

GREAT OAK LANE
VILLAGE OF PLEASANTVILLE - WESTCHESTER COUNTY

LOT 1



LOT 2



BEDFORD ROAD



LOT 2



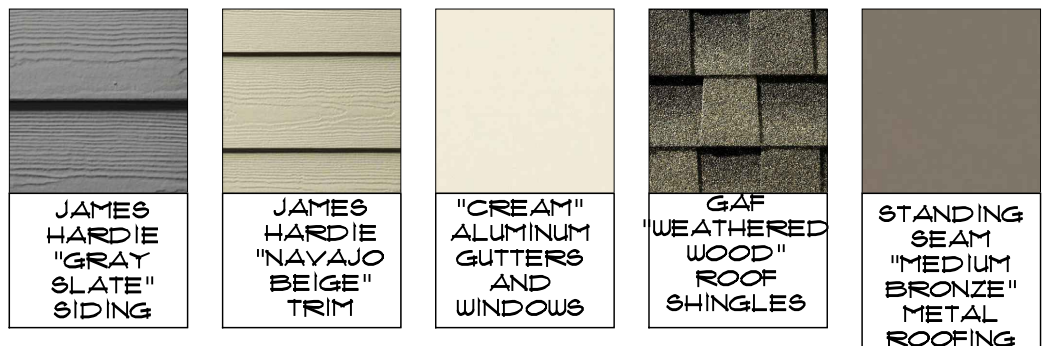
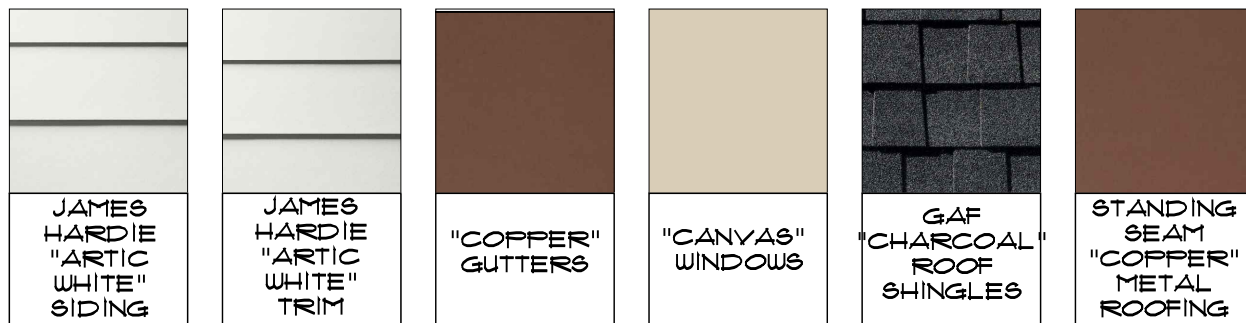
LOT 3



LOT 4



GREAT OAK LANE

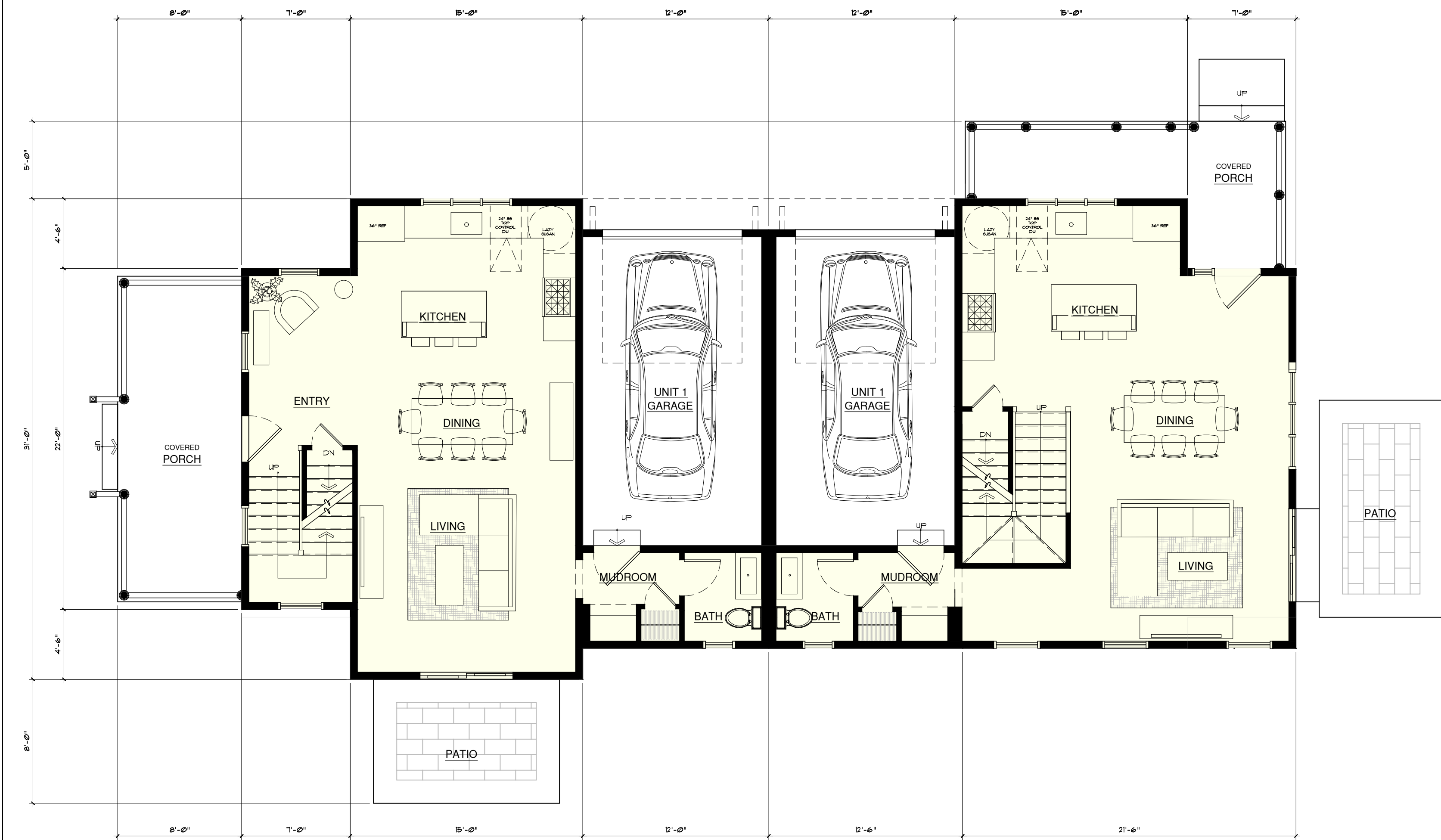


SCOPE OF WORK:

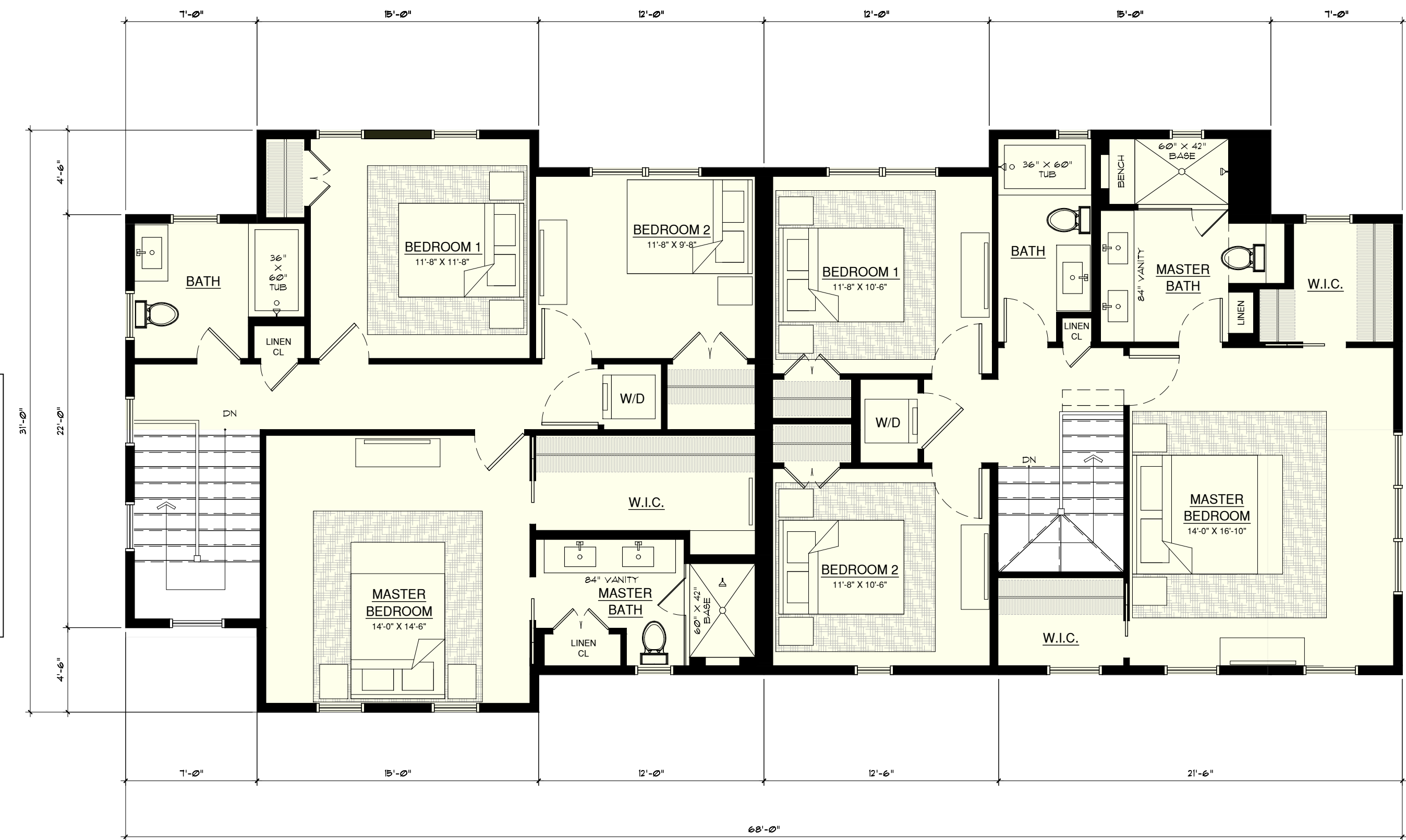
- DEMOLITION OF EXISTING COMMERCIAL USE BUILDING AND SUB-DIVISION OF EXISTING PROPERTY INTO FOUR RESIDENTIAL USE BUILDING LOTS:
- LOT 1: TWO-FAMILY RESIDENCE
 - LOT 2: TWO-FAMILY RESIDENCE
 - LOT 3: SINGLE FAMILY RESIDENCE
 - LOT 4: SINGLE FAMILY RESIDENCE

DRAWING INDEX:

G0.01	TITLE SHEET
A1.01	LOT 1- SCHEMATIC PLANS & ELEVATION
A1.02	LOT 2- SCHEMATIC PLANS & ELEVATIONS
A1.03	LOT 3- SCHEMATIC PLANS
A1.03.1	LOT 3- SCHEMATIC ELEVATIONS
A1.04	LOT 4- SCHEMATIC PLANS
A1.04.1	LOT 4- SCHEMATIC ELEVATIONS

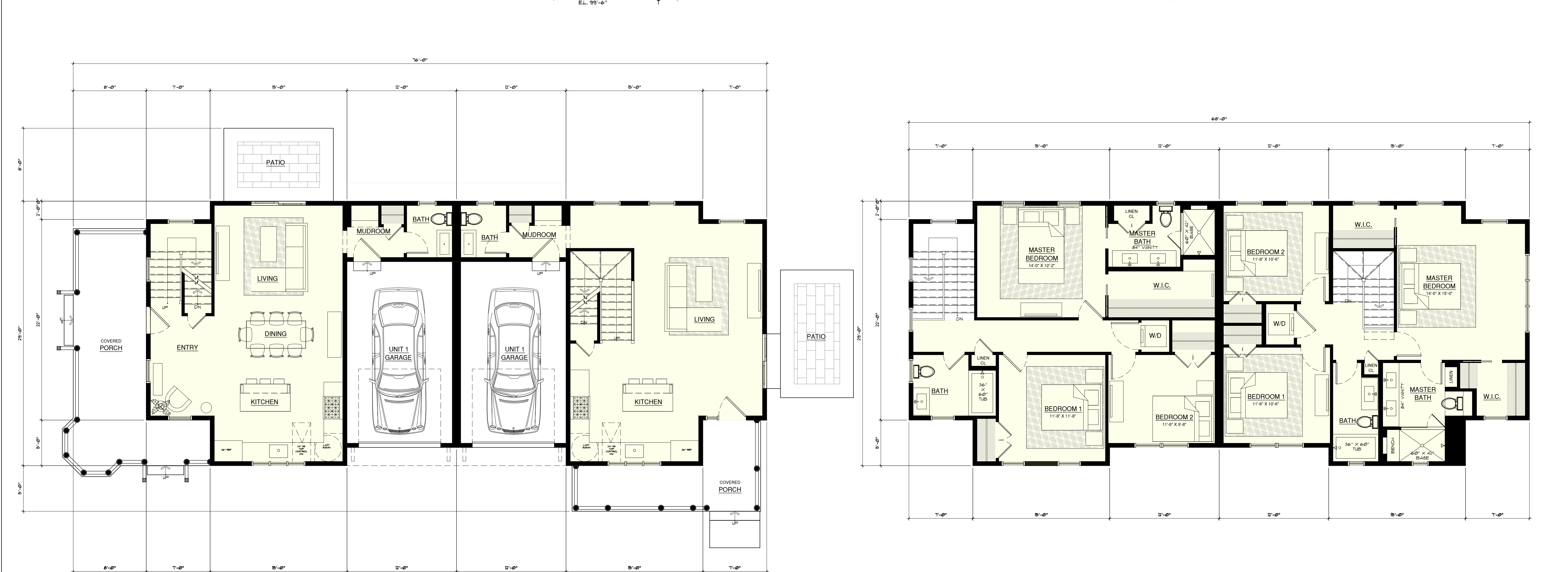


1 Lot 1- First Floor Plan (1,908 Gross SF- 1,383 FAR)
A1.01 Scale: 1/4" = 1'-0"



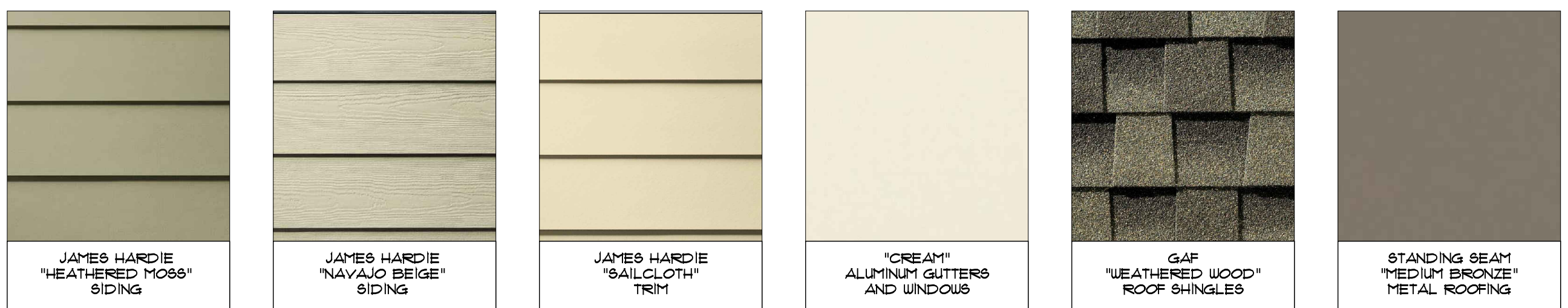
2 Lot 1- Second Floor Plan (1,785 Gross SF- 1,745 FAR)
A1.01 Scale: 1/4" = 1'-0"





1 Lot 2- First Floor Plan (1,864 Gross SF- 1,340 FAR)
A1.02 Scale: 1/4" = 1'-0"

2 Lot 2- Second Floor Plan (1,852 Gross SF- 1,687 FAR)
A1.02 Scale: 1/4" = 1'-0"



JTA
JOSEPH THOMPSON
ARCHITECT

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108 N Division Street, Suite 100
Peekskill, New York 10566
PH: (845) 532-8156
EM: joe@jthompsonarch.com

NOTES:
IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT OR ENGINEER, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ARCHITECT OR ENGINEER IS ALTERED, THE ALTERING ARCHITECT OR ENGINEER SHALL AFFIX TO HIS ITEM THE SEAL AND THE NOTATION ALTERED BY FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.
DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN.
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REGISTERED ARCHITECT
STATE OF NEW YORK

SEAL
Joseph G. Thompson, RA
New York State License #036057

GREAT OAK LANE

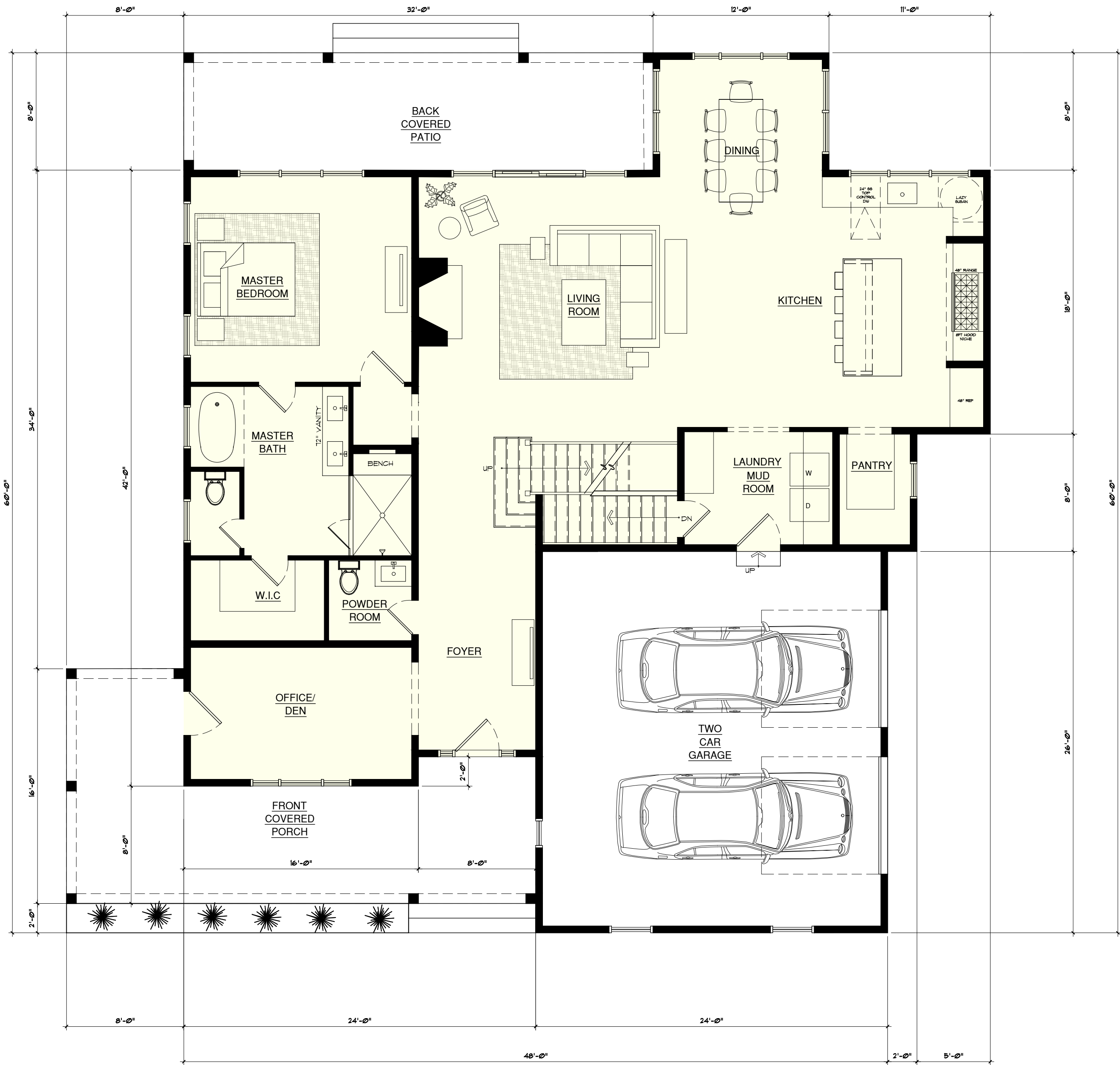
Unicorn Contracting Corp.
2 Great Oak Lane
Pleasantville, New York 10570
S-B-L: 106.6-2-64
Village of Pleasantville - Westchester County

FOR PLANNING BOARD REVIEW & APPROVAL

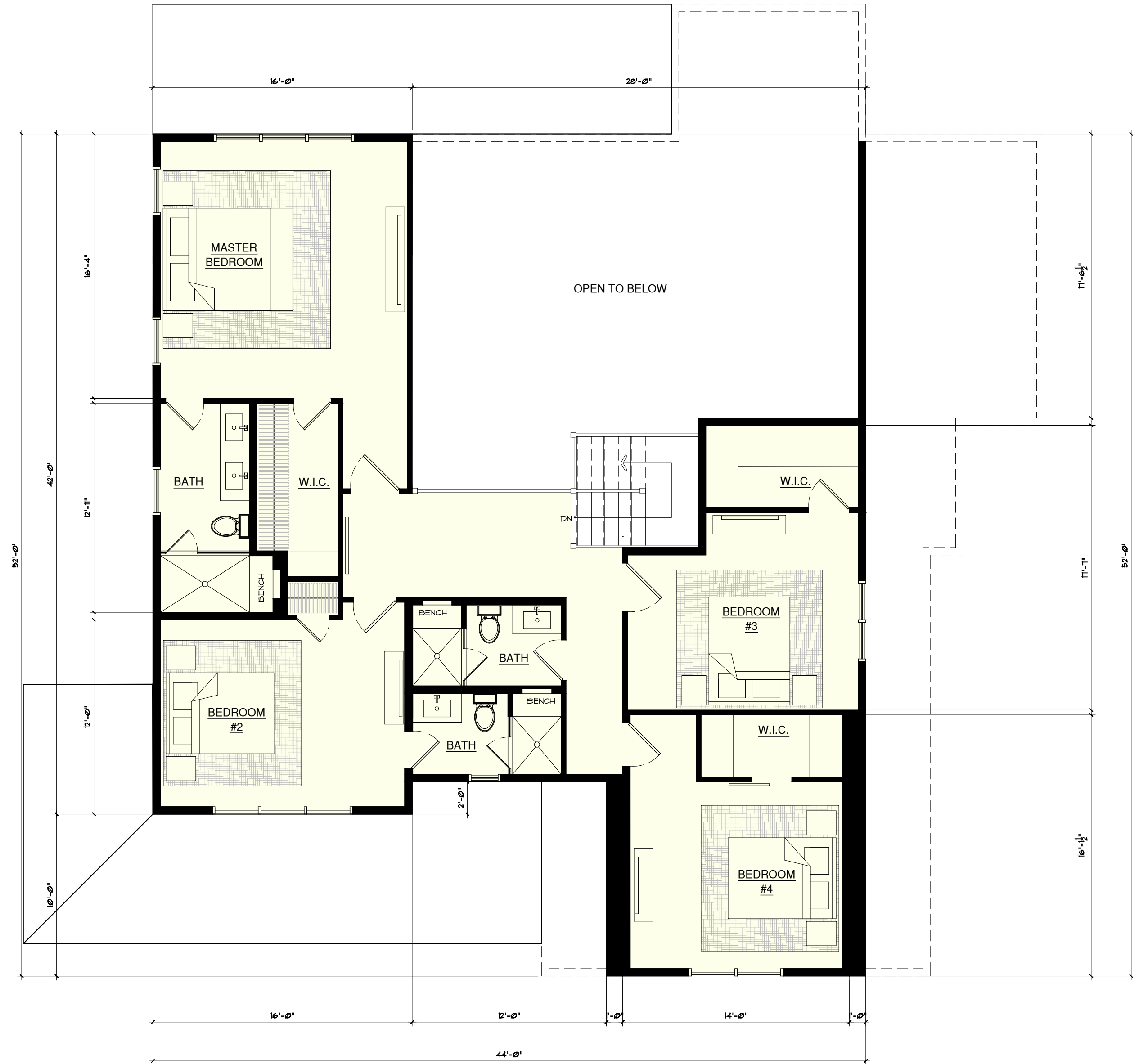
Date: February 07, 2023

Revisions:
△ June 09, 2023
△ June 21, 2023
△ July 7, 2023
△
△

A1.02



1 Lot 3 First Floor Plan (2,477 SF Gross SF- 1,860 FAR)
A1.03 Scale: 1/4" = 1'-0"



2 Lot 3 Second Floor Plan (1,386 SF Gross, 1,333 SF FAR)
A1.03 Scale: 1/4" = 1'-0"



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New York State License #036057

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Unison Contracting Corp.
2000 Oak Lane
Pleasantville, New York 10570
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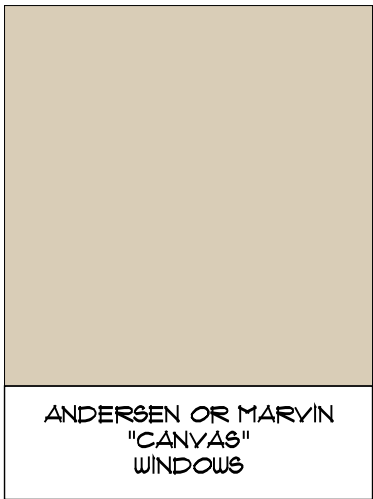
1
A1.03.1 Lot 3 Front Elevation
Scale: 1/4" = 1'-0"



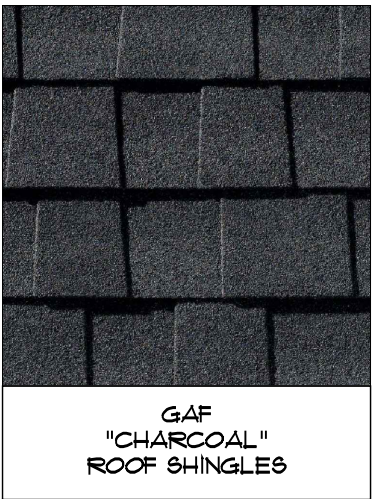
JAMES HARDIE
"ARTIC WHITE"
SIDING



JAMES HARDIE
"ARTIC WHITE"
TRIM



ANDERSEN OR MARVIN
"CANVAS"
WINDOWS



GAF
"CHARCOAL"
ROOF SHINGLES



STANDING SEAM
"COPPER"
METAL ROOFING



"COPPER"
GUTTERS

GREAT OAK LANE

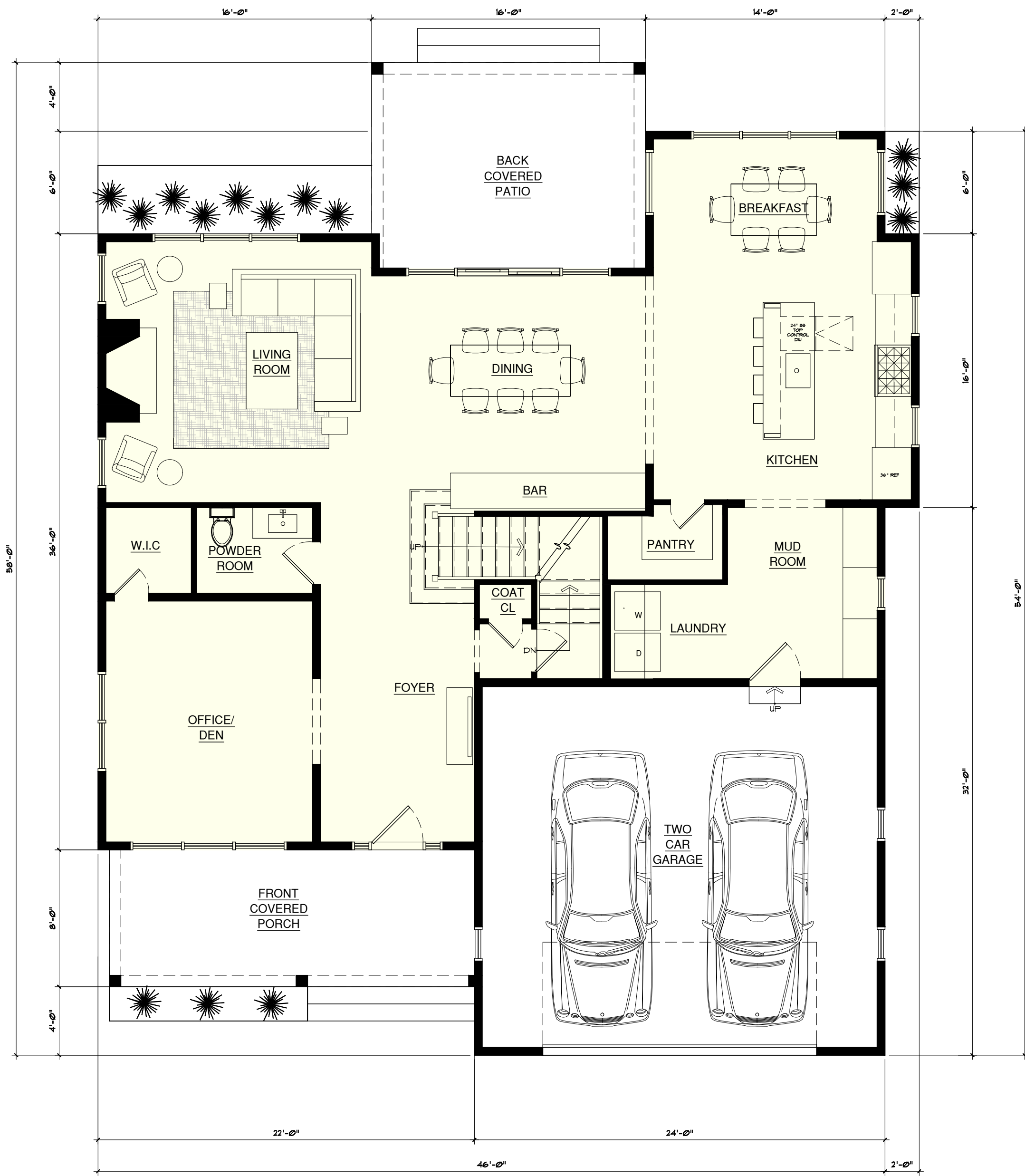
Unison Contracting Corp.
200 Coxsackville
Peekskill, New York 10570
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A1.03.1



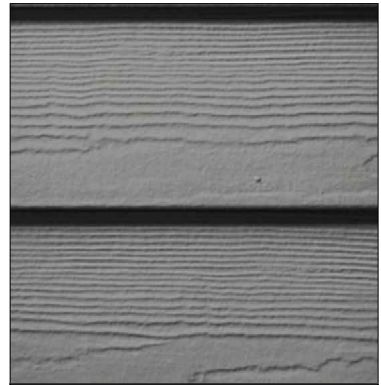
1 Lot 4 First Floor Plan (2,032 SF Gross - 1,515 SF FAR)
A1.04 Scale: 1/4" = 1'-0"



2 Lot 4 Second Floor Plan (1,820 SF Gross - 1,762 SF FAR)
A1.04 Scale: 1/4" = 1'-0"



1
A1.04.1 Lot 4 Front Elevation
Scale: 1/4" = 1'-0"



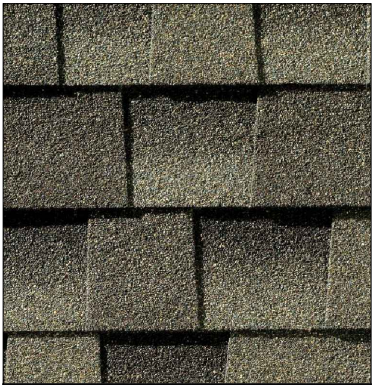
JAMES HARDIE
"GRAY SLATE"
SIDING



JAMES HARDIE
"NAVAJO BEIGE"
TRIM



"CREAM"
ALUMINUM GUTTERS
AND WINDOWS



GAF
"WEATHERED WOOD"
ROOF SHINGLES



STANDING SEAM
"MEDIUM BRONZE"
METAL ROOFING



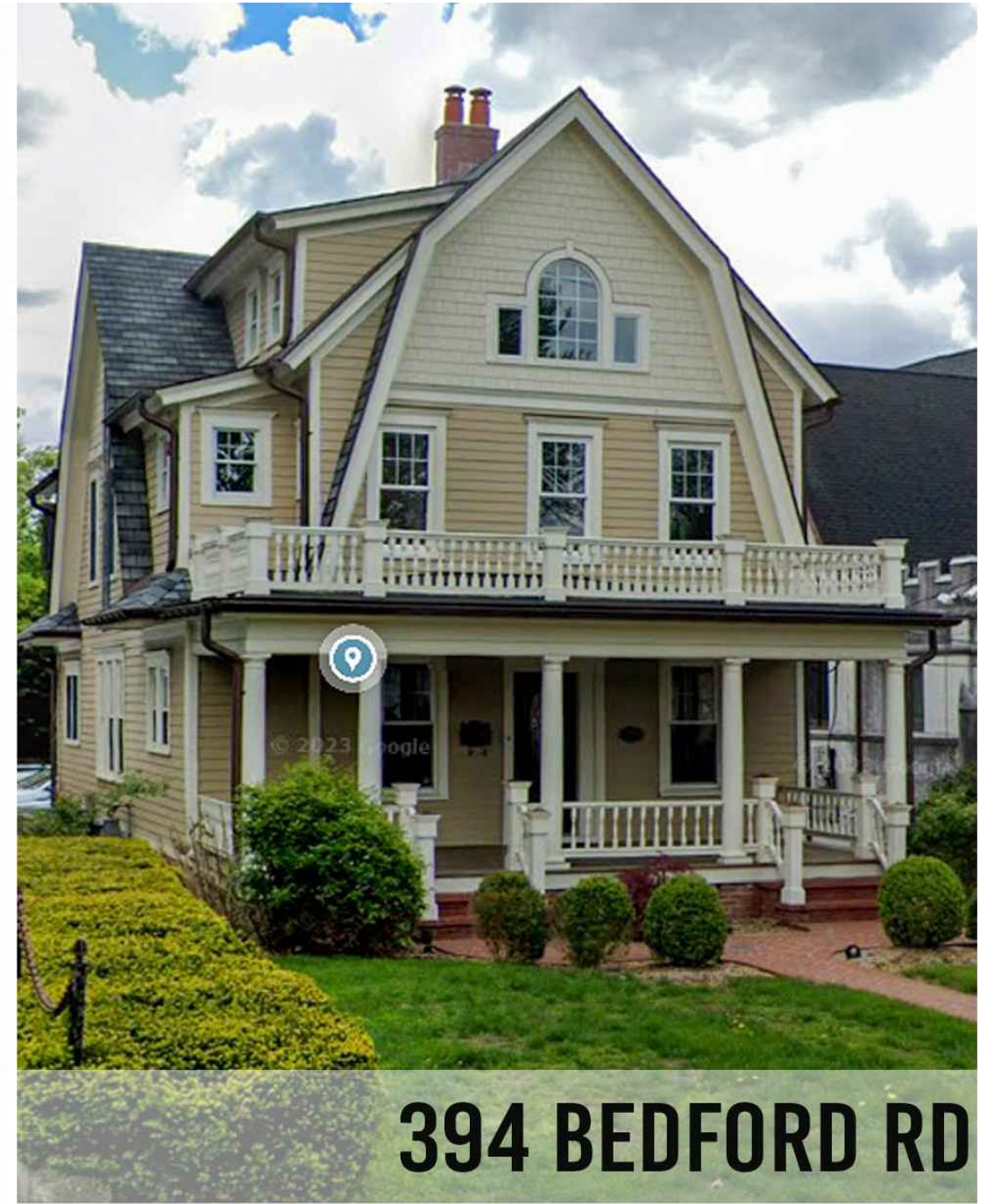
351 BEDFORD RD



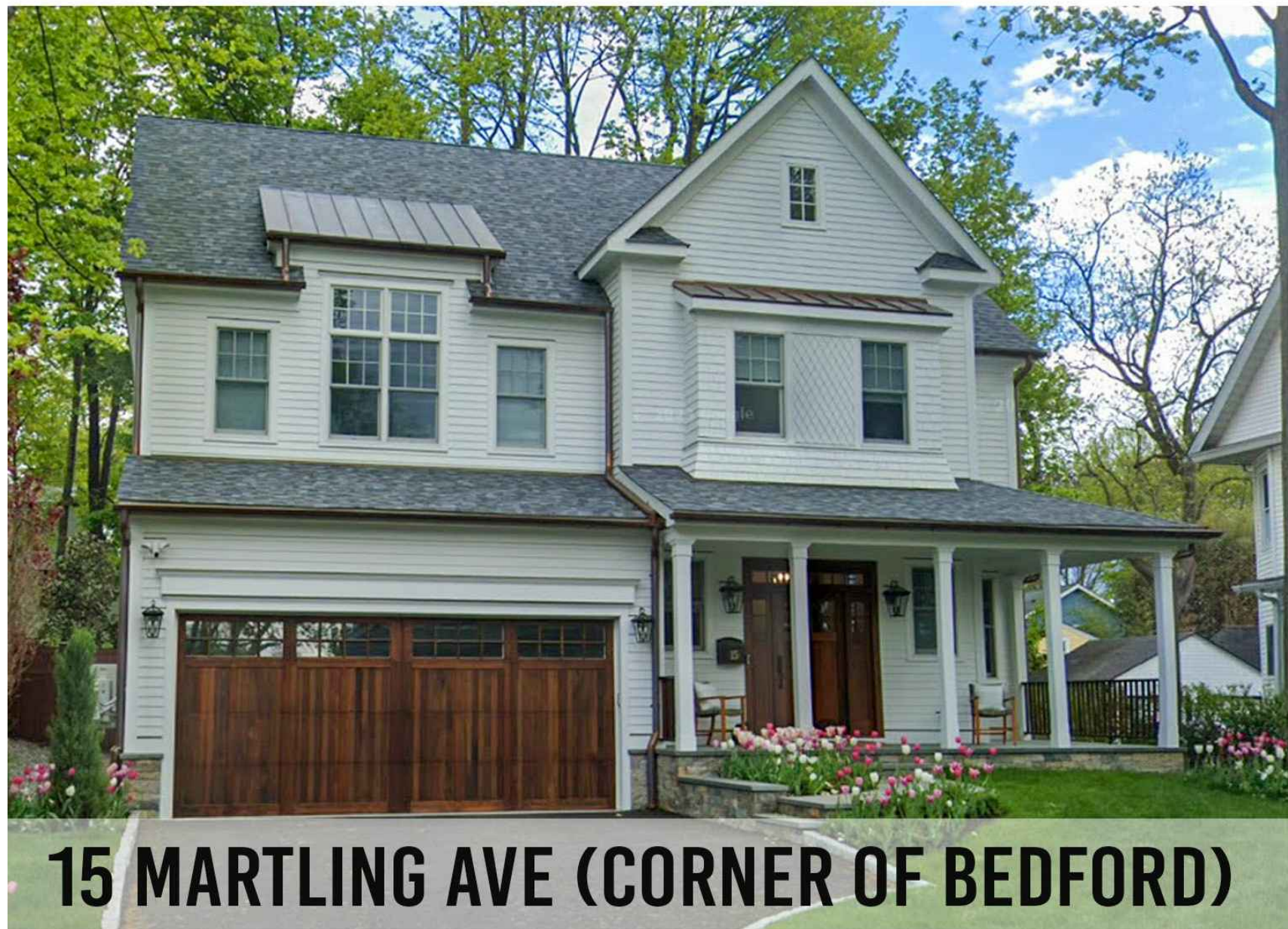
359 BEDFORD RD



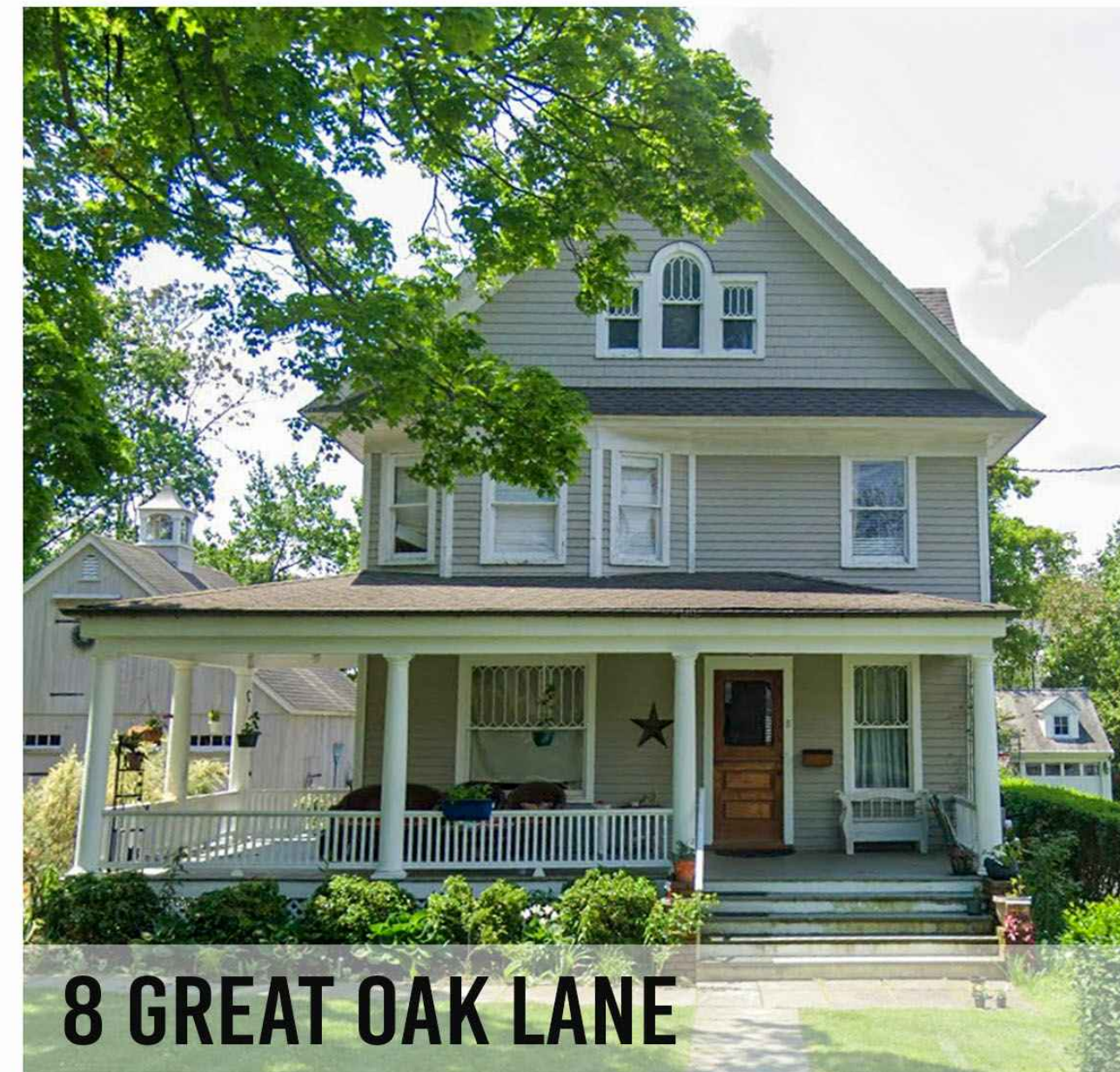
381 BEDFORD RD



394 BEDFORD RD



15 MARTLING AVE (CORNER OF BEDFORD)



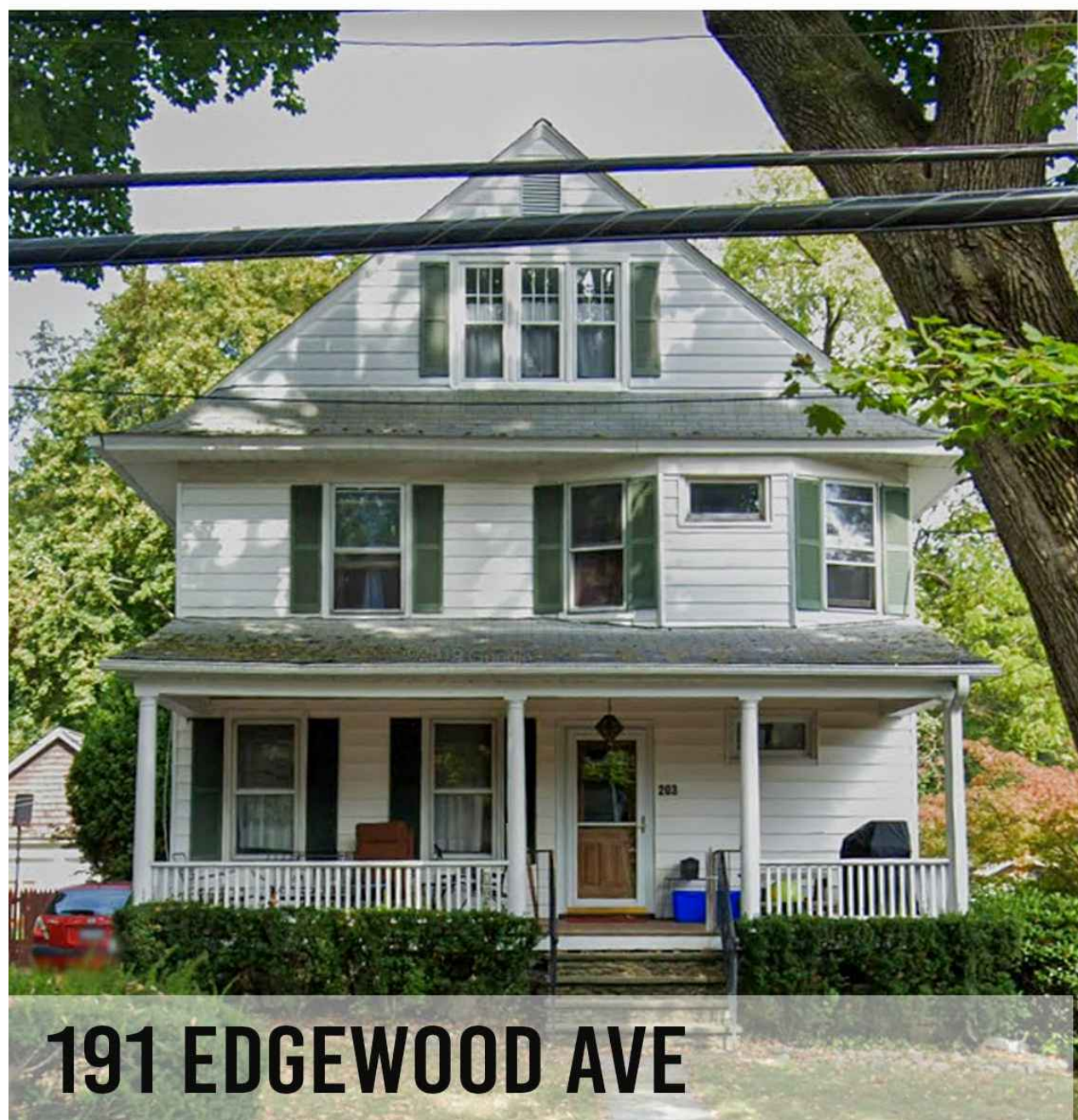
8 GREAT OAK LANE



178 EDGEWOOD AVE



334 BEDFORD RD



191 EDGEWOOD AVE



5 GREAT OAK LANE



271 BEDFORD RD



191 EDGEWOOD AVE

GREAT OAK LANE AND BEDFORD RD CONTEXT HOMES



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AR1.02



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AR1.06