



dimovski architecture  
P L L C

June 7, 2017

**PROJECT: New Two Family/Office Building**  
**S/B/L: 106.10/2/16**  
**Marble Ave and St. George Street**  
**Ref. No.: 1613**

**PROJECT DESCRIPTION – PROPOSED REVISION TO APPROVED SITE PLAN**

At this time, we respectfully request the Board to consider minor changes to the approved Site Plan for the project mentioned above. The changes are as follows and are shown on the attached SP-1 drawing:

- Rotate parking to enter the site straight in from St. George Place.
- Reduce overall parking area; approved was 2.0' from the west property line and the proposed is 20.8'.
- Reduce overall impervious parking surface area by approximately 27%, from 1,857 SF to 1,316 SF.
- Provide same approved fence at this location to provide screening to neighboring property.
- Reduce the approved curb cut from 20' to 12'.
- Provide one 12' curb cut to house/garage and one 12' curb cut to parking area.
- Four parking spots are required and four parking spots are provided.
- Locate trash bins as shown and provide both plantings and fence screening.

If you have any questions, please call me at 914-747-3500 (o) or 914-714-5607 (c). Thank You.

Very truly yours,  
DIMOVSKI ARCHITECTURE PLLC

*Steve Dimovski*

Steve Dimovski  
Associate



# NEW SINGLE FAMILY RESIDENCE 200 MARBLE AVENUE REALTY RESIDENCE

## LIST OF DRAWINGS

SP-1 NOTES & LEGEND, ZONING ANALYSIS, SITE PLAN, DETAILS  
A-1 NOTES & LEGEND, LIST OF DRAWINGS, BASEMENT PLAN, FOOTING/FOUNDATION PLAN, TYP. WALL SECTION, DETAILS, AVERAGE GRADE DIAGRAM

## LEGEND

NEW POURED CONCRETE WALL  
NEW 2"x6" STUD WALL WITH 1/2" TYPE "X" FIRECODE GYPSUM WALL BOARD  
NEW SMOKE ALARM/DETECTOR  
NEW CARBON MONOXIDE DETECTOR

## General Notes

- CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL SEDIMENT AND EROSION CONTROL PRACTICES. THE SEDIMENT AND EROSION CONTROL PRACTICES ARE TO BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- TIMELY MAINTENANCE OF SEDIMENT CONTROL STRUCTURES IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL STRUCTURES SHALL BE MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES. THE SEDIMENT LEVEL IN ALL SEDIMENT TRAPS SHALL BE CLOSELY MONITORED AND SEDIMENT REMOVED PROMPTLY WHEN MAXIMUM LEVELS ARE REACHED OR AS ORDERED BY THE ENGINEER. ALL SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED ON A REGULAR BASIS, AND AFTER EACH HEAVY RAIN TO INSURE PROPER OPERATION AS DESIGNED. AN INSPECTION SCHEDULE SHALL BE SET FORTH PRIOR TO THE START OF CONSTRUCTION.
- THE LOCATIONS AND THE INSTALLATION TIMES OF THE SEDIMENT CAPTURING STANDARDS SHALL BE AS ORDERED BY THE ENGINEER, AND IN ACCORDANCE WITH THE STANDARDS SET FORTH IN THIS MANUAL.
- ALL TOPSOIL NOT TO BE USED FOR FINAL GRADING SHALL BE REMOVED FROM THE SITE IMMEDIATELY AND PLACED IN A STABILIZED STOCKPILE OR FILL AREA. ALL TOPSOIL REQUIRED FOR FINAL GRADING AND STORED ON SITE SHALL BE LIMED, FERTILIZED, TEMPORARILY SEEDED AND MULCHED WITHIN 14 DAYS.
- ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 21 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, SHALL IMMEDIATELY RECEIVE TEMPORARY SEEDING. MULCH SHALL BE USED IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER. DISTURBED AREAS SHALL BE LIMED AND FERTILIZED PRIOR TO TEMPORARY SEEDING.
- ALL DISTURBED AREAS WITHIN 500 FEET OF AN INHABITED DWELLING SHALL BE WETTED AS NECESSARY TO PROVIDE DUST CONTROL.
- THE CONTRACTOR SHALL KEEP THE ROADWAYS WITHIN THE PROJECT CLEAR OF SOIL AND DEBRIS AND IS RESPONSIBLE FOR ANY STREET CLEANING NECESSARY DURING THE COURSE OF THE PROJECT.
- SEDIMENT AND EROSION CONTROL STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE DRAINAGE AREA HAS BEEN PROPERLY STABILIZED BY PERMANENT MEASURES.
- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH CURRENT EDITION OF WESTCHESTER COUNTY BEST MANAGEMENT PRACTICES MANUAL FOR EROSION AND SEDIMENT CONTROL.
- ALL SITE DISTURBED AREAS SHALL BE CONTAINED ON THE PROPERTY WITH NO RUNOFF ON TO ADJACENT PARCELS AND VILLAGE ROADS.

## ZONING DATA TABLE

DESCRIPTION OF WORK: TWO FAMILY RESIDENCE & 2 CAR GARAGE

ZONE: RO-3

USE	REQUIRED	EXISTING	PROPOSED
MAIN BUILDING			
LOT AREA (SQUARE FEET)	7,500	N/A	(1) 5,000
LOT FRONTAGE ( FEET)	75'	N/A	100'
LOT WIDTH ( FEET)	75'	N/A	100'
LOT DEPTH ( FEET)	90'	N/A	(2) 50'
FRONT YARD SETBACK (FEET)	30'	N/A	(3) 10.5'
FRONT YARD SETBACK (FEET)	30'	N/A	(4) 13'
SIDE (FEET)	8'	N/A	41'
REAR (FEET)	25'	N/A	(5) 8'
MIN GROSS AGGREGATE FLOOR AREA PER DWELLING UNIT (SQUARE FEET)	800 SF	N/A	880 SF (DWELLING 1) 1,370 SF (DWELLING 2)
MAX HEIGHT (STORIES/FEET)	2 1/2 OR 30'	N/A	2 1/2/ LESS THAN 30'
MAXIMUM BUILDING COVERAGE (%)	30 %	N/A	27.8 %
10' SETBACK FOR PARKING FROM PROPERTY LINE	10'	N/A	(6) 2' / 10' (9)
12' CURB-CUT REQUIRED	12'	N/A	(7) 20' / 12' (10)
30' FRONT YARD SETBACK FOR PARKING	30'	N/A	(8) 15' / 18.8' (11)

## VARIANCE(S) REQUIRED

### ALL VARIANCES WERE GRANTED PER SEPTEMBER 29, 2016 ZONING BOARD MEETING

(1) - LOT AREA 7,500 SF IS REQUIRED, HAS 5,000 SF, THEREFORE A 2,500 SF VARIANCE IS NEEDED.

(2) - LOT DEPTH - 90' IS REQ'D, HAS 50', THEREFORE A 40' VARIANCE IS NEEDED.

(3) - FRONT YARD SETBACK - 30' IS REQ'D, HAS 10.5', THEREFORE A 19.5' VARIANCE IS NEEDED.

(4) - FRONT YARD SETBACK - 30' IS REQ'D, HAS 13', THEREFORE A 17' VARIANCE IS NEEDED.

(5) - REAR YARD SETBACK - 25' IS REQ'D, HAS 8', THEREFORE A 17' VARIANCE IS NEEDED.

(6) - PROPERTY LINE SETBACK FOR PARKING - 10' IS REQ'D, HAS 2', THEREFORE AN 8' VARIANCE IS NEEDED.

(7) - MAX. CURB-CUT REQUIRED - 12' IS REQ'D, HAS 20', THEREFORE AN 8' VARIANCE IS NEEDED.

(8) - FRONT YARD SETBACK FOR PARKING - 30' IS REQ'D, HAS 15', THEREFORE AN 15' VARIANCE IS NEEDED.

### VARIANCES REQUIRED BASED ON REVISED DRAWINGS DATED 6/1/2017.

(9) - PROPERTY LINE SETBACK FOR PARKING - 10' IS REQ'D, HAS 10', THEREFORE VARIANCE IS ELIMINATED.

(10) - MAX. CURB-CUT REQUIRED - 12' IS REQ'D, HAS 12', THEREFORE VARIANCE IS ELIMINATED.

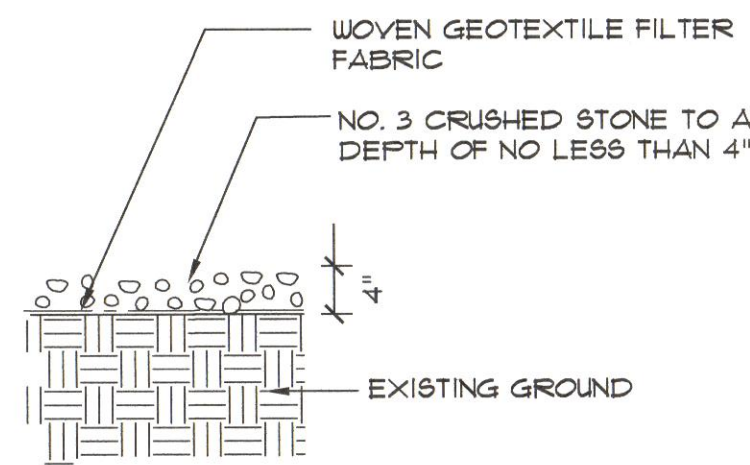
(11) - FRONT YARD SETBACK FOR PARKING - 30' IS REQ'D, HAS 11.2', THEREFORE AN 18.8' VARIANCE IS NEEDED.

THE ANTI- TRACKING PAD SHALL UNIFORMLY GRADED TO PRODUCE THE ENTRY AND EXIT PATH TO THE SITE FOR ALL CONSTRUCTION EQUIPMENT.

THE PAD SHALL BE MAINTAINED OF SUFFICIENT GRADING AND STONE SURFACE TO CAPTURE ALL SOILS AND SEDIMENT FROM EQUIPMENT TIRES PRIOR TO SUCH EXITING FROM THE SITE.

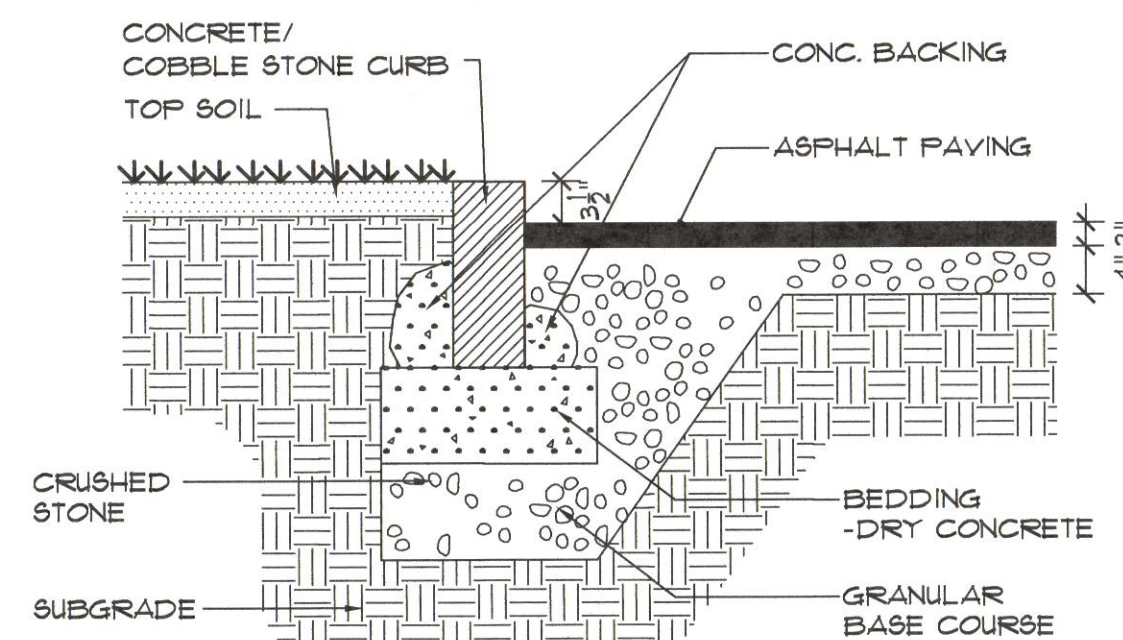
STONE SHALL BE REPLENISHED OR REPLACED AS NECESSARY TO ASSURE SUFFICIENT CAPTURE OF SEDIMENT AT THE CONSTRUCTION SITE.

ANY SEDIMENT TRACKED OFF THE SITE SHALL BE IMMEDIATELY CLEANED, SWEPT AND REMOVED BY THE CONTRACTOR.



## ANTI-TRACKING PAD DETAIL

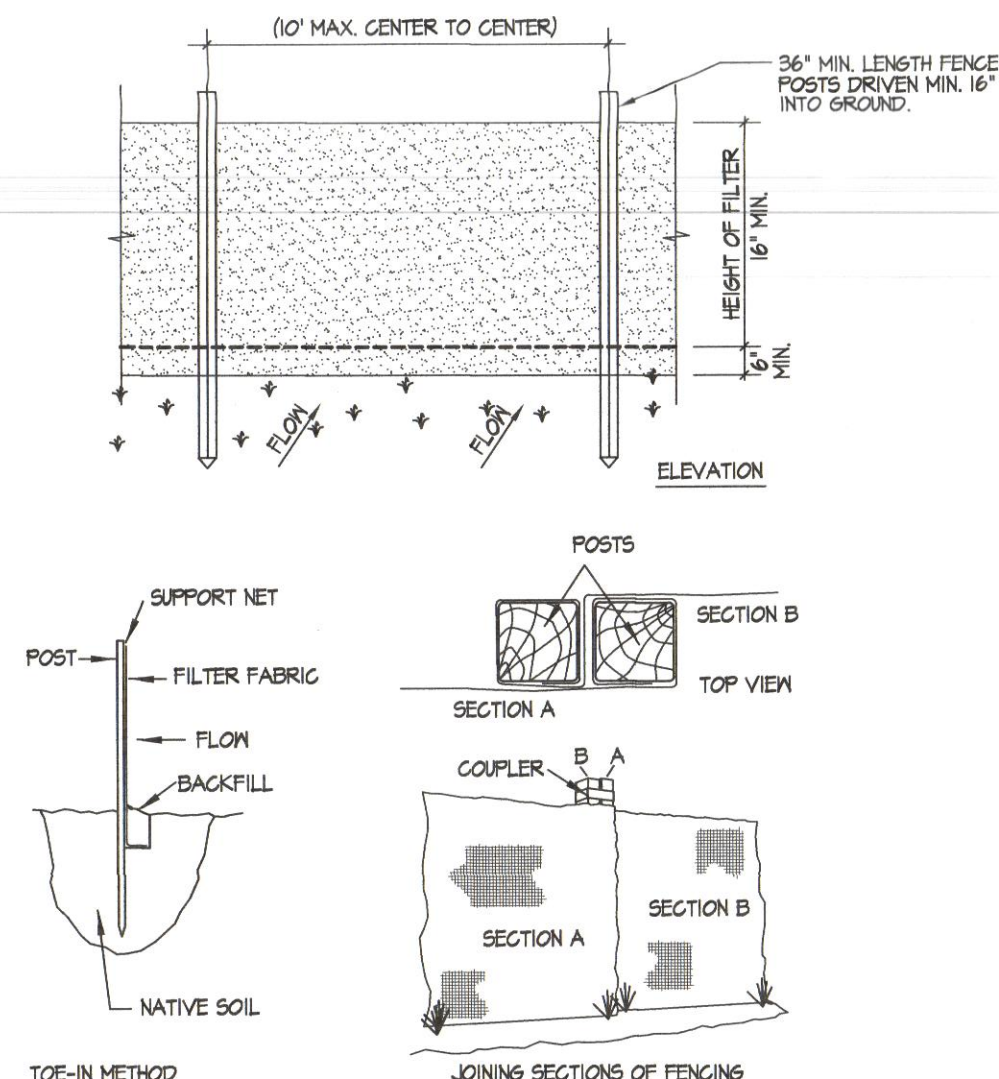
SCALE: 3/4"=1'-0"



## STONE/ CONCRETE CURB DETAIL

SCALE: 3/4"=1'-0"

NOTE:  
ALL JOINTS TO BE CEMENTED.



## INSTALLATION NOTES

- EXCAVATE A 4 INCH \* 4 INCH TRENCH ALONG THE LOWER PERIMETER OF THE SITE.
- UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH (NET SIDE AWAY FROM DIRECTION OF FLOW).
- DRIVE THE POST INTO THE GROUND UNTIL THE NETTINGS IS APPROXIMATELY 2 INCHES FROM THE TRENCH BOTTOM.
- LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH, BACKFILL THE TRENCH AND TAMP THE SOIL. STEEPER SLOPES REQUIRE AN INTERCEPT TRENCH.
- JOIN SECTIONS AS SHOWN ABOVE.

## Silt Fence

## OFF-STREET PARKING

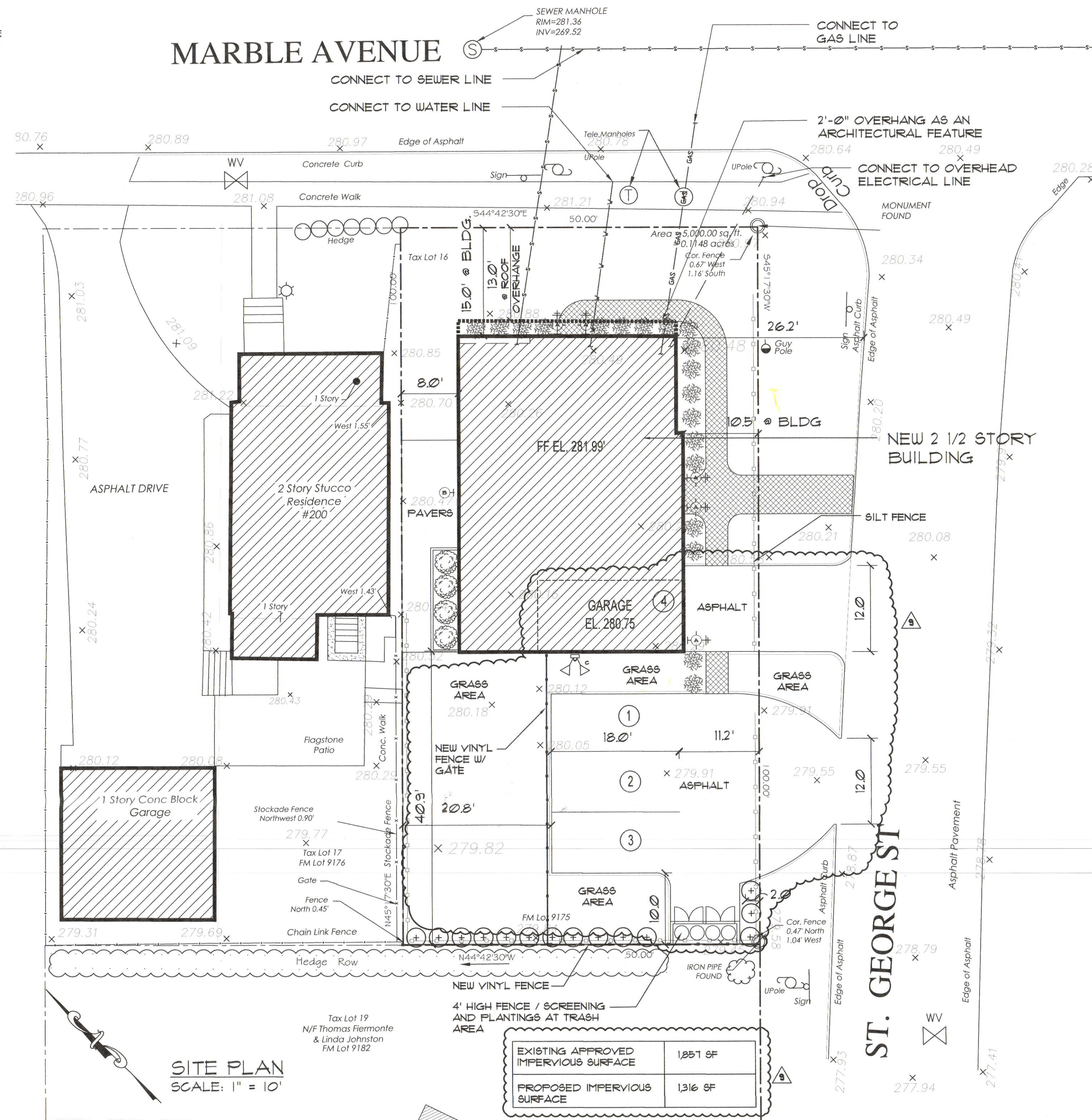
REFERENCE SECTION (185 ATTACHMENT 1 SCHEDULE VII)

TWO FAMILY DWELLING

REQUIRED:  
2 PER DWELLING = 4 PARKING SPOTS

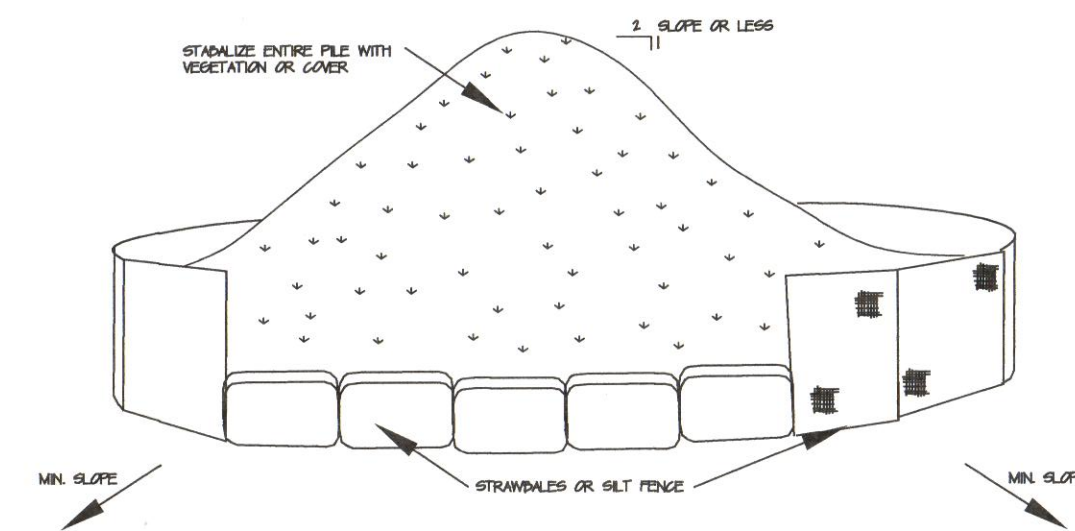
PROPOSED:  
2 FAMILY DWELLINGS = 4 PARKING SPOTS

## MARBLE AVENUE



## SITE PLAN

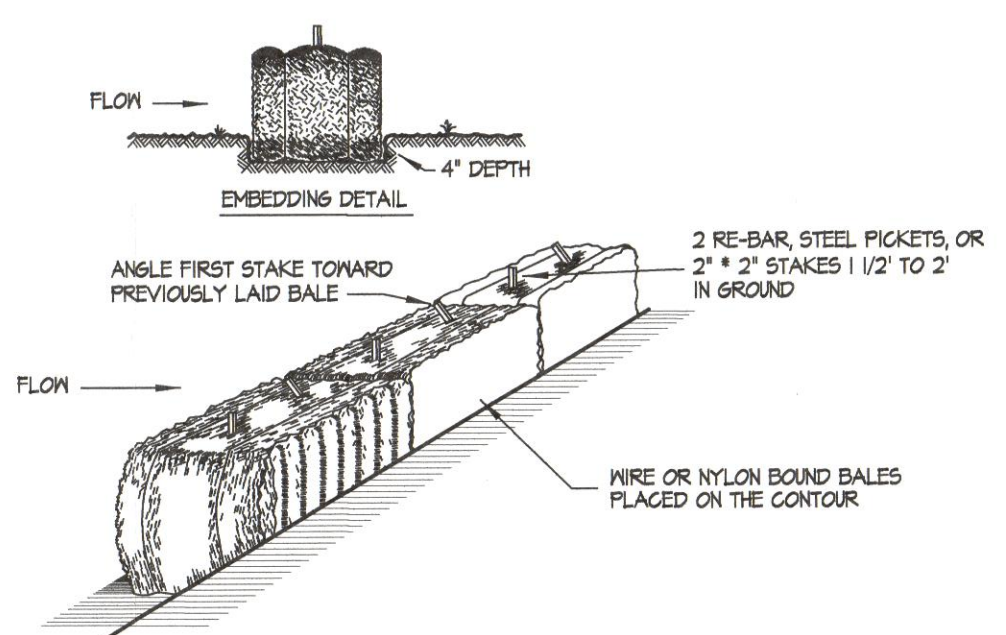
SCALE: 1" = 10'



## INSTALLATION NOTES

- AREA GIVEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
- MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:1.
- UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.
- SEE SPECIFICATIONS (THIS MANUAL) FOR INSTALLATION OF SILT FENCE.

## Soil Stockpiling



## INSTALLATION NOTES

- BALES SHALL BE PLACED IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
- EACH BALE SHALL BE EMBEDDED IN THE SOIL A MINIMUM OF 4" .
- BALES SHALL BE SECURELY ANCHORED IN PLACE BY STAKES OR RE-BAR DRIVEN THROUGH THE BALES. THE FIRST STAKE IN EACH BALE SHALL BE ANGLED TOWARD PREVIOUSLY LAID BALE TO FORCE BALES TOGETHER.
- BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

## Strawbale Sediment Barriers

REV. #	ISSUE	DATE
1	PLANNING BOARD SUBMISSION	3-17-2016
2	PLANNING BOARD REVISION #1	4-20-2016
3	PLANNING BOARD REVISION #2	5-5-2016
4	PLANNING BOARD REVISION #3	5-18-2016
5	ZONING BOARD SUBMISSION 2 REVISION #1	7-14-2016
6	PLANNING BOARD REVISION #4	10-13-2016
7	PLANNING BOARD REVISION #5	10-14-2016
8	PLANNING BOARD REVISION #6	11-02-2016
9	PLANNING BOARD REVISION #7	11-30-2016
10	PLANNING BOARD REVISION #8	6/17/2017

DRAWING TITLE:

PROPOSED SITE PLAN  
ZONING CALCULATIONS  
PROPOSED PLANS  
STORMWATER CALCULATIONS  
DETAILS

NEW BUILDING  
MARBLE AVE AND  
ST. GEORGE STREET  
PLEASANTVILLE, NY

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SEAL:

INFO:

DATE: FEBRUARY 24, 2017

PROJECT NO.: 1613

DRAWN BY: JMF

CHECKED BY: SGP/PD

DRAWING NO:

SP-1