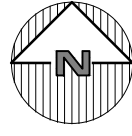


LOCATION MAP
NOT TO SCALE



SITE DATA:

OWNER / DEVELOPER: UNICORN CONTRACTING CORP.
10 JULIA LANE
COLD SPRING, NY, 10516

PROJECT LOCATION: GREAT OAK LANE
PLEASANTVILLE, NY, 10570

EXISTING TOWN ZONING: R-2A

PROPOSED USE: SUBDIVISION

TOWN TAX MAP DATA: SECTION 106, BLOCK 6-2, LOT 64

SITE AREA : 1.27 ACRES (55,282.28 SF)

SEWAGE FACILITIES: PUBLIC SEWERS

WATER FACILITIES: PUBLIC WATER FACILITIES

NOTES:

1. FOR A DWELLING BILT WITHOUT A GARAGE, ONE SIDE YARD MUST BE AT LEAST 32 FEET AND MAY BE REDUCED TO 20 FEET IF A GARAGE IS BUILT ON THE LOT. ON A CORNER LOT, THE SIDE YARD MUST BE 32 FEET IF THERE IS NO GARAGE.
2. THE AGGREGATE OF BOTH SIDE YARDS MUST BE 20 FEET. FOR DWELLING BUILT A GARAGE, THERE MUST BE AGGREGATE SIDE YARDS OF 32 FEET WITH ONE BEING A MINIMUM OF 20 FEET; THE LESSER SIDE YARD CAN BE REDUCED TO EIGHT FEET IF A GARAGE IS BUILT ON THE LOT.
3. IN THE CASE OF A CORNER LOT WITHOUT A GARAGE, THE SIDE YARD MUST BE 20 FEET, EXCEPT THAT IF A GARAGE IS BUILT ON THE LOT, THE SIDE YARD MAY BE REDUCED TO EIGHT FEET.
4. THE PLANNING COMMISSION MAY REDUCE THE MINIMUM LOT FRONTAGE TO NOT LESS THAN $\frac{1}{2}$ IF THE REQUIREMENTS LISTED ABOVE WHERE RESIDENTIAL LOTS FRONT ON CULS-DE-SAC OR ELSEWHERE WHEN DETERMINED TO BE IN THE PUBLIC INTEREST BY PLANNING COMMISSION.
5. SEE 185-13A(2)(a) FOR SUPPLEMENTARY REQUIREMENTS REGARDING FRONTAGE FOR TWO-FAMILY HOMES.

ZONING SCHEDULE:

ZONING DISTRICT: R-2A, SINGLE FAMILY RESIDENTIAL		PROVIDED			
DIMENSIONAL REGULATIONS:	REQUIRED	LOT 1	LOT 2	LOT 3	LOT 4
MINIMUM LOT AREA:	5,000 SF.	12,637 SF.	12,376 SF.	15,403 SF.	13,058 SF.
MINIMUM LOT FRONTAGE:	50 (1F); 75 (2F)	75.19 FT.	81.25 FT.	92.78 FT.	86.79 FT.
MINIMUM LOT WIDTH:	50 (1F); 75 (2F)	77 FT.	83 FT.	92 FT.	75 FT.
MINIMUM LOT DEPTH:	100 FT.	164 FT.	150 FT.	168 FT.	177 FT.
MINIMUM FRONT YARD:	30 FT.	45 FT.	36 FT.	46 FT.	48 FT.
MINIMUM SIDE YARD INTERIOR:	8 FT.	31 FT.	16 FT.	17 FT.	14.5 FT.
MINIMUM SIDE YARD CORNER:	8 FT.				
MINIMUM REAR YARD:	25 FT.	42.50 FT.	40 FT.	56 FT.	69 FT.
MINIMUM GROSS AGGREGATE FLOOR AREA PER DWELLING UNIT:	800 SF.	3,155 SF	3,094 SF	3,193 SF	3,280 SF
MINIMUM GROSS GROUND FLOOR AREA:	800 SF.	1,925 SF.	1,909 SF.	2,478 SF	2,032 SF
MAXIMUM HEIGHT (STORIES/FEET):	2-1/2 OR 30, WHICHEVER IS MORE RESTRICTIVE.	25.5 FT.	25.5 FT.	26.5 FT.	26.5 FT.
MAXIMUM BUILDING COVERAGE:	20%	19%	19%	20%	18%
MAXIMUM DEVELOPMENT COVERAGE:	30%	36%	30%	30%	25%
MAXIMUM FLOOR AREA RATIO:	0.25	0.25	0.25	0.21	0.25



EXISTING IMPERVIOUS AREA:

BUILDING : 13,421 SF
PARKING LOT: 16,703.5 SF
DRIVEWAY: 3,513.6 SF
WALKWAY: 888.5 SF
TOTAL: 34,526.6 SF

PROPOSED IMPERVIOUS AREA:

LOT 1:
HOUSE: 1,925 SF
DRIVEWAY: 2,050 SF
WALKWAY: 167 SF
COVERED PORCH: 303 SF
PATIO: 192 SF

LOT 2:
HOUSE: 1,909 SF
DRIVEWAY: 900 SF
WALKWAY: 348 SF
COVERED PORCH: 385 SF
PATIO: 204 SF

LOT 3:
HOUSE: 2,477 SF
DRIVEWAY: 1263 SF
WALKWAY: 186 SF
COVERED PORCH: 399 SF
REAR COVERED PATIO: 256 SF

LOT 4:
HOUSE: 2,032 SF
DRIVEWAY: 952 SF
WALKWAY: 41 SF
COVERED PORCH: 204 SF
BECK COVERED PATIO: 216 SF

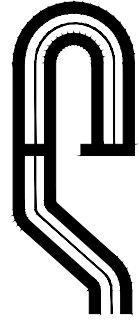
TOTAL: 16,361 SF

NET DIFFERENCE: 18,165.6 SF LESS THAN EXISTING CONDITIONS.

NOTE:
1. THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY TC MERRITTS LAND SURVEYORS, DATED JANUARY 20, 2023, LAST REVISED JANUARY 20, 2023. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

FILED 2023-01-01 GREAT OAKS - UNICORN ENGINEERING CAD 03-23-01 GREAT OAKS - UNICORN DWG 03-23-01 GREAT OAK SUBD PLAN 7-2-2023 DWG 6-11-2023 2:45:29 PM

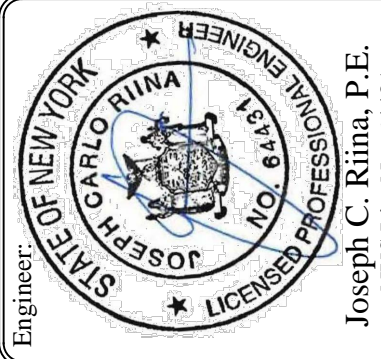
NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.



PROJECT # ###

Site Design Consultants

Civil Engineers • Land Planners
251-F Underhill Avenue, Yorktown Heights, NY 10598
(914) 962-4488 - Fax: (914) 962-7386
www.sitedesignconsultants.com



Revisions:		No.	Date	Comments
1	6/8/2023	Site design		
2	6/28/2023	Site revision		
3	7/7/2023	Site revision		

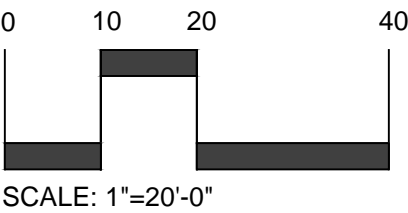
SCALE: 1" = 20'	DRAWN BY: MA	DATE: 6/8/2023
--------------------	-----------------	-------------------

SITE PLAN

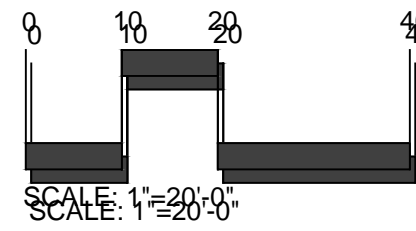
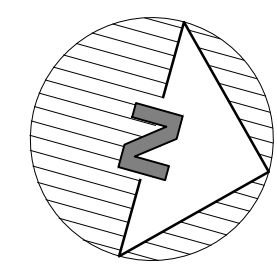
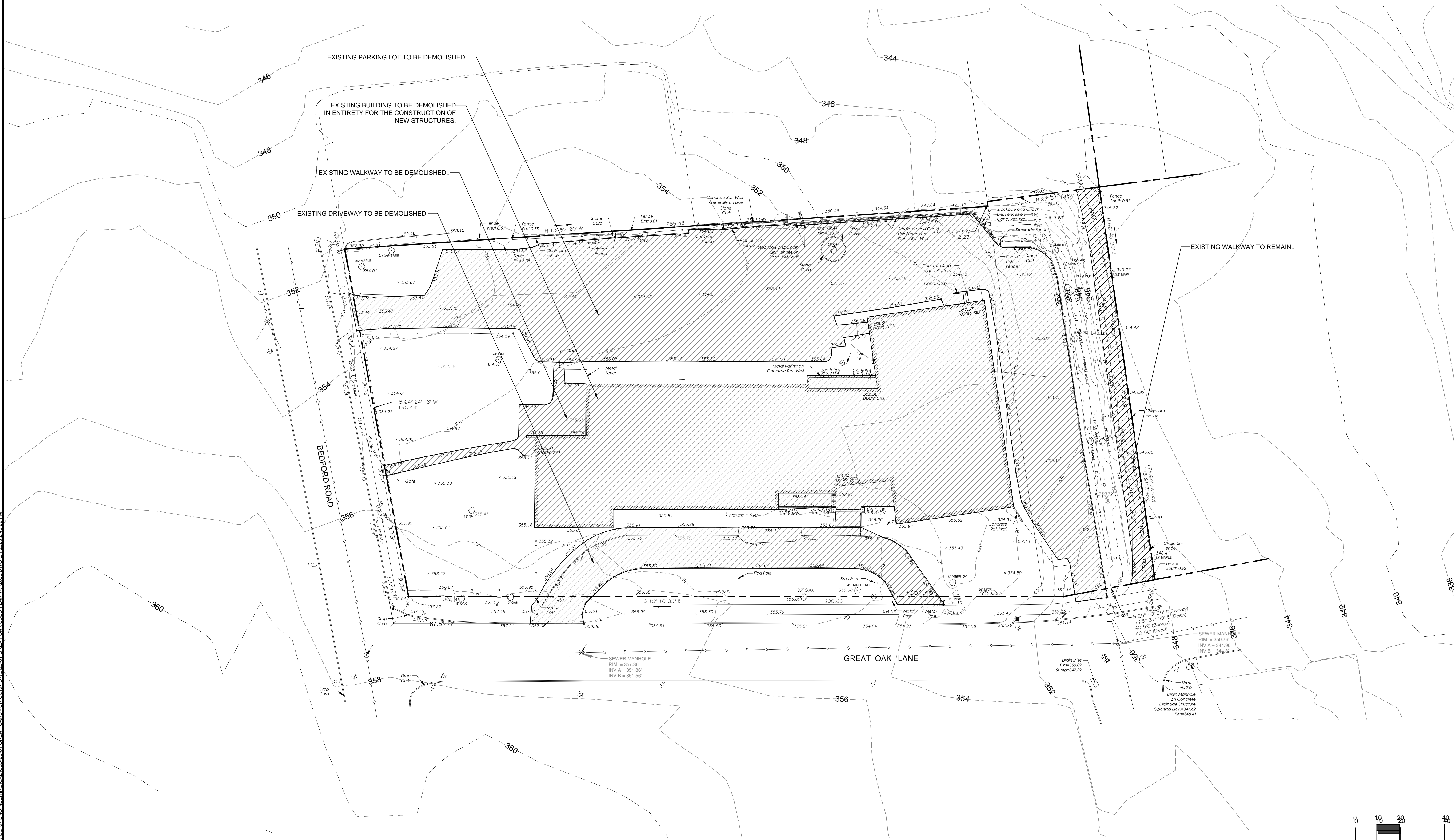
SUBDIVISION PLAN
PREPARED FOR
GREAT OAK LANE

Bedford Rd and Great Oak Ln.
Town Of Pleasantville, Westchester County, NY

C - 101



F:\2023\23-01 GREAT OAKS - UNICORP\ENGINEERING\CADD\23-01 GREAT OAK SUBD.BLAN 7-2-2023.DWG 6/11/2023 2:45:20 PM

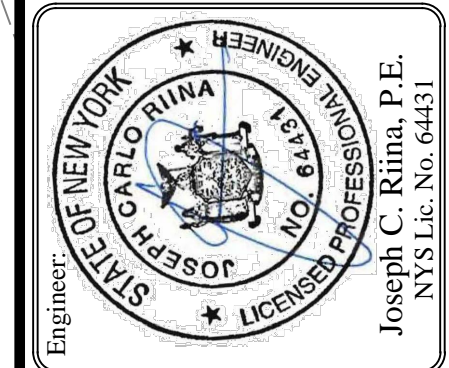


SAFE DIG
Before You Dig, Drill or Blast!
Call 811
Call 811 to locate underground utilities before you dig, drill or blast. It's the law in New York State. Call 811 at least 48 hours before you dig, drill or blast. For more information, visit www.call811ny.org

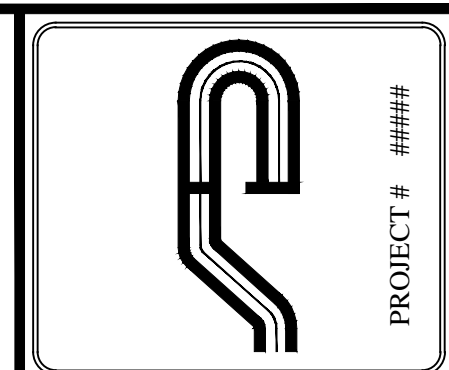
SUBDIVISION PLAN
PREPARED FOR
GREAT OAK LANE
Bedford Rd and Great Oak Ln.
Town Of Pleasantville, Westchester County, NY

**EXISTING
CONDITION**

Revisions:			
No.	Date	Comments:	
1	6/8/2023	Site design.	
2	6/28/2023	Site revision.	
3	7/7/2023	Site revision.	



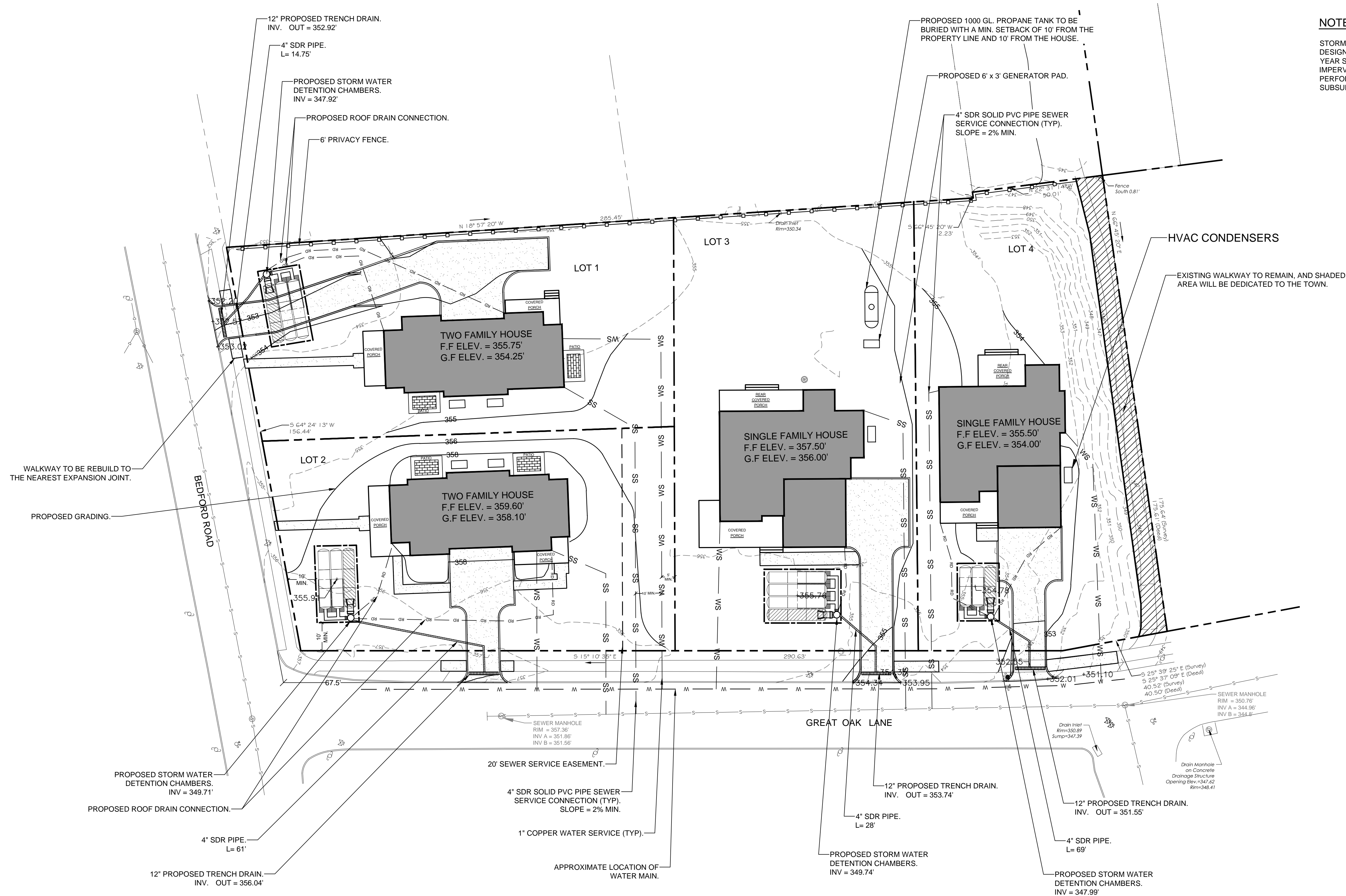
Site Design Consultants
Civil Engineers • Land Planners
251-F Underhill Avenue, Yorktown Heights, NY 10598
(914) 962-4488 - Fax: (914) 962-7386
www.sitedesignconsultants.com



COPYRIGHT © 2020 BY SITE DESIGN CONSULTANTS. ALL RIGHTS RESERVED

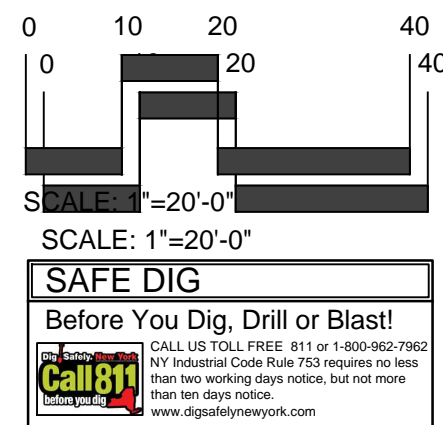
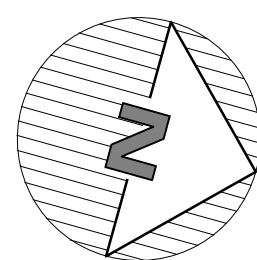
NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.


E:\2023\23-01 GREAT OAKS - LINCORN ENGINEERING\CD\23-01 GREAT OAKS - LINCORN\DWG\23-01 GREAT OAK SUBD PLAN 7.2.2023.DWG 6/11/2023 2:45:29 PM



NOTE:

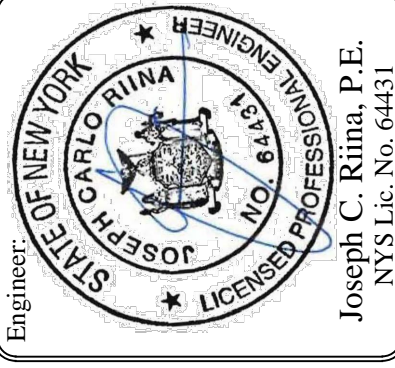
STORMWATER MANAGEMENT SYSTEMS DESIGN IS BASED ON RUN OFF FROM THE 25 YEAR STORM EVENT AS CONTRIBUTED FROM IMPERVIOUS SURFACES. SOIL TESTING TO BE PERFORMED FRO VERIFICATION OF SUBSURFACE'S CONDITION





PROJECT # ###

Site Design Consultants
Civil Engineers • Land Planners
251-F Underhill Avenue, Yorktown Heights, NY 10598
(914) 962-4488 - Fax: (914) 962-7386
www.sitedesignconsultants.com



Engineer: Joseph C. Rina, P.E.
NYS Lic. No. 64431

Revisions:	
No.	Date
1	6/8/2023 Site design
2	6/28/2023 Site revision
3	7/7/2023 Site revision

SCALE: 1" = 20'

DRAWN BY: MA

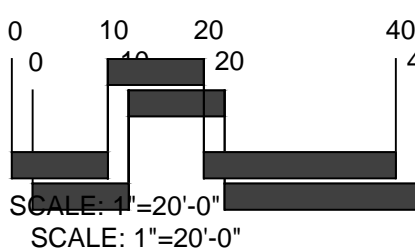
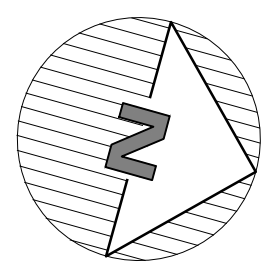
DATE: 5/30/2023

IMPROVEMENT PLAN

SUBDIVISION PLAN
PREPARED FOR
GREAT OAK LANE
Bedford Rd and Great Oak Ln.
Town Of Pleasantville, Westchester County, NY

C - 103

6/20/2023 2:40:01 PM GREAT OAKS - LINCORN ENGINEERING CAD 23.01 GREAT OAKS - LINCORN DIVISION 23.01 GREAT OAK SUBD PLAN 7.2 2023 DIVS 6/11/2023 2:45:20 PM



SAFE DIG
Before You Dig, Drill or Blast!
CALL US TOLL FREE 811 or 1-800-486-7867
NY Industrial Code Rule 232 requires no less
than ten days notice, but not more
than ten days notice.
www.digsaferenewyork.com

PROJECT # ###

Site Design Consultants
Civil Engineers • Land Planners
251-F Underhill Avenue, Yorktown Heights, NY 10598
(914) 962-4488 - Fax: (914) 962-7386
www.sitedesignconsultants.com

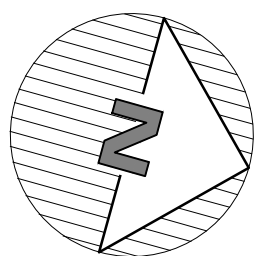
Revisions:	
No.	Date
1	6/8/2023 Site design
2	6/28/2023 Site revision
3	7/7/2023 Site revision

SCALE: 1" = 20'	DRAWN BY: MA	DATE: 5/30/2023
--------------------	-----------------	--------------------

**EROSION AND
SEDIMENT
CONTROL**

**SUBDIVISION PLAN
PREPARED FOR
GREAT OAK LANE**
Bedford Rd and Great Oak Ln.
Town Of Pleasantville, Westchester County, NY

C - 104




No.	Date	Comments:
1	6/8/2023	Site design.
2	6/29/2023	Site revision.
3	7/7/2023	Site revision.

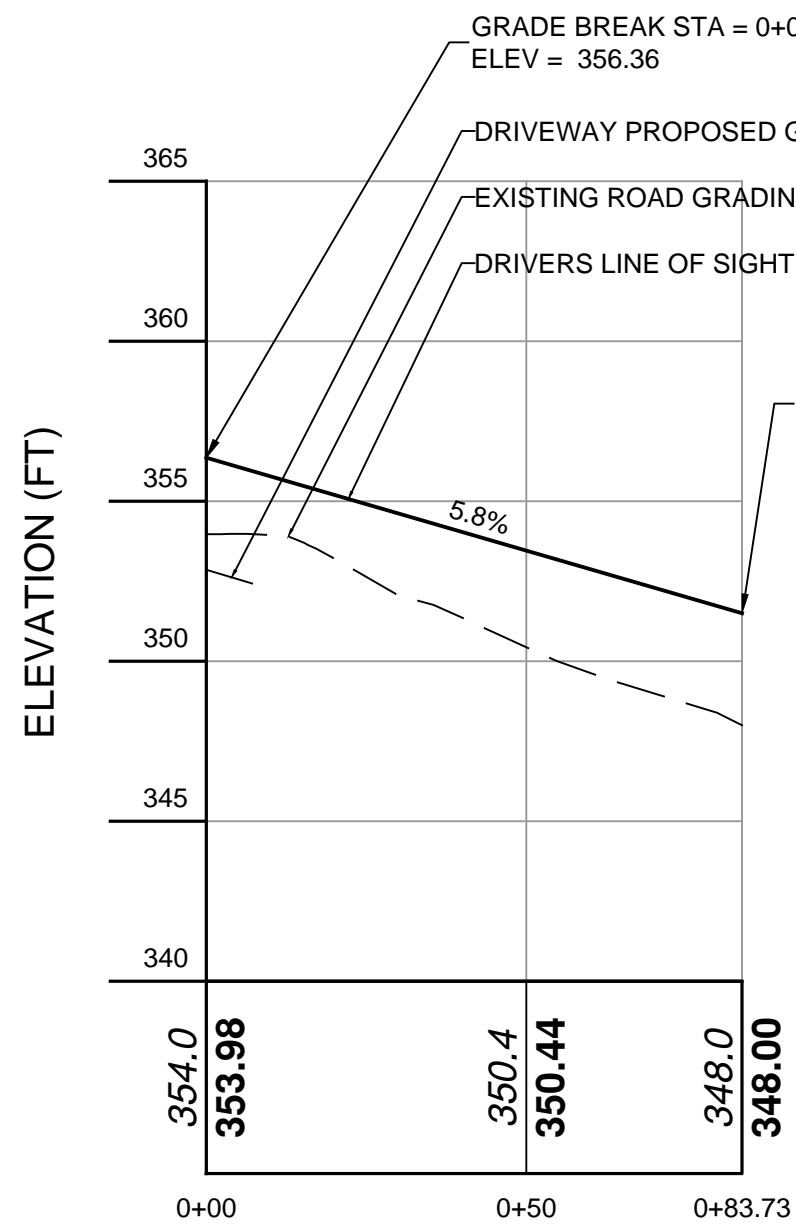
DRAWN BY:
MA

DATE:
5/30/2023

Site Design Consultants
Civil Engineers • Land Planners
251-F Underhill Avenue, Yorktown Heights, NY 10598
(914) 962-4488 • Fax: (914) 962-7386
www.sitedesignconsultants.com

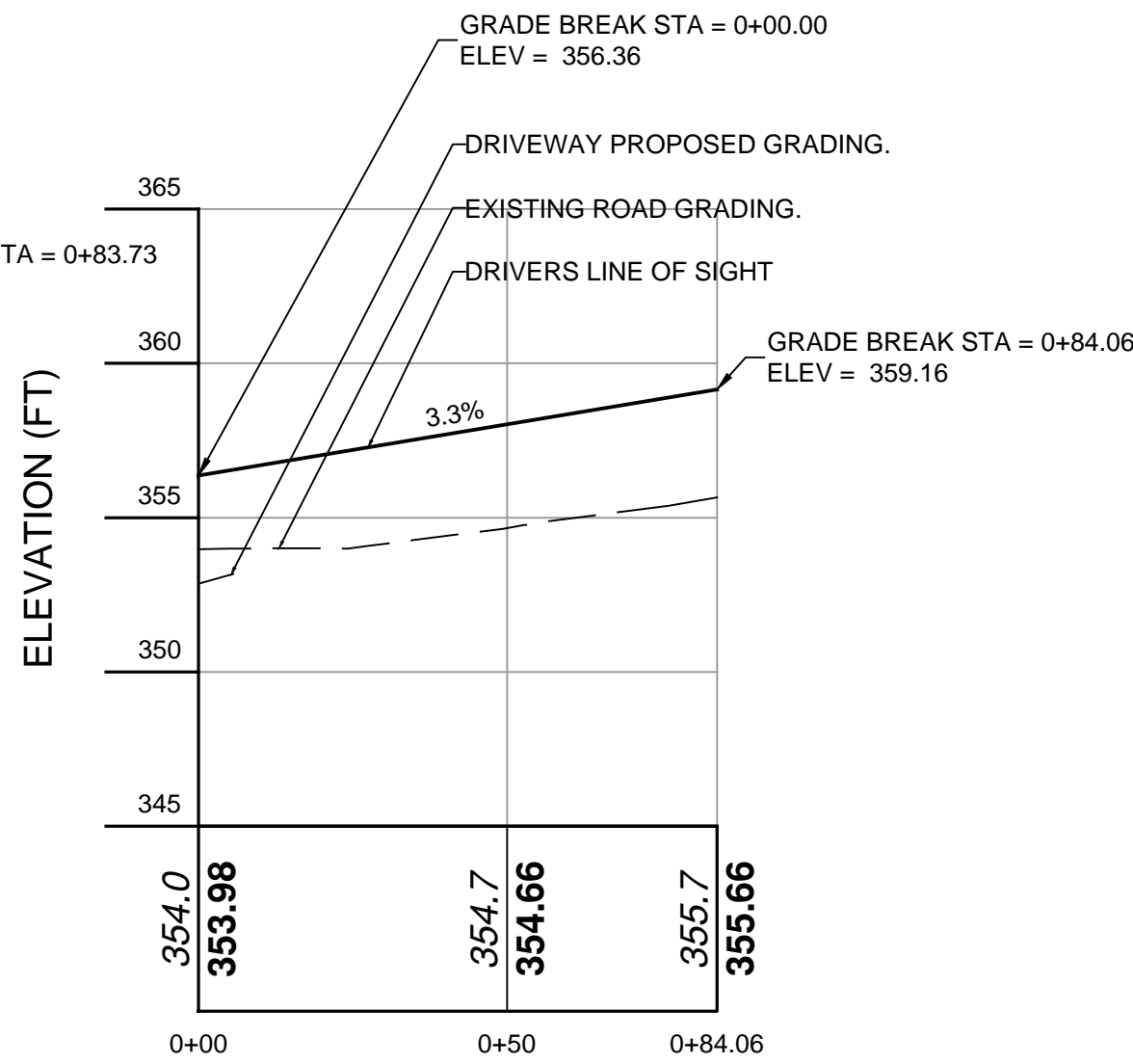


PROJECT # #####



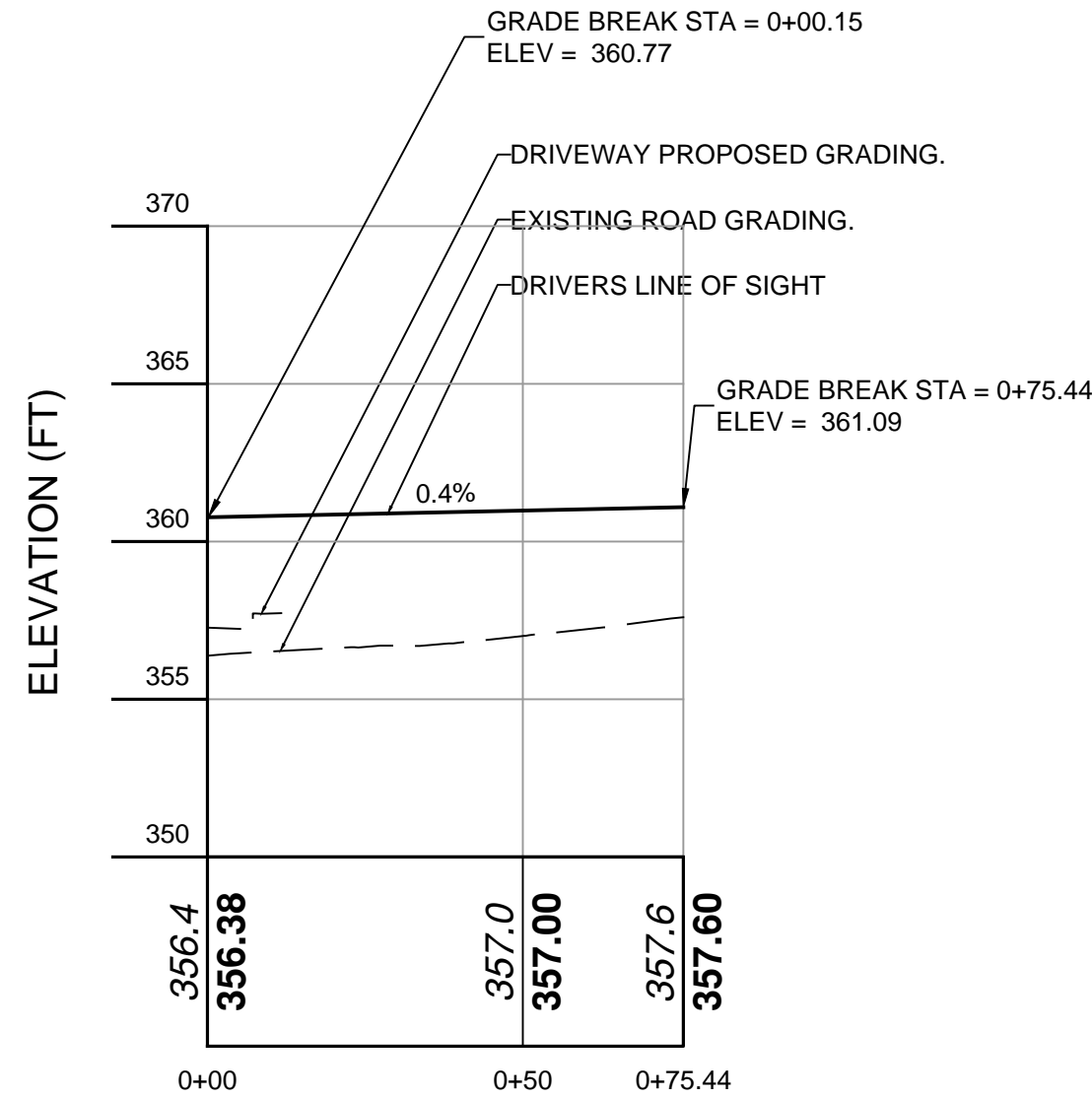
DISTANCE ALONG BASELINE (FT)

DRIVEWAY LEFT SIDE SIGHT DISTANCE (LOT#1)
VERT. SCALE: 1" = 2
HORIZ. SCALE: 1" = 10



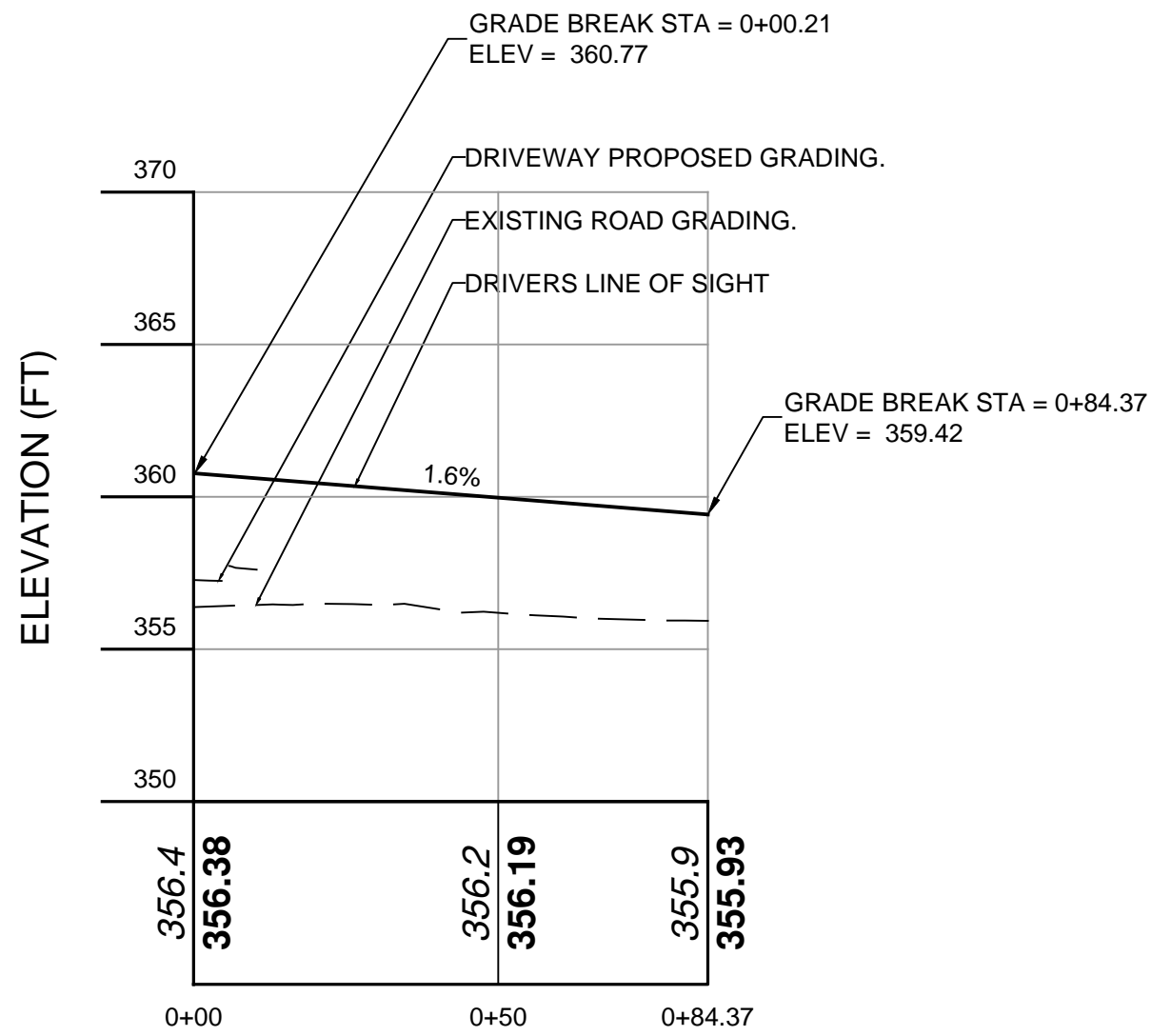
DISTANCE ALONG BASELINE (FT)

DRIVEWAY RIGHT SIDE SIGHT DISTANCE (LOT#1)
VERT. SCALE: 1" = 2
HORIZ. SCALE: 1" = 10



DISTANCE ALONG BASELINE (FT)

DRIVEWAY LEFT SIDE SIGHT DISTANCE (LOT#2)
VERT. SCALE: 1" = 2
HORIZ. SCALE: 1" = 10

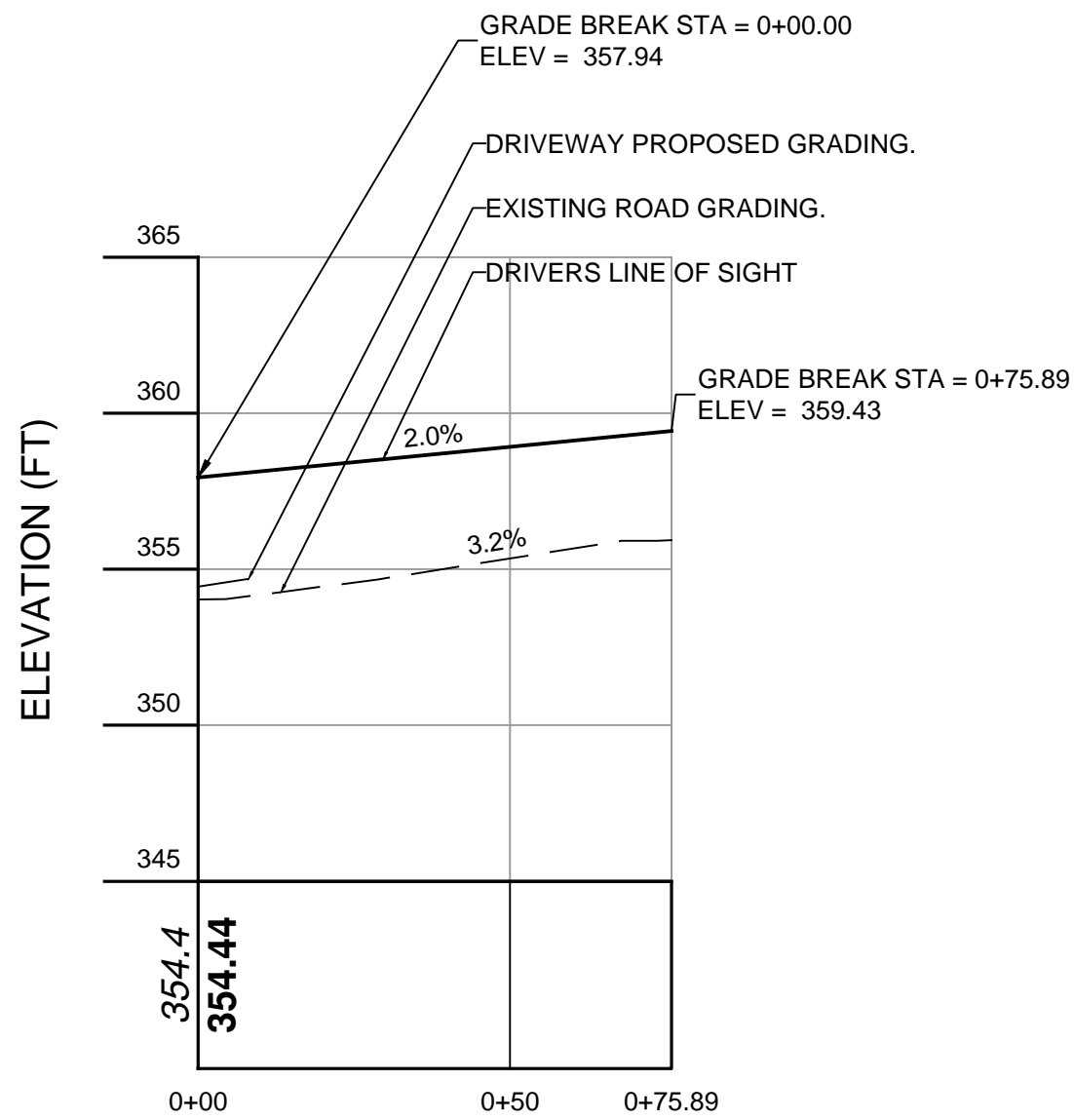


DISTANCE ALONG BASELINE (FT)

DRIVEWAY RIGHT SIDE SIGHT DISTANCE (LOT#2)
VERT. SCALE: 1" = 2
HORIZ. SCALE: 1" = 10

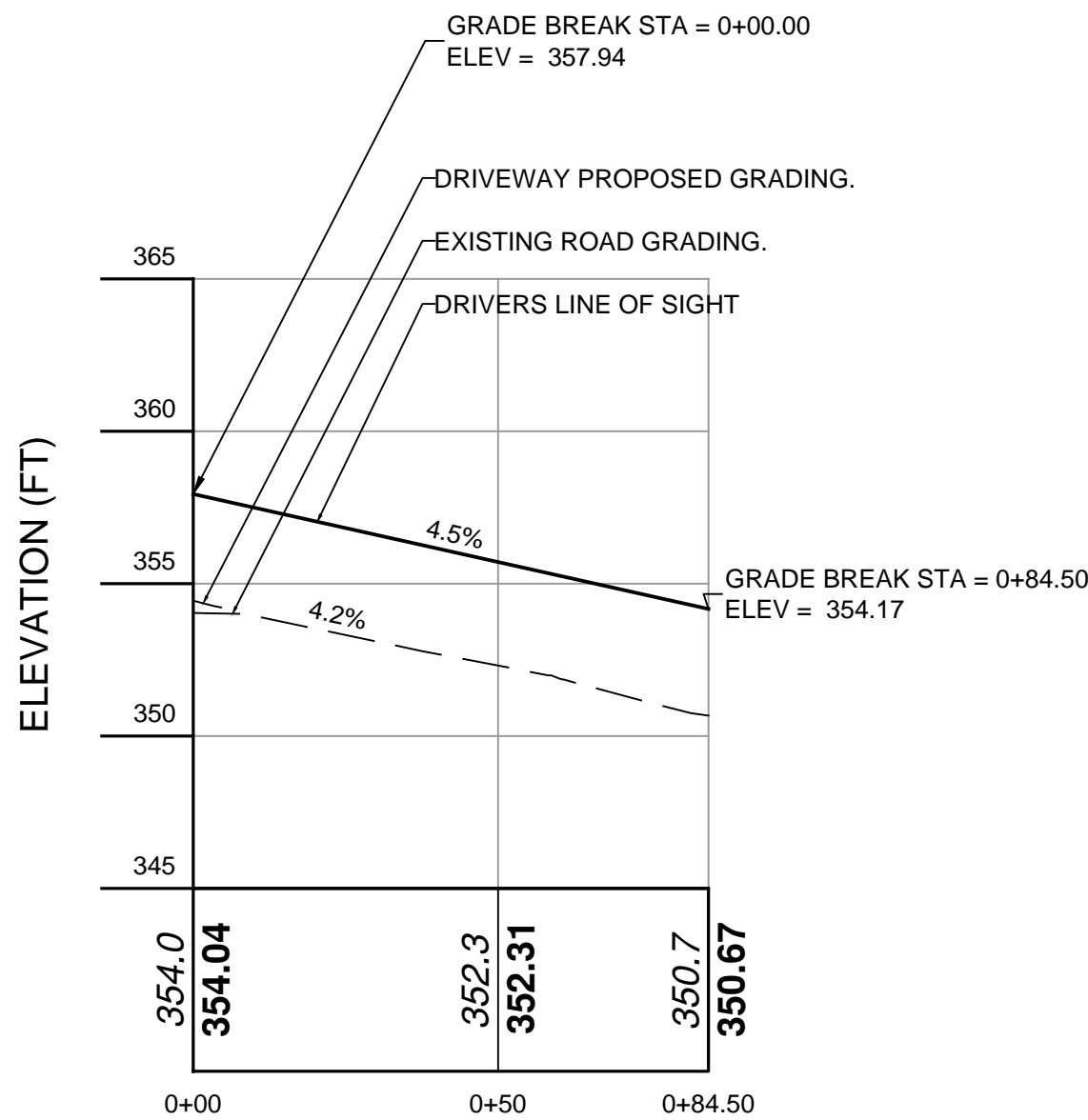
SIGHT DISTANCE LOT 1

SIGHT DISTANCE LOT 2



DISTANCE ALONG BASELINE (FT)

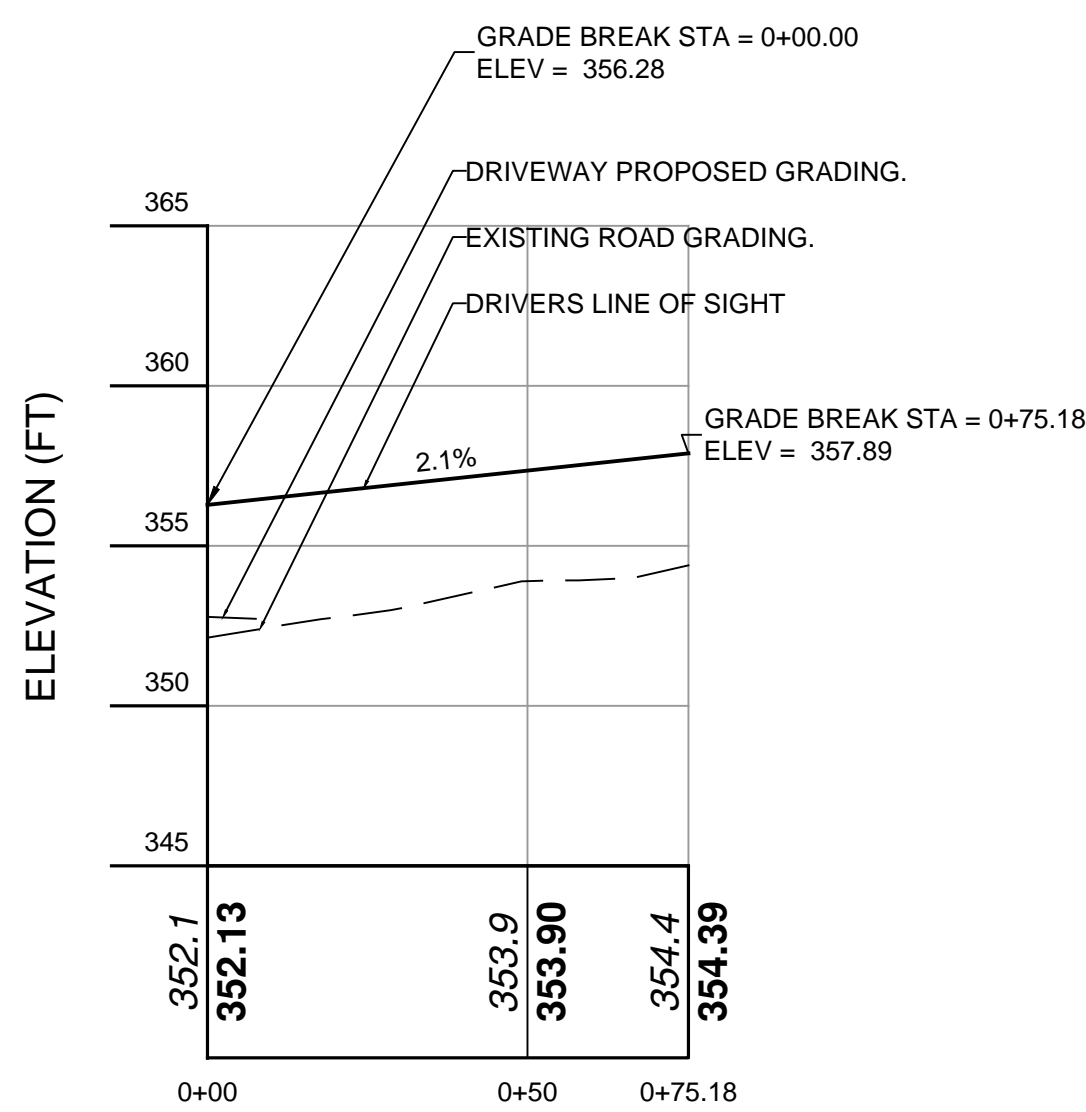
DRIVEWAY LEFT SIDE SIGHT DISTANCE (LOT#3)
VERT. SCALE: 1" = 2
HORIZ. SCALE: 1" = 10



DISTANCE ALONG BASELINE (FT)

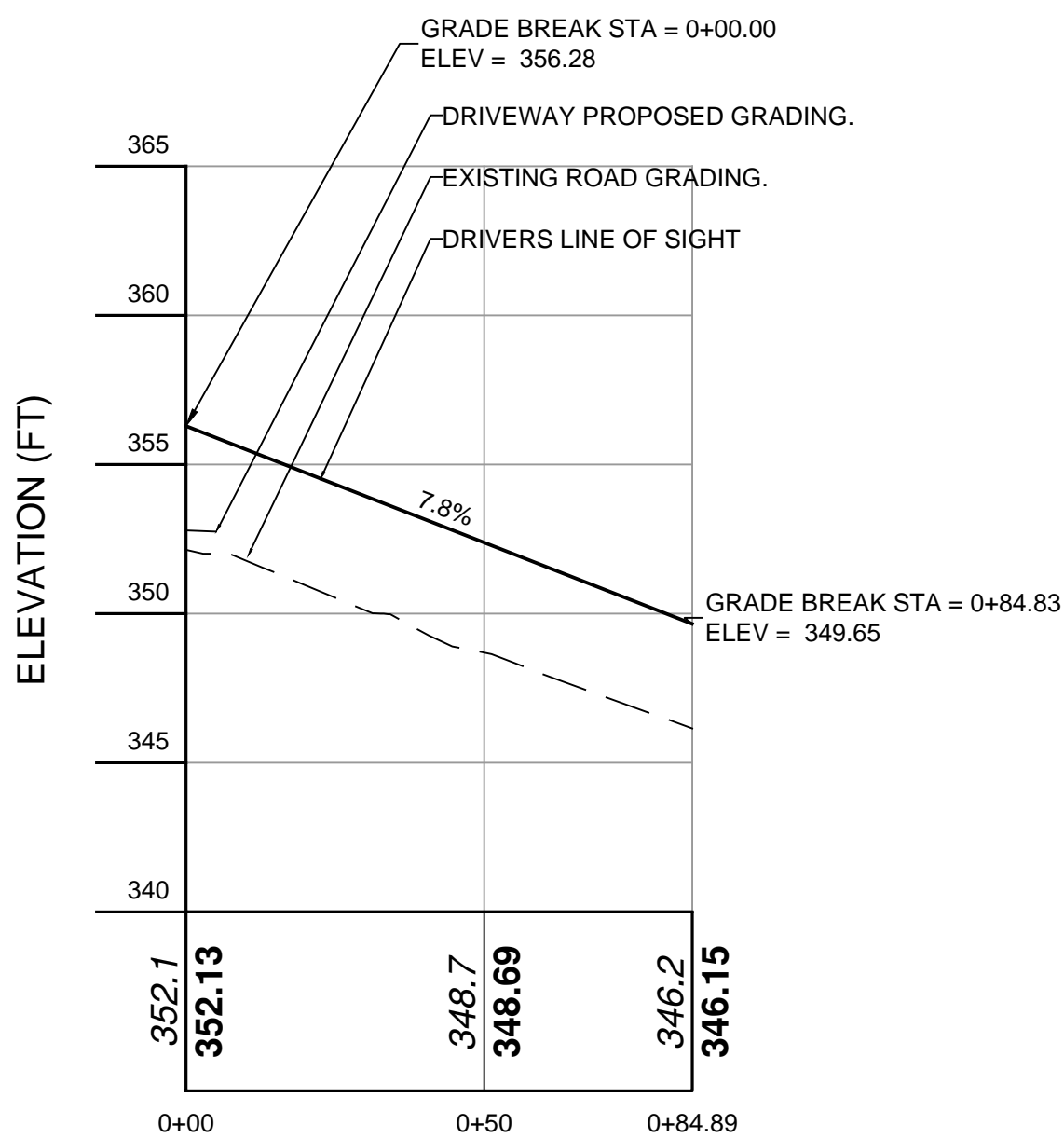
DRIVEWAY RIGHT SIDE SIGHT DISTANCE (LOT#3)
VERT. SCALE: 1" = 2
HORIZ. SCALE: 1" = 10

SIGHT DISTANCE LOT 3



DISTANCE ALONG BASELINE (FT)


DRIVEWAY LEFT SIDE SIGHT DISTANCE (LOT#4)
VERT. SCALE: 1" = 2
HORIZ. SCALE: 1" = 10



DISTANCE ALONG BASELINE (FT)

DRIVEWAY RIGHT SIDE SIGHT DISTANCE (LOT#4)
VERT. SCALE: 1" = 2
HORIZ. SCALE: 1" = 10

SIGHT DISTANCE LOT 4



PROJECT # ###

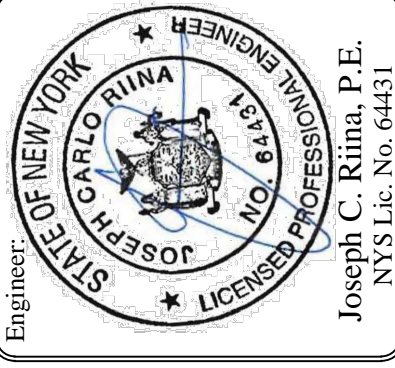
Site Design Consultants

Civil Engineers • Land Planners

251-F Underhill Avenue, Yorktown Heights, NY 10598

(914) 962-4488 - Fax: (914) 962-7386

www.sitedesignconsultants.com



Engineer:
JOSEPH C. RIMA, P.E.
NYS Lic. No. 64431

Revisions:	
No.	Date
1	6/5/2023
2	6/28/2023
3	7/7/2023

SCALE:
1" = 20'

DRAWN BY:
MA

DATE:
5/30/2023

SUBDIVISION PLAN
PREPARED FOR

GREAT OAK LANE

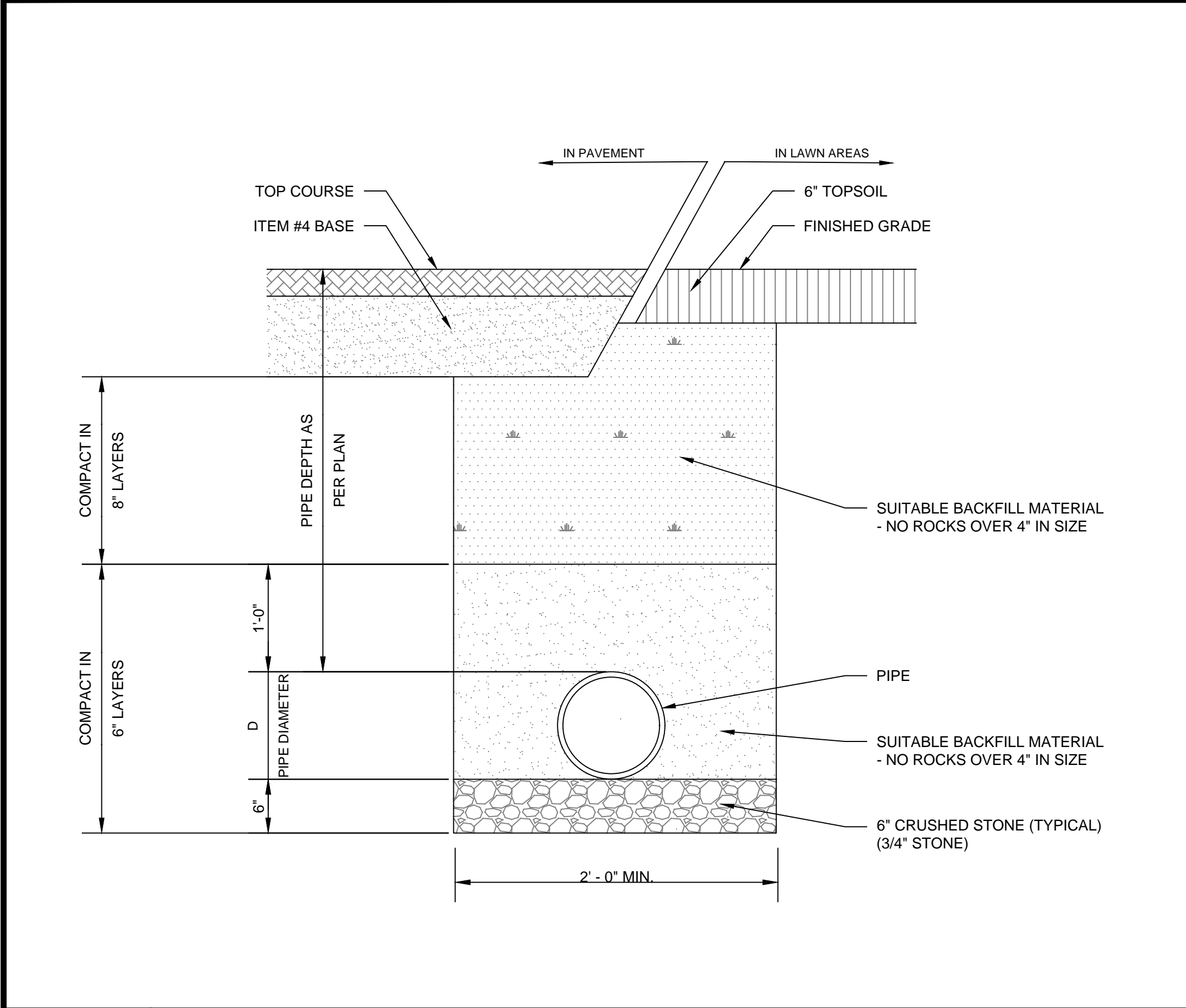
Bedford Rd and Great Oak Ln.

Town Of Pleasantville, Westchester County, NY

C - 106

E:\2023\23-01 GREAT OAKS - LINCORNI ENGINEERING\CAD\23-01 GREAT OAKS - LINCORNI\DWG\23-01 GREAT OAK SUBD PLAN 7.2.2023.DWG 6/11/2023 2:45:29 PM

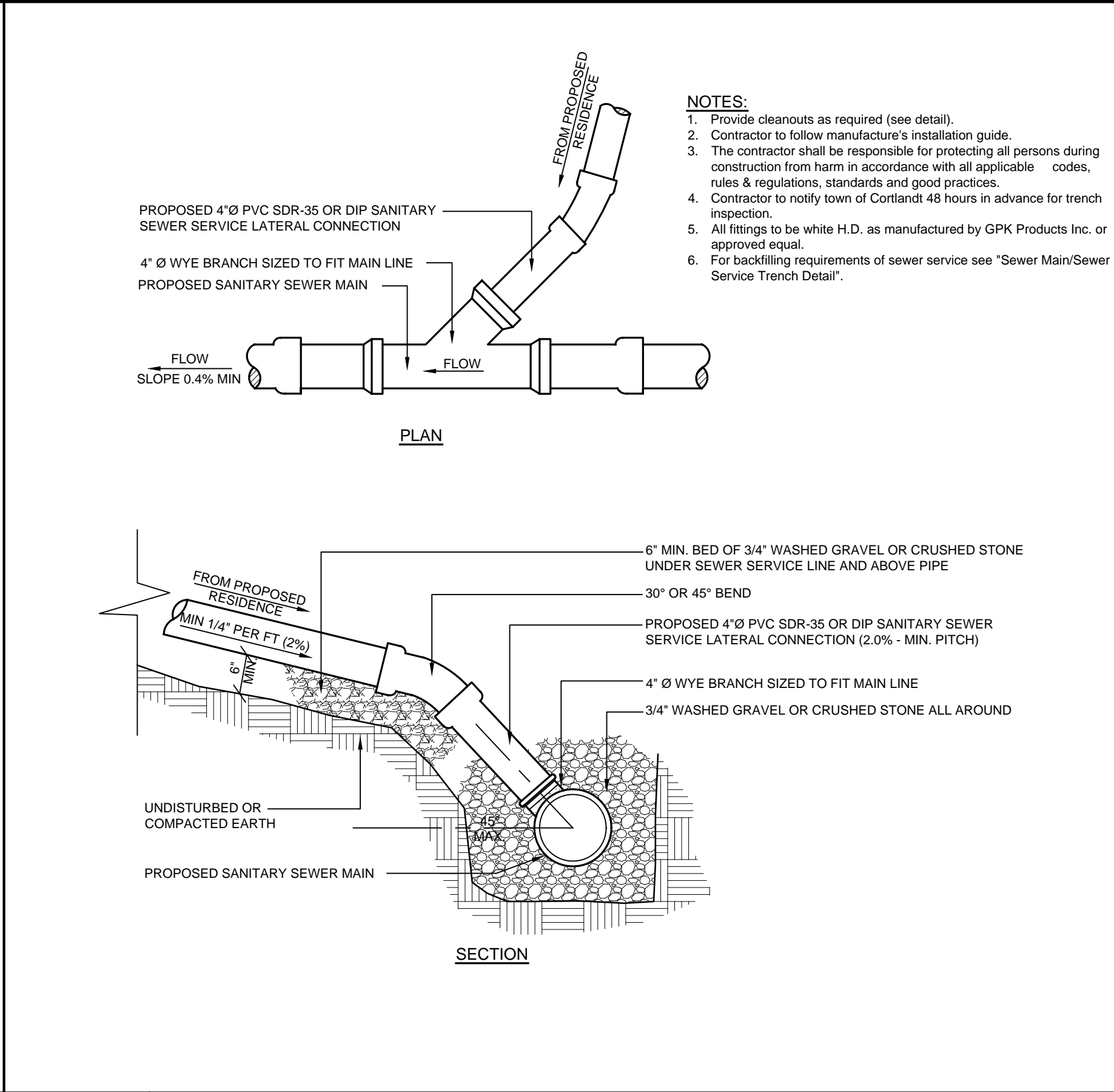
E:\2023\23-01 GREAT OAKS - LINCOLN ENGINEERING\CD\23-01 GREAT OAKS - LINCOLN\DWG\23-01 GREAT OAK DETAIL SHEET 6-8-2023.DWG 11/8/2017 3:18:52 PM



S-1

SEWER MAIN / SEWER SERVICE TRENCH DETAIL

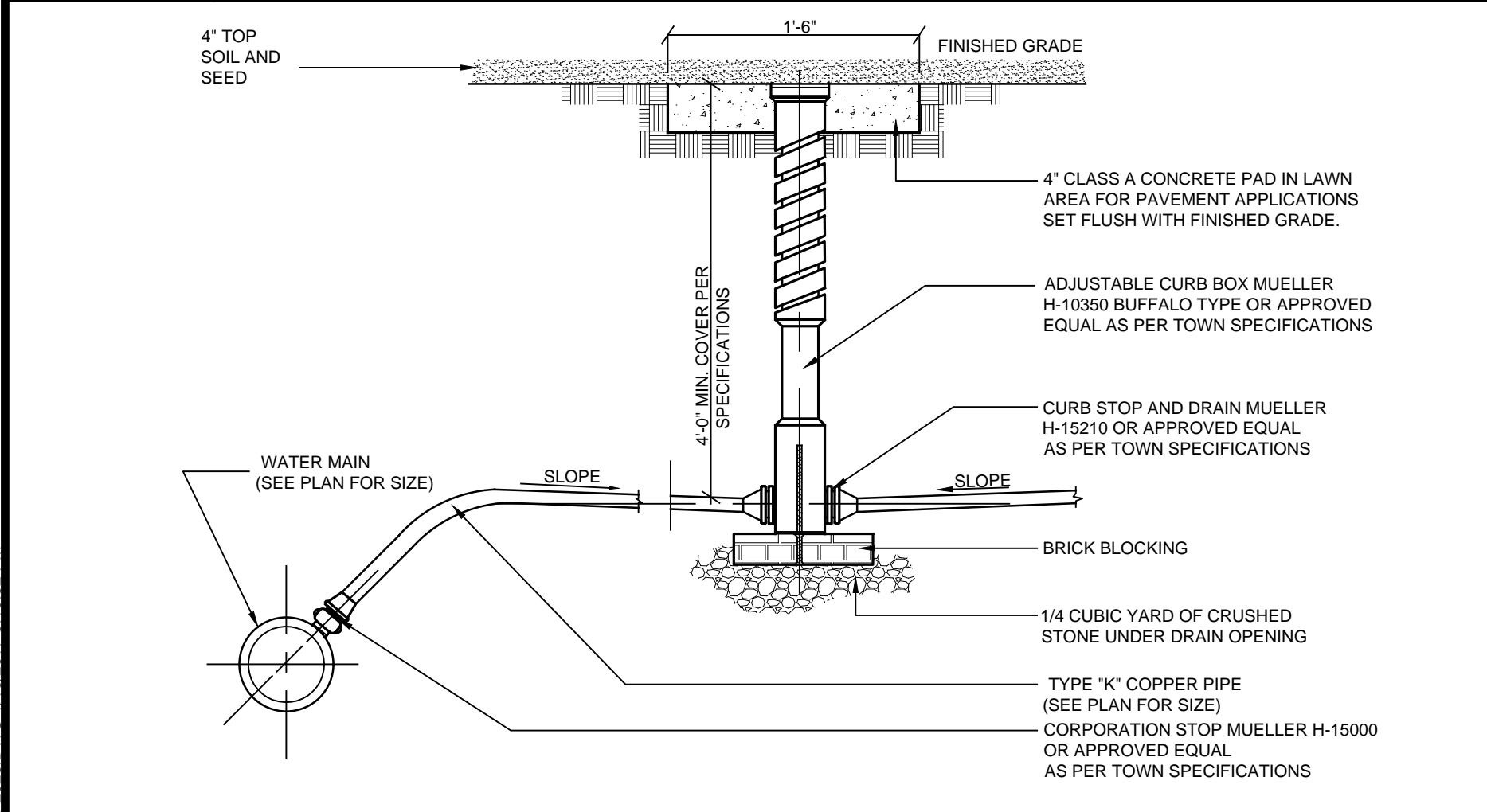
NOT TO SCALE



S-X

SEWER CONNECTION TO PROPOSED MAIN-LINE DETAIL

NOT TO SCALE



W-1

WATER SERVICE CONNECTION DETAIL

NOT TO SCALE

GENERAL NOTES:

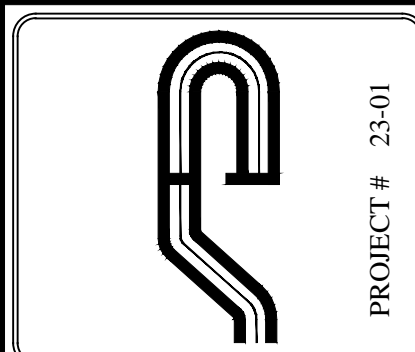
1. THE ENGINEER WHOSE SEAL APPEARS HEREON IF NOT RETAINED FOR SUPERVISION OF CONSTRUCTION, IS NOT RESPONSIBLE FOR CONSTRUCTION AND THEREFORE ASSUMES NO RESPONSIBILITY FOR CONSTRUCTION PRACTICES, PROCEDURES, AND RESULTS THEREFROM.
2. THE ENGINEER SHALL NOT BE HELD RESPONSIBLE OR HELD ACCOUNTABLE FOR THE INTEGRITY OF ANY STRUCTURES CONSTRUCTED OR UNDER CONSTRUCTION PRIOR TO THE APPROVAL OF THE PLANS.
3. ALL WORK IS TO BE IN ACCORDANCE WITH THE YORKTOWN TOWN CODE AND NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
4. ALL CONDITIONS, LOCATIONS, AND DIMENSIONS SHALL BE FIELD VERIFIED AND THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED OF ANY DISCREPANCIES.
5. ALL CHANGES MADE TO THE PLANS SHALL BE APPROVED BY THE ENGINEER WHOSE SEAL APPEARS ON THESE DRAWINGS. ANY SUCH CHANGES SHALL BE FILED AS AMENDMENTS TO THE STORMWATER POLLUTION PREVENTION PLAN.
6. ALL WRITTEN DIMENSIONS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER ANY SCALED DIMENSIONS.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CALL IN A "CODE 753" PRIOR TO CONSTRUCTION FOR UNDERGROUND UTILITY LOCATIONS.
8. SUBSTRUCTURES AND THEIR ENCROACHMENTS BELOW GRADE, IF ANY, ARE NOT SHOWN.
9. ANY PROPOSED ELECTRIC AND/OR TELEPHONE SERVICE LINES ARE TO BE PLACED UNDERGROUND.
10. THE DESIGN ENGINEER DISCLAIMS ANY LIABILITY FOR DAMAGE OR LOSS INCURRED DURING OR AFTER CONSTRUCTION.
11. ALL CONDITIONS, LOCATIONS AND DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND THE OWNER/ENGINEER NOTIFIED IN WRITING OF ANY DISCREPANCIES PRIOR TO THE START OF WORK. THE OWNER/ENGINEER WILL EVALUATE THE SITUATION AND MODIFY THE PLAN AS NECESSARY.

CONTRACTOR RESPONSIBILITIES:

1. ALL WORK ON THE PROJECT SHALL BE PERFORMED IN A WORKMAN LIKE MANNER AND SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INDUSTRY. THE OWNER WILL BE THE SOLE JUDGE OF THE ACCEPTABILITY OF THE WORK. MATERIALS AND WORK DEEMED UNACCEPTABLE WILL BE REMOVED AND REDONE AT THE SOLE COST AND RESPONSIBILITY OF THE CONTRACTOR.
2. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT HIS WORK AND WILL BE HELD RESPONSIBLE FOR CONSEQUENTIAL DAMAGES DUE TO HIS ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR THE ACTS AND OMISSIONS OF HIS EMPLOYEE, AND THEIR AGENTS AND EMPLOYEES, AND ANY OTHER PERSONS PERFORMING ANY OF THE WORK UNDER A SEPARATE CONTRACT WITH THE CONTRACTOR.
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROPERLY SHORE EXISTING UTILITIES IF REQUIRED BY CONSTRUCTION.
4. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE TOWN ENGINEER IN ADVANCE OF HIS WORK OR AS THE INSPECTOR DEEMS APPROPRIATE.
5. ALL CONDITIONS, LOCATIONS AND DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND THE OWNER/ENGINEER NOTIFIED IN WRITING OF ANY DISCREPANCIES PRIOR TO THE START OF WORK. THE OWNER/ENGINEER WILL EVALUATE THE SITUATION AND MODIFY THE PLAN AS NECESSARY.
6. ALL CHANGES MADE TO THIS PLAN SHALL BE APPROVED BY THE ENGINEER WHOSE SEAL APPEARS ON THESE DRAWINGS. ANY UNAUTHORIZED ALTERATION OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.
7. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING HIS BEST SKILL AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THIS CONTRACT.
8. THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR THE ACTS AND OMISSIONS OF HIS EMPLOYEES, SUBCONTRACTORS, AND THEIR AGENTS AND EMPLOYEES, AND ANY OTHER PERSONS PERFORMING ANY OF THE WORK UNDER A CONTRACT WITH THE CONTRACTOR.
9. THE CONTRACTOR SHALL VERIFY ALL SUBSTRUCTURES ENCOUNTERED DURING CONSTRUCTION.
10. THE CONTRACTOR SHALL SECURE & PAY FOR A BUILDERS RISK POLICY TO COVER THE PERIOD OF CONSTRUCTION. THE ENGINEER & OWNER SHALL BE NAMED AS ADDITIONAL INSURED. ALL CONTRACTORS EMPLOYED AT THE SITE SHALL BE COVERED BY WORKMAN'S COMPENSATION.

GENERAL CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL REQUEST A BENCH MARK FROM THE SURVEYOR IN THE SAME DATUM AS THE DESIGN PLANS.
2. FINISHED GRADES SHALL BE OF SUCH ELEVATION THAT THE GROUND WILL SLOPE AWAY FROM STRUCTURES IN ALL DIRECTIONS.
3. CONSTRUCTION ACTIVITY SHALL BE LIMITED FROM 8:00 A.M. TO 6 P.M., AND NO CONSTRUCTION ACTIVITY SHALL OCCUR ON SUNDAYS OR LEGAL NEW YORK STATE HOLIDAYS. WHERE BLASTING IS NECESSARY, IT SHALL OCCUR FROM MONDAY THROUGH FRIDAY BETWEEN THE HOURS OF 8:00 A.M. AND 6:00 P.M. NO BLASTING SHALL OCCUR ON HOLIDAYS, SATURDAY OR SUNDAY. ALL BLASTING SHALL ALSO BE COMPLETED IN ACCORDANCE WITH THE TOWN OF YORKTOWN AND NEW YORK STATE BLASTING ORDINANCES.
4. ANY SOIL THAT IS UNSUITABLE FOR DEVELOPMENT OF BUILDINGS OR ROADWAYS SHALL BE REMOVED FROM AREAS TO BE DEVELOPED AND SHALL BE DISPOSED OF WITHIN THE SITE IN NEW EMBANKMENTS WHERE STRUCTURAL LOADING, I.E. A BUILDING OR ROADWAY, WILL NOT TAKE PLACE. WHEN CONSTRUCTION IS PROPOSED TO OCCUR IN SPECIFIC AREAS WHERE SOILS ARE OF QUESTIONABLE SUITABILITY, THE OWNER SHALL RETAIN A SOILS ENGINEER TO EVALUATE AND PREPARE A DESIGN FOR THE CONDITION.
5. ROCK CUT STABILITY IS TO BE FIELD VERIFIED BY A GEOTECHNICAL ENGINEER AND SHALL BE MODIFIED IF REQUIRED.
6. NO CRUSHING/PROCESSING IS PERMITTED ON THE SITE WITHOUT PRIOR APPROVAL BY THE TOWN OF YORKTOWN PLANNING BOARD.
7. ALL DEMOLITION DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH FEDERAL, STATE, OR LOCAL STANDARDS. IF NECESSARY THE REMOVAL SHALL BE DONE BY A CONTRACTOR LICENSED TO REMOVE AND DISPOSE OF VARIOUS MATERIALS



PROJECT # 23-01

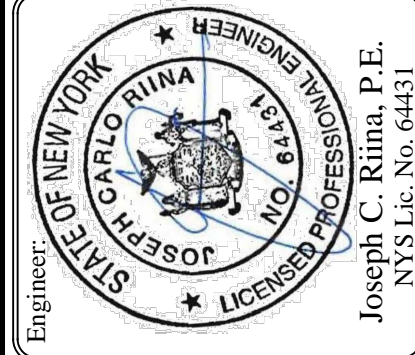
Site Design Consultants

Civil Engineers • Land Planners

251-F Underhill Avenue, Yorktown Heights, NY 10598

(914) 962-4488 - Fax: (914) 962-7386

www.sitedesignconsultants.com



Revisions:		No.	Date	Comments
1	6/8/2023	Site design		
2	6/28/2023	Site revision		
3	7/7/2023	Site revision		

SCALE:	DRAWN BY: MA	DATE: 6/8/2023
--------	--------------	----------------

**UTILITIES
DETAILS**

SUBDIVISION PLAN
PREPARED FOR
GREAT OAK LANE

Bedford Rd and Great Oak Ln.

Town Of Pleasantville, Westchester County, NY

C - 501

GENERAL EROSION CONTROL NOTES:

- Contractor shall be responsible for compliance with all sediment and erosion control practices. The sediment and erosion control practices are to be installed prior to any major soil disturbances, and maintained until permanent protection is established. Road surface flows from the site should be dissipated with tracking pad or appropriate measures during adjacent road shoulder regrading. Contractor is responsible for the installation and maintenance of all soil erosion and sedimentation control devices throughout the course of construction.
- Catch basin inlet protection must be installed and operating at all times until tributary areas have been stabilized. When possible flows should be stabilized before reaching inlet protection structure. Timely maintenance of sediment control structures is the responsibility of the Contractor.
- All structures shall be maintained in good working order at all times. The sediment level in all sediment traps shall be closely monitored and sediment removed promptly when maximum levels are reached or as ordered by the engineer. All sediment control structures shall be inspected on a regular basis, and after each heavy rain to insure proper operation as designed. An inspection schedule shall be set forth prior to the start of construction.
- The locations and the installation times of the sediment capturing standards shall be as specified in these plans, as ordered by the Engineer, and in accordance with the latest edition of the "New York Standards and Specifications for Erosion and Sediment Control" (NYSSESC).
- All topsoil shall be placed in a stabilized stockpile for reuse on the site. All stockpile material required for final grading and stored on site shall be temporarily seeded and mulched within 7 days. Refer to soil stockpile details.
- Any disturbed areas that will be left exposed more than 7 days and not subject to construction traffic, shall immediately receive temporary seeding. Mulch shall be used if the season prevents the establishment of a temporary cover. Disturbed areas shall not be limed and fertilized prior to temporary seeding.
- All disturbed areas within 500 feet of an inhabited dwelling shall be wetted as necessary to provide dust control.
- The contractor shall keep the roadways within the project clear of soil and debris and is responsible for any street cleaning necessary during the course of the project.
- Sediment and erosion control structures shall be removed and the area stabilized when the drainage area has been properly stabilized by permanent measures.
- All sediment and erosion control measures shall be installed in accordance with current edition of NYSSESC.
- All regraded areas must be stabilized appropriately prior to any rock blasting, cutting, and/or filling of soils. Special care should be taken during construction to insure stability during maintenance and integrity of control structures.
- Any slopes graded at 3:1 or greater shall be stabilized with erosion blankets to be staked into place in accordance with the manufactures requirements. Erosion blankets may also be required at the discretion of Town officials or Project Engineer. When stabilized blanket is utilized for channel stabilization, place all of the volume of seed mix prior to laying net, or as recommended by the manufacturer.
- To prevent heavy construction equipment and trucks from tracking soil off-site, construct a pervious crushed stone pad. Locate and construct pads as detailed in these plans.
- Contractor is responsible for controlling dust by sprinkling exposed soil areas periodically with water as required. Contractor to supply all equipment and water.
- Contractor shall be responsible for construction inspections as per NYSDEC GP-0-15-002 and Town of Yorktown Code.

MAINTENANCE OF TEMPORARY EROSION AND SEDIMENT CONTROL STRUCTURES:

- N.Y.S.D.E.C. GP-0-15-002 EXPOSURE RESTRICTIONS - States that any exposed earthwork shall be stabilized in accordance with the guidelines of this plan.
- Trees and vegetation shall be protected at all times as shown on the detail drawing and as directed by the Engineer.
 - Care should be taken so as not to channel concentrated runoff through the areas of construction activity on the site.
 - Fill and site disturbances should not be created which causes water to pond off site or on adjacent properties.
 - Runoff from land disturbances shall not be discharged or have the potential to discharge off site without first being intercepted by a control structure, such as a sediment trap or silt fence. Sediment shall be removed before exceeding 50% of the retention structure's capacity.
 - For finished grading, adequate grade shall be provided so that water will not pond on lawns for more than 24 hours after rainfall, except in swale flow areas which may drain for as long as 48 hours after rainfall.
 - All swales and other areas of concentrated flow shall be properly stabilized with temporary control measures to prevent erosion and sediment travel. Surface flows over cut and fill areas shall be stabilized at all times.
 - All sites shall be stabilized with erosion control materials within 7 days of final grading.
 - Temporary sediment trapping devices shall be removed from the site within 30 days of final stabilization.

MAINTENANCE SCHEDULE:

	DAILY	WEEKLY	MONTHLY	AFTER RAINFALL	NECESSARY TO MAINTAIN FUNCTION	AFTER APPROVAL OF INSPECTOR
SILT FENCE	---	INSP.	----	INSP.	CLEAN/ REPLACE	REMOVE
WHEEL CLEANER	CLEAN	----	----	----	REPLACE	REMOVE

MAINTENANCE OF PERMANENT CONTROL STRUCTURES DURING CONSTRUCTION:

The stormwater management system and outlet structure shall be inspected on a regular basis and after every rainfall event. Sediment build up shall be removed from the inlet protection regularly to insure detention capacity and proper drainage. Outlet structure shall be free of obstructions. All piping and drain inlets shall be free of obstruction. Any sediment build up shall be removed.

MAINTENANCE OF CONTROLS AFTER CONSTRUCTION:

Controls (including respective outlet structures) should be inspected periodically for the first few months after construction and on an annual basis thereafter. They should also be inspected after major storm events.

DEBRIS AND LITTER REMOVAL:

Twice a year, inspect outlet structure and drain inlets for accumulated debris. Also, remove any accumulations during each mowing operation.

STRUCTURAL REPAIR/REPLACEMENT:

Outlet structure must be inspected twice a year for evidence of structural damage and repaired immediately.

EROSION CONTROL:

Unstable areas tributary to the basin shall immediately be stabilized with vegetation or other appropriate erosion control measures.

SEDIMENT REMOVAL:

Sediment should be removed after it has reached a maximum depth of five inches above the stormwater management system floor.

CONSTRUCTION SEQUENCE:

Refer to the Plan Set for all plans and details which relate to Construction Sequence.

- A licensed surveyor must define infrastructure locations, limits of disturbance, stormwater basin limits, and grades in the field prior to start of any construction. Limits of disturbance shall be marked with the installation of construction fence or approved equal. The extents of all of the stormwater management systems shall be cordoned off to minimize the disturbance on this area.
- Install all perimeter erosion control measures, construction access as shown on the Erosion and Sediment Control Plan and the associated Details. Install silt fencing at the bottom of slopes.
- Strip site and place topsoil in stockpile locations shown on the plan.
- Begin rough grading the site. Contractor to limit exposure of denuded soils by providing temporary stabilization for work areas that will remain undisturbed for over seven (7) days. Excess material shall be stockpiled in the location shown on the plan as grades allow. Material unable to be stockpiled shall be removed from the site.
- Rough grade building and driveway.
- Begin construction of building
- Begin the excavation and installation of stormwater management system. Protect trenches and open excavations from erosion. Entry into the system shall be blocked off until site has reached final stabilization. Once system has been installed, backfill, seed where necessary, and reinstall measures to cordon off the system from disturbance.
- During site construction maintain and re-establish as required erosion control and stabilization measures as required by the site plan and details.
- Excavate to the sub-grade level. Scarify the existing soil to a depth of 12-inches by rototilling or other means acceptable to the Engineer. Install all courses of stone as per the specifications given on the Plan.
- Install base course of item 4 in all pavement areas. Stabilize all open areas with seed and mulch.
- Construct remainder of building, driveway and parking areas. Install asphalt binder. Once binder course is installed, drainage outlet may be unblocked.
- Grade, place final soil topping and put in place permanent vegetative cover over all disturbed areas, landscape beds, slopes, etc.
- Once site stabilization has taken place (An area shall be considered to have achieved final stabilization when it has a minimum uniform 80% perennial vegetative cover or other permanent non-vegetative cover with a density sufficient to resist accelerated surface erosion and subsurface characteristics sufficient to resist sliding and other movements), remove all temporary erosion and sediment controls, unplug the drainage system to allow runoff to enter the stormwater management system.

Winter Stabilization Notes:

If construction activities are expected to extend into or occur during the winter season the contractor shall anticipate proper stabilization and sequencing. Construction shall be sequenced such that wherever possible areas of disturbance that can be completed and permanently stabilized shall be done by applying and establishing permanent vegetative cover before the first frost. Areas subject to temporary disturbance that will not be worked for an extended period of time shall be treated with temporary seed, mulch, and/or erosion blankets.

TOPSOIL:

Existing topsoil will be removed and stored in piles sufficiently as to avoid mixing with other excavation. Stockpiles shall be surrounded by erosion control as outlined on these plans. The furnishing of new topsoil shall be of a better or equal to the following criteria (SS713.01 NYSDOT):

- The pH of the material shall be 5.5 to 7.6.
- The organic content shall not be less than 2% or more than 70%.
- Gradation:

SIEVE SIZE	% PASSING BY WGT.
2 INCH	100
1 INCH	85 TO 100
1/4 INCH	65 TO 100
NO. 200 MESH	20 TO 80

PERMANENT VEGETATIVE COVER:

- Site preparation:
 - Install erosion control measures.
 - Scarify compacted soil areas.
 - Lime as required to ph 6.5.
 - Fertilize with 10-6-4 4 lbs/1,000 S.F.
 - Incorporate amendments into soil with disc harrow.
- Seed mixtures for use on swales and cut and fill areas.

MIXTURE	LBS./ACRE
ALT. A	KENTUCKY BLUE GRASS 20
	CREeping RED FESCUE 28
	RYE GRASS OR REDTOP 5
ALT. B	CREeping RED FESCUE 20
	REDTOP 2
	TALL FESCUE/SMOOTH BLOOMGRASS 20
- SEEDING
 - Prepare seed bed by raking to remove stones, twigs, roots and other foreign material.
 - Apply soil amendments and integrate into soil.
 - Apply seed uniformly by cyclone seeder culti-packer or hydro-seeder at rate indicated.
 - Stabilize seeded areas in drainage swales.
 - Irrigate to fully saturate soil layer, but not to dislodge planting soil.
 - Seed between April 1st and May 15th or August 15th and October 15th.
 - Seeding may occur May 15th and August 15th if adequate irrigation is provided.

TEMPORARY VEGETATIVE COVER:

- SITE PREPARATION:
- Install erosion control measures.
 - Scarify areas of compacted soil.
 - Fertilize with 10-10-10 at 400/acre.
 - Lime as required to ph 6.5.

SEED SPECIES:	LBS./ACRE
MIXTURE	
Rapidly germinating annual ryegrass (or approved equal)	20
Perennial ryegrass	20
Cereal oats	36

SEEDING:
Same as permanent vegetative cover

CONTRACTOR CERTIFICATION STATEMENT

Contractor Certification Statement - All contractors and subcontractors identified in a SWPPP in accordance with Part III.A.6 (SPDES General Permit for Stormwater Runoff from Construction Activity, GP-0-20-001, January 2020) of this permit shall sign a copy of the following certification statement before undertaking any construction activity at the site identified in the SWPPP:

"I hereby certify that I understand and agree to comply with the terms and conditions of the SWPPP and agree to implement any corrective actions identified by the qualified inspector during a site inspection. I also understand that the Owner or Operator must comply with the terms and conditions of the New York State Pollutant Discharge Elimination System ("SPDES") general permit for stormwater discharges from construction activities and that it is unlawful for any person to cause or contribute to a violation of water quality standards. Furthermore, I understand that certifying false, incorrect or inaccurate information is a violation of the referenced permit and the laws of the State of New York and could subject me to criminal, civil and/or administrative proceedings."

Individual Contractor:

Name and Title (please print) _____
Signature of Contractor _____
Name of Trained Individual _____

Company / Contracting Firm:

Name of Company _____
Address of Company _____
Telephone Number / Cell Number _____

Site Information:

Address of Site _____

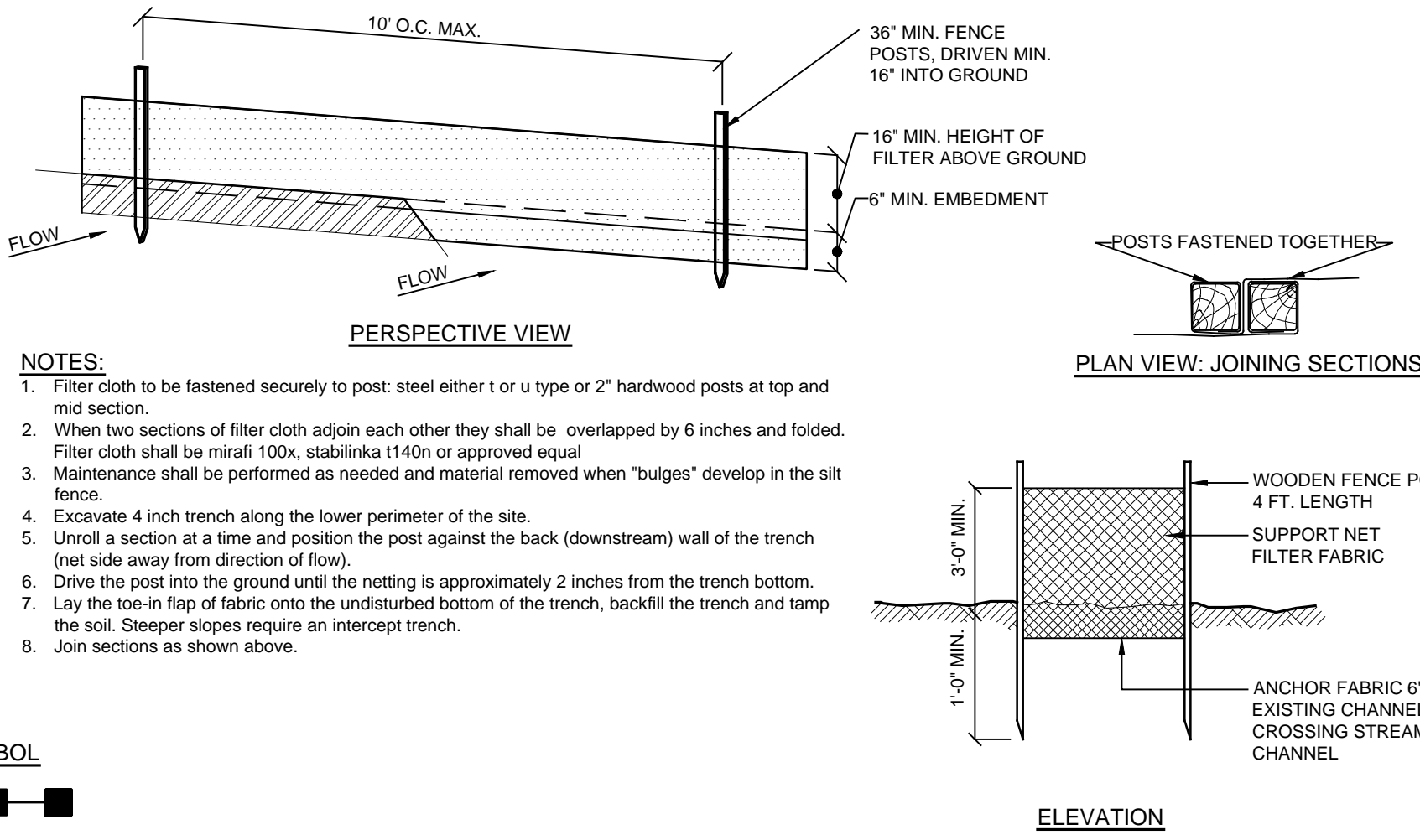
Today's Date: _____

OWNER / OPERATOR CERTIFICATION

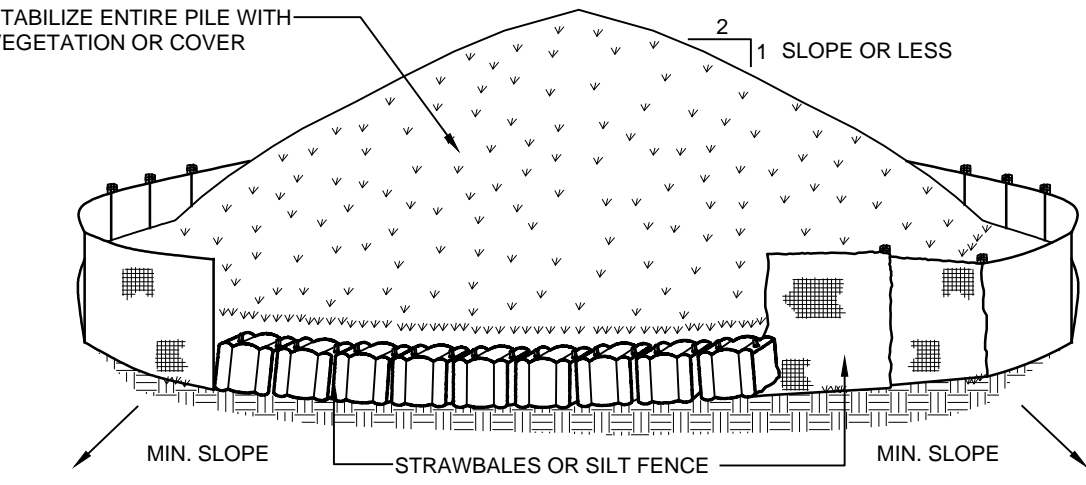
OWNER/OPERATOR CERTIFICATION

"I hereby certify under penalty of law that I understand and agree to comply with the terms and conditions of the SWPPP and agree to implement any corrective actions identified by the qualified inspector during a site inspection. I also understand that the owner or operator must comply with the terms and conditions of the most current version of the New York State Pollutant Discharge Elimination System ("SPDES") general permit for stormwater discharges from construction activities and that it is unlawful for any person to cause or contribute to a violation of water quality standards. Furthermore, I am aware that there are significant penalties for submitting false information, that I do not believe to be true, including the possibility of fine and imprisonment for knowing violations"

Name (please print) _____
Title _____
Date _____
Address _____
Phone _____
E-mail _____
Signature _____
Name of Trained Individual _____



E-3 SILT FENCE DETAIL NOT TO SCALE

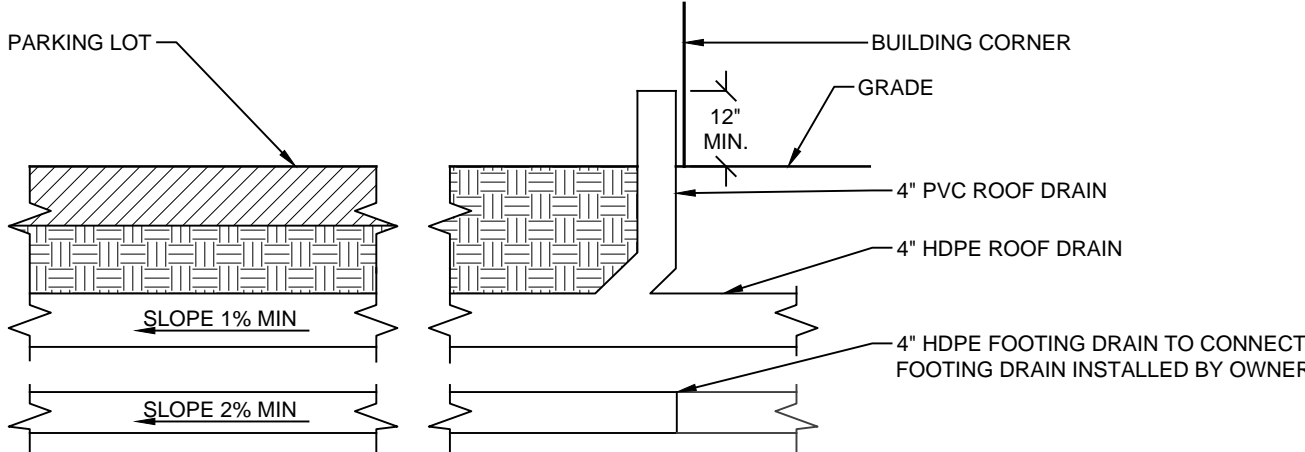


- NOTES:
- Area chosen for stockpiling operations shall be dry and stable.
 - Maximum slope of stockpile shall be 1:2.
 - Upon completion of soil stockpiling, each pile shall be surrounded with either silt fencing or strawbales, then stabilized with vegetation or covered.
 - See detail for installation of silt fence.

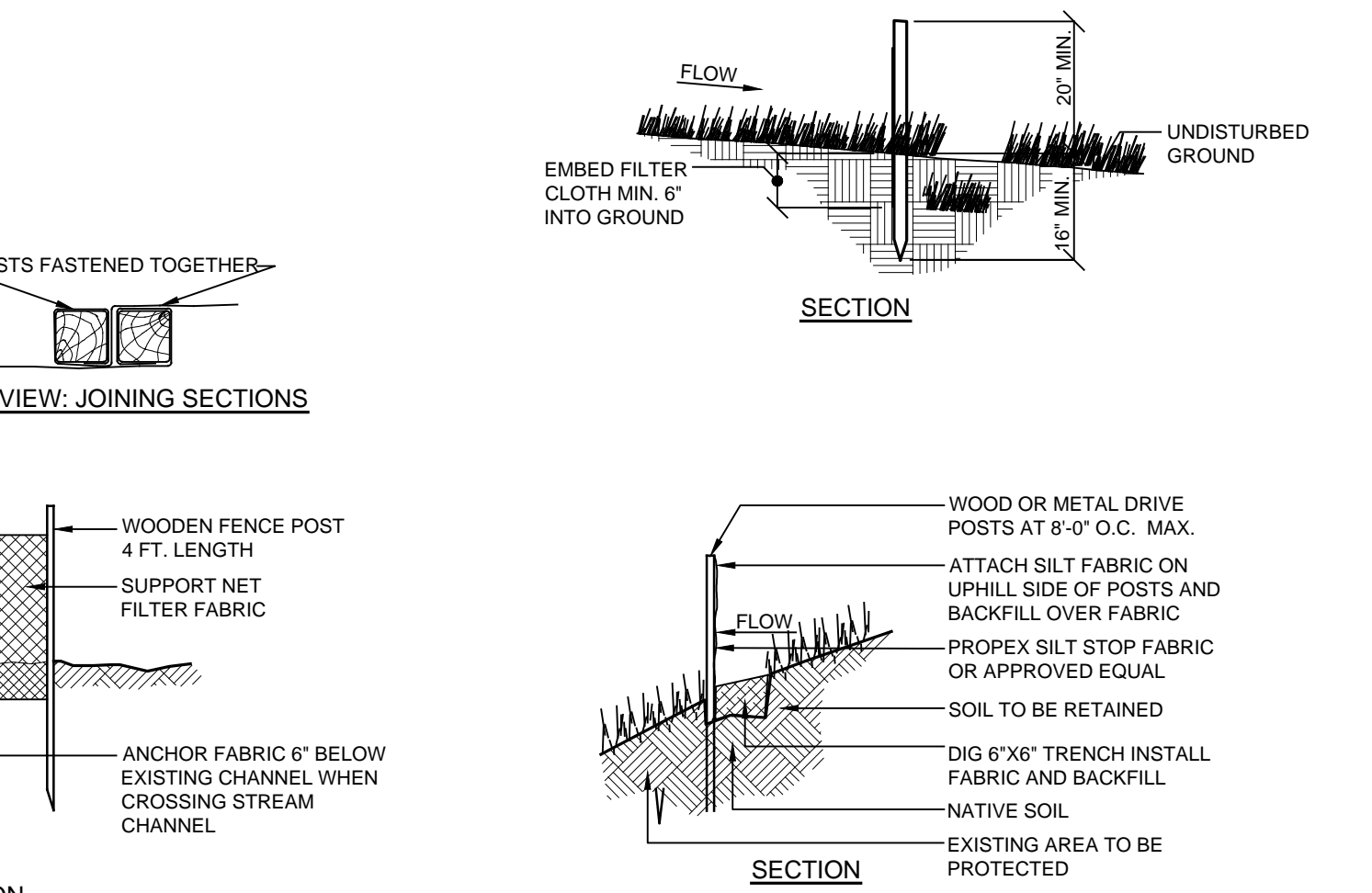
SYMBOL



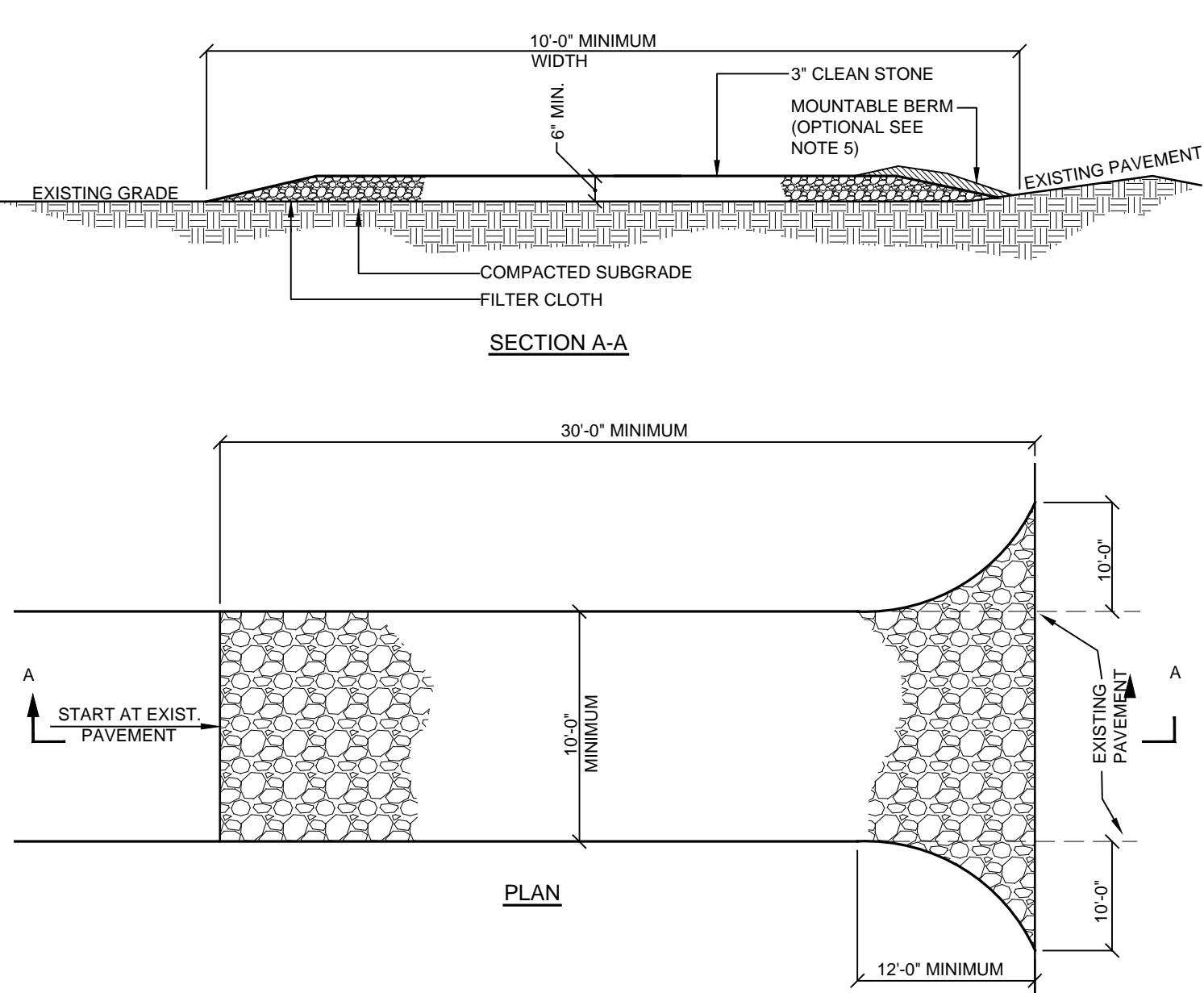
E-2 SOIL STOCKPILE DETAIL NOT TO SCALE



D-2 ROOF & FOOTING DRAIN CONNECTION DETAIL NOT TO SCALE

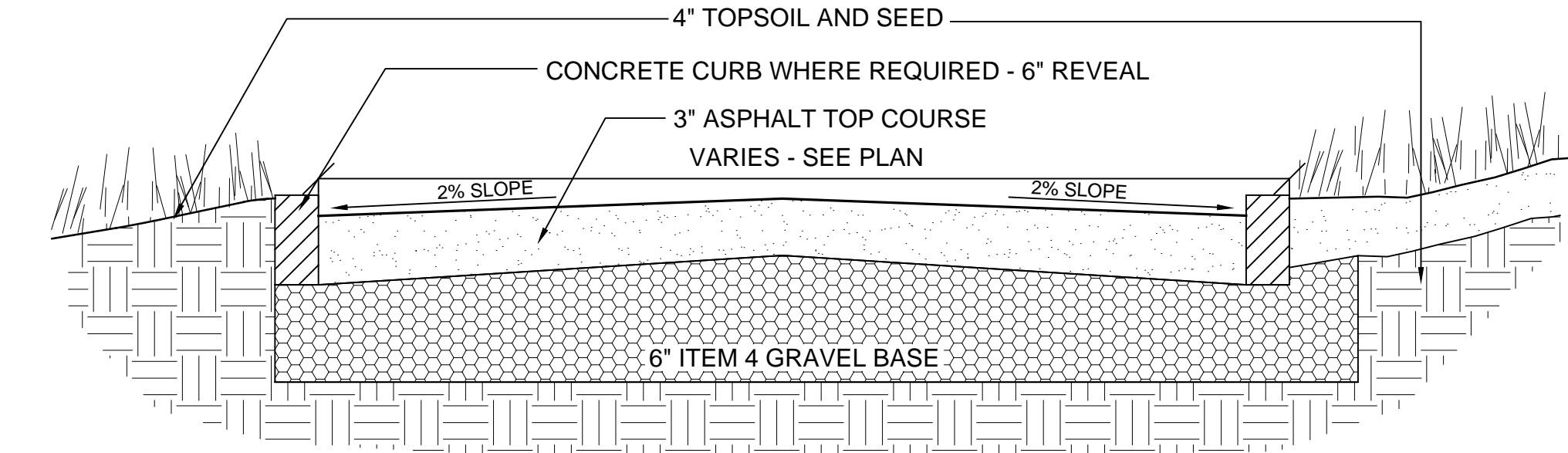
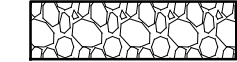


E-1 STABILIZED CONSTRUCTION ACCESS DETAIL NOT TO SCALE

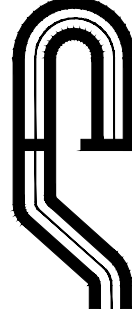


- INSTALLATION NOTES:
- Stone size - use 3" min. Stone, or reclaimed or recycled concrete equivalent.
 - Length - as required, but not less than 50 feet (except on a single residence lot where a 30 foot minimum length would apply).
 - Thickness - not less than six (6) inches.
 - Width - 10 foot minimum, but not less than the full width at points where ingress or egress occur. 24 ft if single entrance to site.
 - Surface water - all surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a mountable berm with 5:1 slopes will be permitted.
 - Maintenance - the entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public right of way this may require periodic top dressing with additional stone as conditions demand and repair and/or cleanouts of any measures used to trap sediment. All sediment spilled, dropped, washed or tracked onto public right of way must be removed immediately.
 - Washing - wheels shall be cleaned to remove sediment prior to entrance onto public right of way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
 - Periodic inspection and needed maintenance shall be provided after each rain

SYMBOL



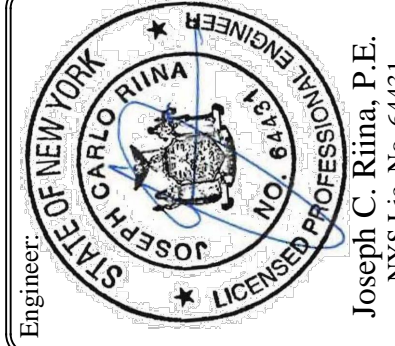
R-2 TYPICAL DRIVEWAY DETAIL NOT TO SCALE



PROJECT # 23-01

Site Design Consultants

Civil Engineers • Land Planners
251-F Underhill Avenue, Yorktown Heights, NY 10598
(914) 962-4488 - Fax: (914) 962-7386
www.sitedesignconsultants.com



Revisions:	No.	Date	Comments
	1	6/8/2023	Site design
	2	6/28/2023	Site revision
	3	7/7/2023	Site revision

SCALE:	DRAWN BY: MA	DATE: 6/8/2023
--------	--------------	----------------

EROSION AND SEDIMENT CONTROL

SUBDIVISION PLAN PREPARED FOR

GREAT OAK LANE

Bedford Rd and Great Oak Ln.
Town Of Pleasantville, Westchester County, NY

C - 502

