting all permits in order and then possibly selling the property to a new developer.

This is not in the interest of the village.

Please let my objections be placed in the minutes of the meeting

Respectively submitted

Tom Rooney.

Sent from my iPhone





## **Minutes of Meeting**

Meeting of June 11, 2025

### **ATTACHMENTS:**

Description

Meeting minutes of 6.11.25

Type

Backup Material

Upload Date

6/24/2025



Pleasantville Architectural Review Board  
Wednesday, June 11, 2025

The Pleasantville Architectural Review Board was called to order by Russell Klein, Chairman at approximately 8:00 pm on Wednesday, June 11, 2025. Attending the meeting were Russell Klein, Chairman, Erik Brotherton, Perry Freitas (arrived late), David Keller and Henry Leyva, Members and Robert Hughes, Building Inspector.

1. **New Hope Community – 409 Manville Road** – Proposed business signage for a new tenant. *New application*. Present: Eric Stillman, EKS Design.

Mr. Stillman explained that the applicant plans to use the existing LAM signs but will remove LAM, resurface, and apply “New Hope Community” on them. Everything will be exactly the same except for the new logo.

Mr. Hughes said there were no sight issues with the ground sign, as sight distance was looked at when the original LAM sign went in years ago. Mr. Stillman said they would remove the overgrown bushes currently growing by the sign.

Mr. Leyva thought the black sign on the building with the white text was fine but didn’t like the white with black lettering on the ground sign as much. He wondered if they would consider making both black with white text. He thought that would look more uniform. Mr. Keller and Mr. Klein added that a darker background would also reduce glare for drivers. Mr. Stillman said he would ask the applicant but assumed they would be okay with that since they were eager to get their signage up.

Mr. Klein suggested the Board vote that evening as if both signs were uniform, black with white lettering. If the applicant ends up not wanting to change the color, they could return.

A motion to approve the application was made by Mr. Keller and seconded by Mr. Leyva.

VOTING took place as follows:

Ayes	-	5 (Messrs. Brotherton, Freitas, Keller, Klein, and Leyva)
Noes	-	0
Abstain	-	0
Absent	-	0

2. **Farrow’s - 332 Manville Road** – Proposed façade and signage updates to existing building. *New application*. Present: Moe Ibrahim (and brother Fauzi) and Ed Elliott, Architect (via Zoom).



Pleasantville Architectural Review Board  
Wednesday, June 11, 2025

Mr. Ibrahim said they used stonework on their shop in Elmsford, and they prefer that look over aluminum paneling. They are proposing to change from aluminum to stonework at Farrow's.

Mr. Ibrahim said any pillar on the Farrow's facade that is currently going up and down would be replaced with the stonework. He showed a sample of the material, which had three shades of dark gray. Mr. Leyva said he drove by the place in Elmsford, and it looks really good.

Mr. Elliott said they were also using AZEK on the facade. There will be black coping at the top of the AZEK panel.

Mr. Ibrahim said they were going to raise up the middle bay a little and the goosenecks would also be raised a little.

Mr. Elliott said the shape of the building is identical to what they presented in the previous submission.

The previous submission had a bump-out attached to the canopy to protect people from rain when going to the cashier. Mr. Elliott said that attaching that overhang on the canopy is no longer needed because the piece of aluminum panel that goes between the building and the canopy is twice as wide now and can support the overhang. That piece will rest on the building but there will be a silicone type slide on top of the coping to absorb banging noises or strong winds. It will be able to slide without ruining anything.

Mr. Elliott said the proposed signage is the same as last time except the 'snack shop' sign size has been reduced and it will be put on the glass panel above the door, as the Board suggested. As a result, there is now one less sign on the building.

The sign above the gooseneck lights will be smaller than the original.

Mr. Ibrahim said they wanted to give the signs and facade a sophisticated look to fit into the downtown area. Mr. Leyva suggested matching the 'Auto Service' and 'Snack Shop' signs to keep it consistent.

Mr. Ibrahim's brother said he plans to install new black vinyl doors with sensors. The garage doors at the Elmsford site were \$10,000 each.



Pleasantville Architectural Review Board  
Wednesday, June 11, 2025

The Board inquired about the sign that overhangs the sidewalk side, noting a concern that it was so low that people could bump their head. They recommended raising it up a bit to make the bottom 7 feet from the ground. Mr. Elliott said there were three separate boxes currently – the top one had two spots for digital gas prices and the other two he believed were for separate pieces but attached to each other. The sign couldn't be raised much higher since the Shell sign was very close to the top box. Mr. Ibrahim pointed out that they couldn't move the signage to the pavement side because they had cars parked there. Mr. Elliott said that side with the cars was also a bit higher than the sidewalk, so that wasn't an option.

Mr. Ibrahim said he would raise the signs up to 7.5 feet so no one could hit their head when walking on the sidewalk. Mr. Keller suggested that the bottom two boxes be moved to the other side. Mr. Klein thought removing the bottom piece of the sign that says "Service Center" would solve the problem, but Mr. Ibrahim didn't think parts of the sign were detachable – it's one box. The applicants thought it would be better to get a new pole rather than moving pieces around, which might be unsafe if not attached securely. Mr. Hughes said the height max for signage is 12 feet, noting that it was in the Board's purview to adjust the height, within reason. The existing is about 13 feet up to 15 feet with the "Shell" portion. If the sign is too tall, hitting wires is a concern.

Mr. Klein suggested another option would be to add another pole so there would be one at either side of the outside of the planter. and then moving the sign so that everything was centered below the Shell sign. With this design the signs wouldn't overhang one either the sidewalk side or the pavement side where cars were parked. Mr. Ibrahim said they would think about the sign and come back for that portion.

Mr. Klein confirmed with the applicant that they would leave the pole and sign part out of the vote and come back for that piece.

Mr. Leyva complimented the contemporary design and thought it looked fresh. He said there was a lot of use recently of medallion signs coming off the sides of buildings and he thought that might be a nice nostalgic touch since Farrow's had been part of the town for so many years. Mr. Ibrahim said it could be something by the snack shop. Mr. Keller noted that the shop was so far back, the medallion side wouldn't really work.



Pleasantville Architectural Review Board  
Wednesday, June 11, 2025

Mr. Leyva said the font they are using made sense with the metal on the building but now that they were introducing the stone and the panels, maybe a softer more retro font would be nice. Even hanging one of the old aluminum Mobil signs might be nice. Mr. Klein clarified noted that if the applicant wants to change the font, they would need to get approval for that. Mr. Ibrahim said they didn't plan on changing the font on the signs but heard Mr. Leyva's suggestion and would try to incorporate it.

Mr. Brotherton thought it looked good.

Mr. Keller thought it would be an improvement for the street.

If they are going to use red, Mr. Leyva said they should go with one that matched the red in "Shell," so as to stay consistent. Mr. Elliott said there was a note from last meeting to match the red to the Shell red.

Mr. Klein said currently the 'Farrow's' sign was 7.2 feet wide and 3 feet high right over the middle bay. If they want to make the sign smaller, Mr. Klein said that would be fine, and they wouldn't need to come back to the Board.

Mr. Ibrahim said they will make the signs match with the same font and same black & red.

Mr. Keller suggested adding a very thin white line around the red font 'auto service' so that it won't blend into its black background.

Mr. Ibrahim said there wouldn't be any backlight, the light would just be from the goosenecks.

Mr. Ibrahim said the wall by the sidewalk would also be fixed to match the building. Mr. Klein asked Mr. Elliott to make a note of that on the plans.

Mr. Ibrahim said the door at the entrance was fairly new. They were only replacing anything old around the door. Mr. Ibrahim said they were going to replace the garage doors.

The only change inside the fence is that the ice machine will be moved.

The applicant will work with Mr. Hughes regarding any changes to the signs, as discussed. The applicant will return with plans for the sign by the sidewalk.

A motion to approve the application was made by Mr. Keller and seconded by Mr. Brotherton.



Pleasantville Architectural Review Board  
Wednesday, June 11, 2025

VOTING took place as follows:

Ayes	-	5 (Messrs. Brotherton, Freitas, Keller, Klein, and Leyva)
Noes	-	0
Abstain	-	0
Absent	-	0

**3. Minutes**

A motion to approve the minutes of May 14, 2025, with corrections from Mr. Klein, was made by Mr. Freitas, seconded by Mr. Keller and unanimously carried.

A motion to adjourn the meeting was made by Mr. Keller, seconded by Mr. Brotherton and carried.

The meeting was adjourned at approximately 9:00 pm.

Respectfully submitted,

Mary Sernatinger  
Secretary