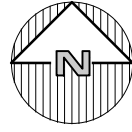


LOCATION MAP  
NOT TO SCALE



SITE DATA:

OWNER / DEVELOPER: UNICORN CONTRACTING CORP.  
10 JULIA LANE  
COLD SPRING, NY, 10516

PROJECT LOCATION: GREAT OAK LANE  
PLEASANTVILLE, NY, 10570

EXISTING TOWN ZONING: R-2A

PROPOSED USE: SUBDIVISION

TOWN TAX MAP DATA: SECTION 106, BLOCK 6-2, LOT 64

SITE AREA : 1.27 ACRES (55,282.28 SF)

SEWAGE FACILITIES: PUBLIC SEWERS

WATER FACILITIES: PUBLIC WATER FACILITIES

NOTES:

1. FOR A DWELLING BILT WITHOUT A GARAGE, ONE SIDE YARD MUST BE AT LEAST 32 FEET AND MAY BE REDUCED TO 20 FEET IF A GARAGE IS BUILT ON THE LOT. ON A CORNER LOT, THE SIDE YARD MUST BE 32 FEET IF THERE IS NO GARAGE.
2. THE AGGREGATE OF BOTH SIDE YARDS MUST BE 20 FEET. FOR DWELLING BUILT A GARAGE, THERE MUST BE AGGREGATE SIDE YARDS OF 32 FEET WITH ONE BEING A MINIMUM OF 20 FEET; THE LESSER SIDE YARD CAN BE REDUCED TO EIGHT FEET IF A GARAGE IS BUILT ON THE LOT.
3. IN THE CASE OF A CORNER LOT WITHOUT A GARAGE, THE SIDE YARD MUST BE 20 FEET, EXCEPT THAT IF A GARAGE IS BUILT ON THE LOT, THE SIDE YARD MAY BE REDUCED TO EIGHT FEET.
4. THE PLANNING COMMISSION MAY REDUCE THE MINIMUM LOT FRONTAGE TO NOT LESS THAN  $\frac{1}{2}$  IF THE REQUIREMENTS LISTED ABOVE WHERE RESIDENTIAL LOTS FRONT ON CULS-DE-SAC OR ELSEWHERE WHEN DETERMINED TO BE IN THE PUBLIC INTEREST BY PLANNING COMMISSION.
5. SEE 185-13A(2)(a) FOR SUPPLEMENTARY REQUIREMENTS REGARDING FRONTAGE FOR TWO-FAMILY HOMES.

ZONING SCHEDULE:

ZONING DISTRICT: R-2A, SINGLE FAMILY RESIDENTIAL		PROVIDED			
DIMENSIONAL REGULATIONS:	REQUIRED	LOT 1	LOT 2	LOT 3	LOT 4
MINIMUM LOT AREA:	5,000 SF.	12,637 SF.	12,376 SF.	15,403 SF.	13,058 SF.
MINIMUM LOT FRONTAGE:	50 (1F); 75 (2F)	75.19 FT.	81.25 FT.	92.78 FT.	86.79 FT.
MINIMUM LOT WIDTH:	50 (1F); 75 (2F)	77 FT.	83 FT.	92 FT.	75 FT.
MINIMUM LOT DEPTH:	100 FT.	164 FT.	150 FT.	168 FT.	177 FT.
MINIMUM FRONT YARD:	30 FT.	45 FT.	36 FT.	46 FT.	48 FT.
MINIMUM SIDE YARD INTERIOR:	8 FT.	31 FT.	16 FT.	17 FT.	14.5 FT.
MINIMUM SIDE YARD CORNER:	8 FT.				
MINIMUM REAR YARD:	25 FT.	42.50 FT.	40 FT.	56 FT.	69 FT.
MINIMUM GROSS AGGREGATE FLOOR AREA PER DWELLING UNIT:	800 SF.	3,155 SF.	3,094 SF.	3,193 SF.	3,280 SF.
MINIMUM GROSS GROUND FLOOR AREA:	800 SF.	1,925 SF.	1,909 SF.	2,478 SF.	2,032 SF.
MAXIMUM HEIGHT (STORIES/FEET):	2-1/2 OR 30, WHICHEVER IS MORE RESTRICTIVE.	25.5 FT.	25.5' FT.	26.5' FT.	26.5' FT.
MAXIMUM BUILDING COVERAGE:	20%	19%	19%	20%	18%
MAXIMUM DEVELOPMENT COVERAGE:	30%	36%	30%	30%	25%
MAXIMUM FLOOR AREA RATIO:	0.25	0.25	0.25	0.21	0.25



EXISTING IMPERVIOUS AREA:

BUILDING : 13,421 SF  
PARKING LOT: 16,703.5 SF  
DRIVEWAY: 3,513.6 SF  
WALKWAY: 888.5 SF  
TOTAL: 34,526.6 SF

PROPOSED IMPERVIOUS AREA:

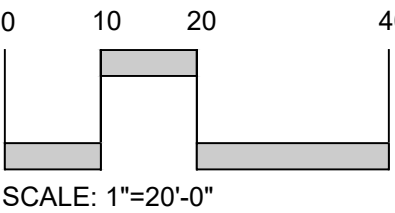
LOT 1:  
HOUSE: 1,925 SF  
DRIVEWAY: 2,050 SF  
WALKWAY: 187 SF  
COVERED PORCH: 303 SF  
PATIO: 192 SF

LOT 2:  
HOUSE: 1,909 SF  
DRIVEWAY: 900 SF  
WALKWAY: 348 SF  
COVERED PORCH: 385 SF  
PATIO: 204 SF

LOT 3:  
HOUSE: 2,477 SF  
DRIVEWAY: 1263 SF  
WALKWAY: 186 SF  
COVERED PORCH: 399 SF  
REAR COVERED PATIO: 256 SF

LOT 4:  
HOUSE: 2,032 SF  
DRIVEWAY: 952 SF  
WALKWAY: 41 SF  
COVERED PORCH: 204 SF  
BECK COVERED PATIO: 216 SF  
TOTAL: 16,361 SF

NET DIFFERENCE: 18,165.6 SF LESS THAN EXISTING CONDITIONS.



NOTE:  
1. THIS IS NOT A SURVEY. ALL SURVEY INFORMATION SHOWN ON THIS PLAN HAS BEEN TAKEN FROM SURVEY MAP PREPARED BY TC MERRITTS LAND SURVEYORS, DATED JANUARY 20, 2023, LAST REVISED JANUARY 20, 2023. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR ITS ACCURACY.

NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.

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251-F Underhill Avenue, Yorktown Heights, NY 10598  
(914) 962-4488 - Fax: (914) 962-7386  
www.sitedesignconsultants.com

Engineer: Joseph C. Rima, P.E.  
NYS Lic. No. 64431

Revisions:	No.	Date	Comments:
	1	6/8/2023	Site design.
	2	6/28/2023	Site revision.
	3	7/27/2023	Site revision.
	4	9/1/2023	Site revision.
	5	11/6/2023	Village Comments.
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	7	12/12/2023	Village Comments.

SCALE: 1" = 20'

DRAWN BY: MA

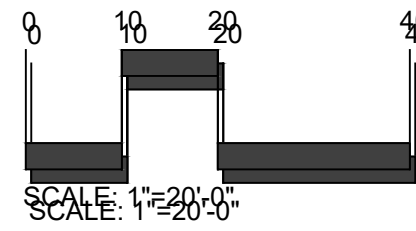
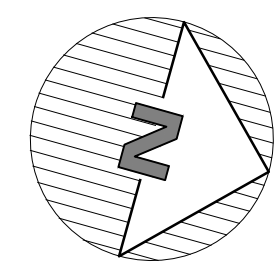
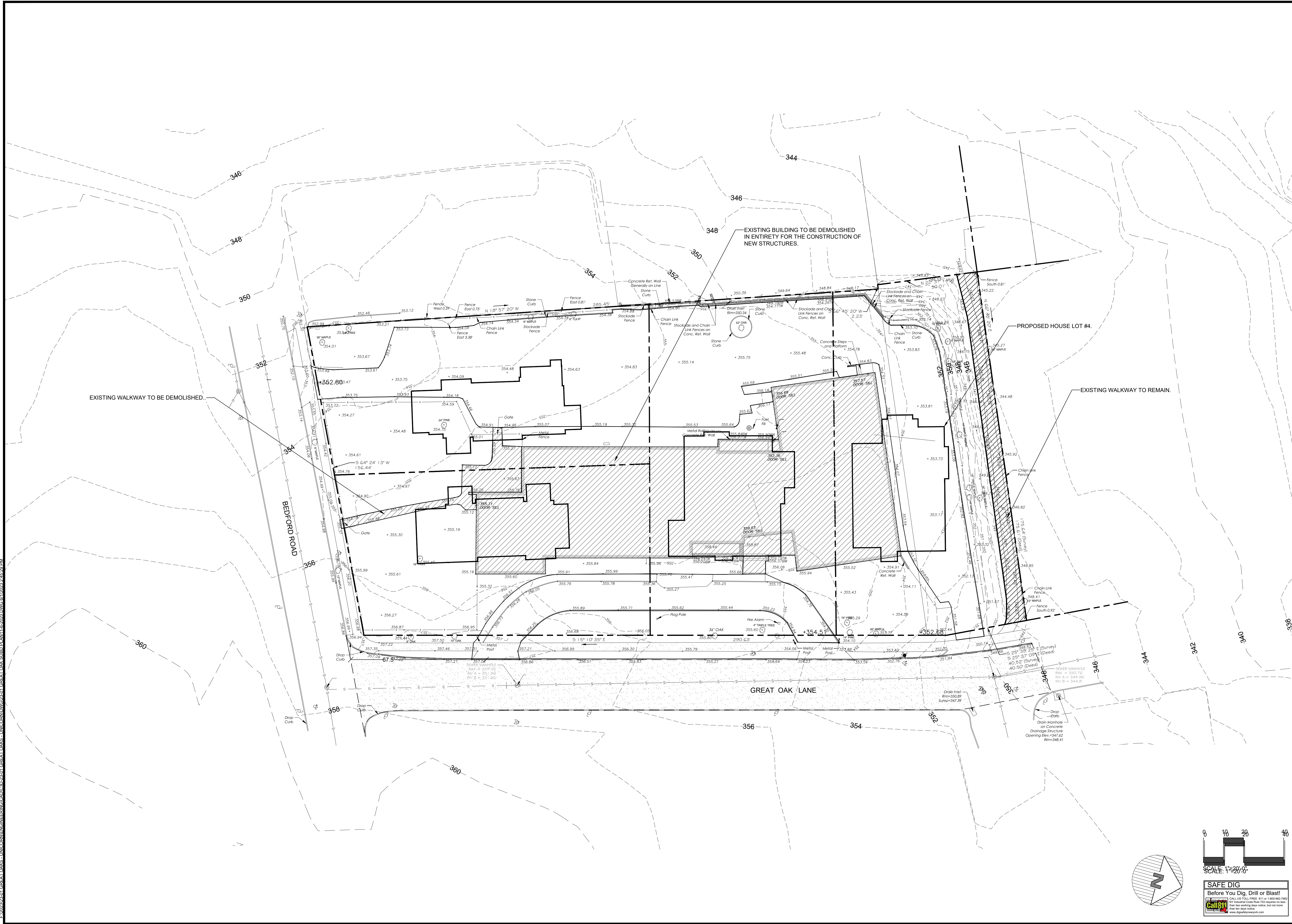
DATE: 6/8/2023

SUBDIVISION PLAN  
PREPARED FOR  
**GREAT OAK LANE**  
Bedford Rd and Great Oak Ln.  
Village of Pleasantville, Westchester County, NY

C - 101



F:\2023\23-01 GREAT OAKS - LINCORP\ENGINEERING\CAD\23-01 GREAT OAKS SUBD.BLAN11-6-2023.DWG 6/11/2023 2:45:26 PM



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7	12/12/2023

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1" = 20'

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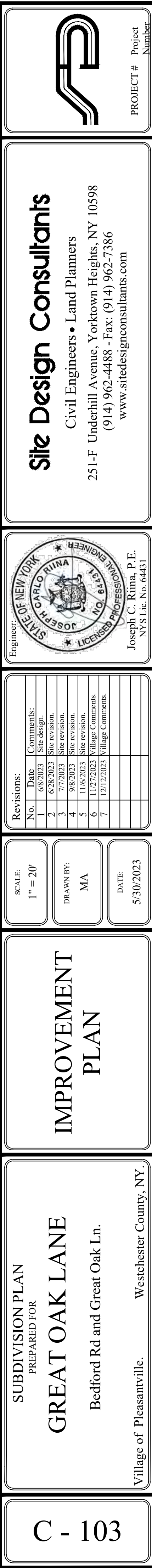
DATE:  
5/30/2023

**EXISTING  
CONDITION**

SUBDIVISION PLAN  
PREPARED FOR  
**GREAT OAK LANE**  
Bedford Rd and Great Oak Ln.  
Village of Pleasantville, Westchester County, NY

**C - 102**

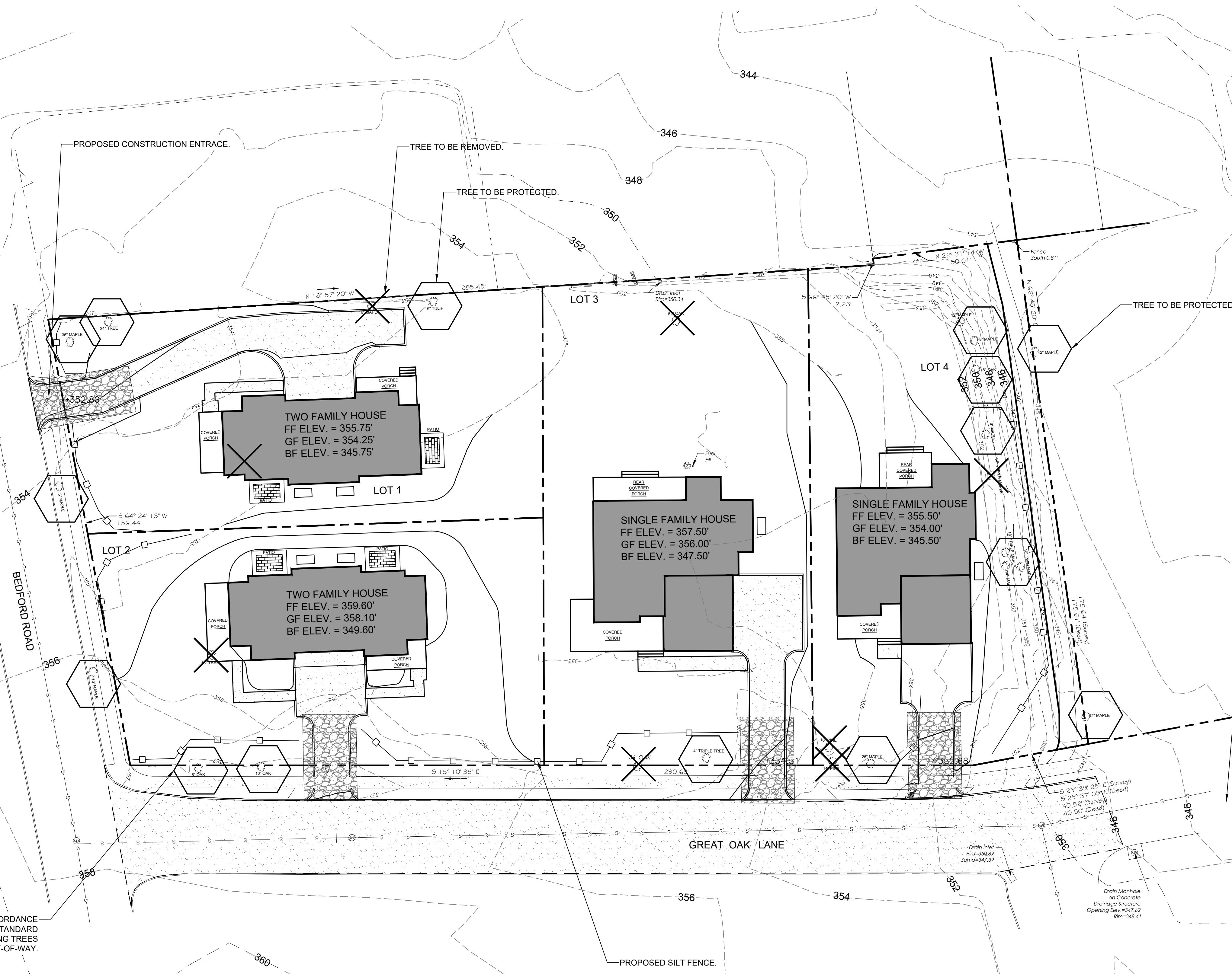




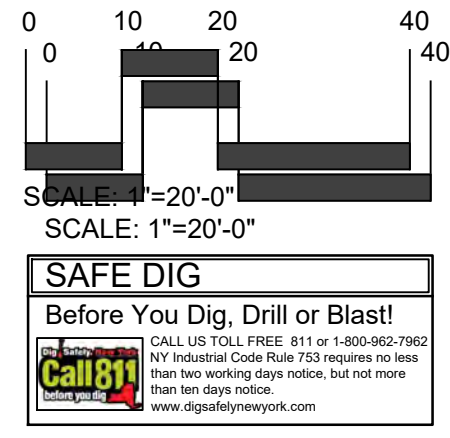
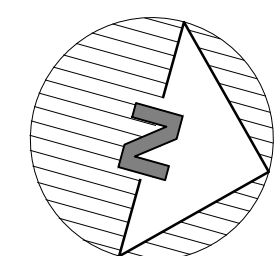


6/10/2023 2:45 PM GREAT OAKS - UNICORPENGINEERING\CD\23\01 GREAT OAKS - UNICORP\DWG\23\01 GREAT OAK SUBD.B1\11-6-2023.DWG 6/10/2023 2:45 PM

PROPOSED TREE PROTECTION IN ACCORDANCE WITH VILLAGE OF PLEASANTVILLE DPW STANDARD CONSTRUCTION DETAIL SD-11 FOR EXISTING TREES LOCATED WITHIN THE VILLAGE RIGHT-OF-WAY.



PROPOSED CURB INLET PROTECTION FOR DOWNSTREAM EXISTING CATCH BASIN ON WEST SIDE OF GREAT OAK LANE, SHALL BE IN ACCORDANCE WITH VILLAGE OF PLEASANTVILLE DPW STANDARD CONSTRUCTION DETAIL SD-1E



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Engineer:  
JOSEPH C. RIMA, P.E.  
LICENSED PROFESSIONAL ENGINEER  
NYS Lic. No. 64431

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	7	12/12/2023	Village Comments.

SCALE: 1" = 20'

DRAWN BY: MA

DATE: 5/30/2023

**EROSION AND SEDIMENT CONTROL**

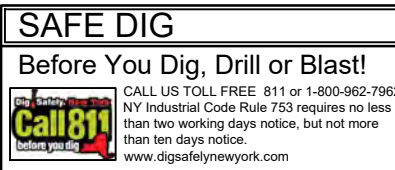
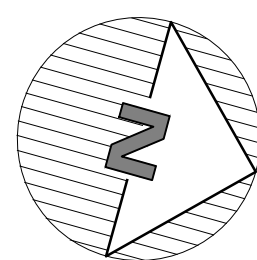
SUBDIVISION PLAN  
PREPARED FOR  
**GREAT OAK LANE**  
Bedford Rd and Great Oak Ln.  
Village of Pleasantville.  
Westchester County, NY

**C - 104**

PROJECT # \_\_\_\_\_  
Number \_\_\_\_\_

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<b>Revisions:</b>		
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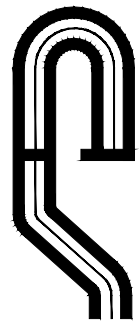
  

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Engineer:  
**Joseph C. Riina, P.E.**  
 NYS Lic. No. 64431

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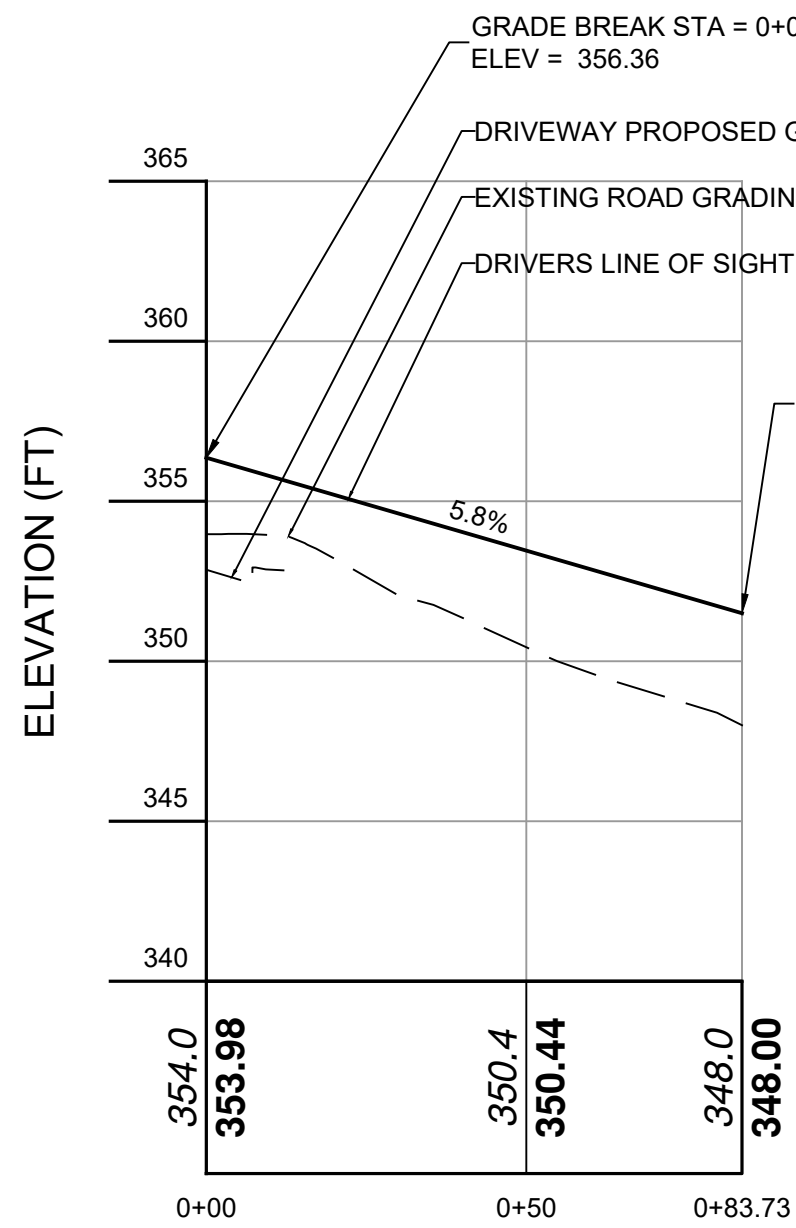
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C - 105

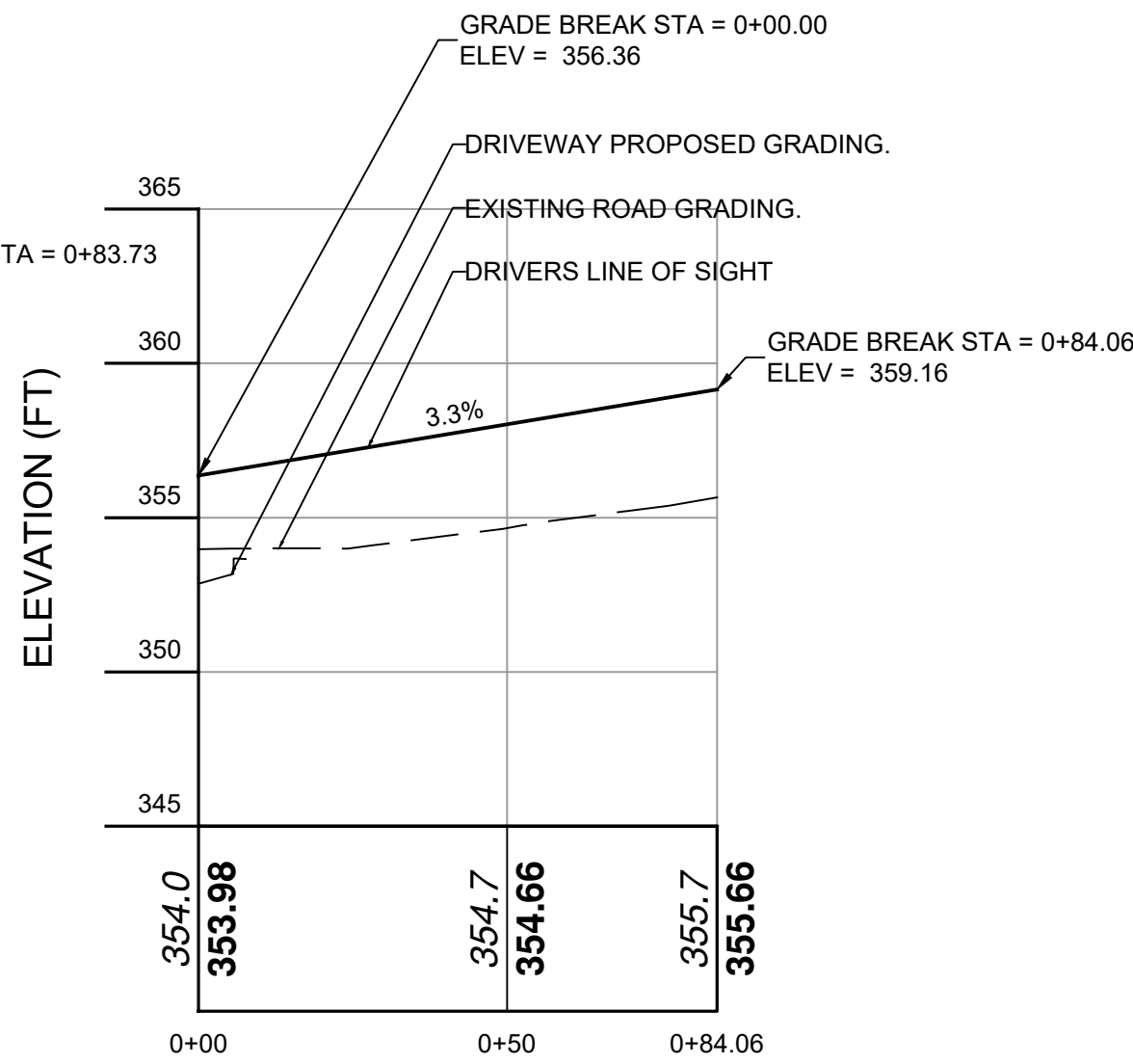
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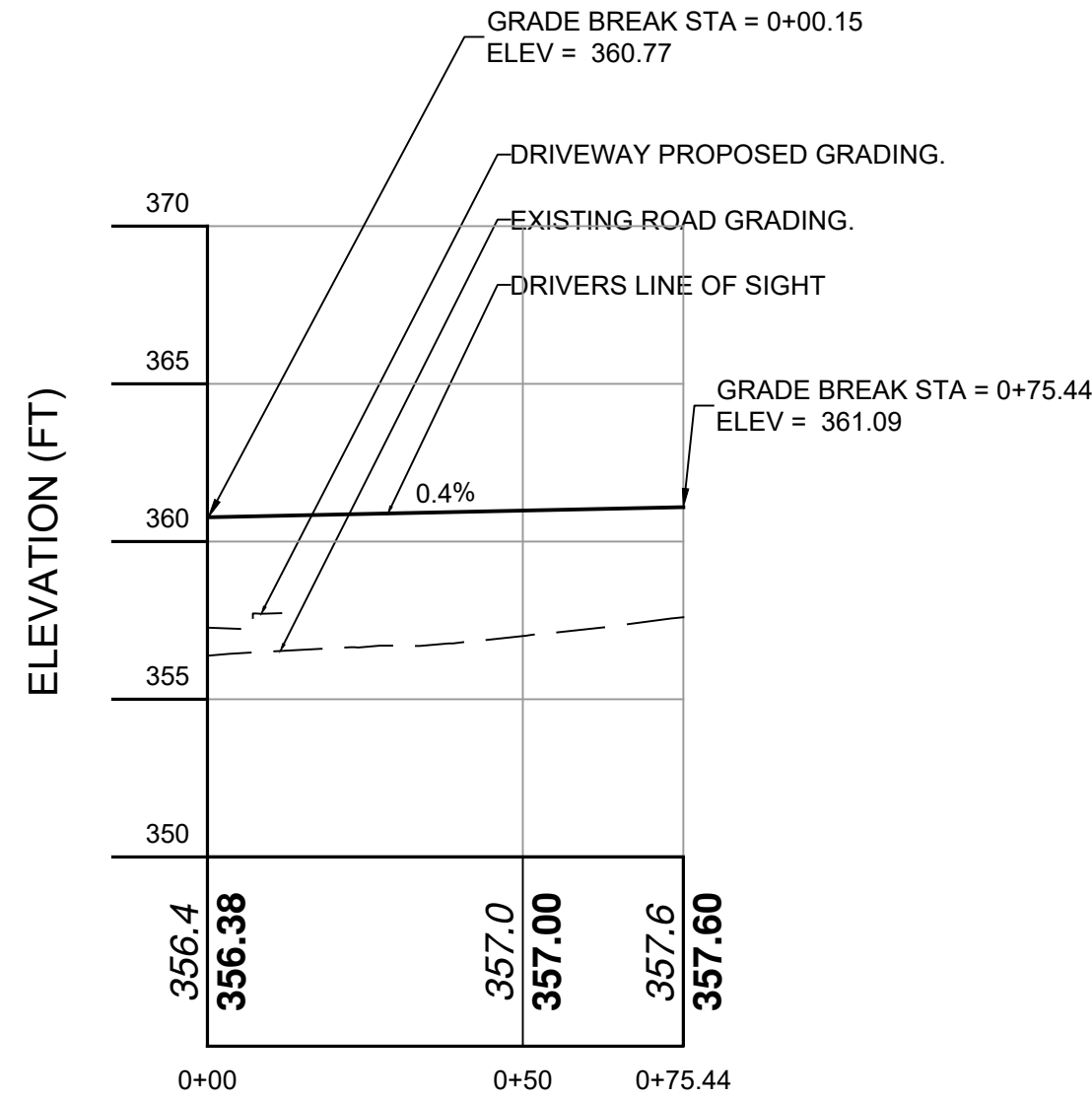
DISTANCE ALONG BASELINE (FT)

DRIVEWAY LEFT SIDE SIGHT DISTANCE (LOT#1)  
VERT. SCALE: 1" = 2  
HORIZ. SCALE: 1" = 10



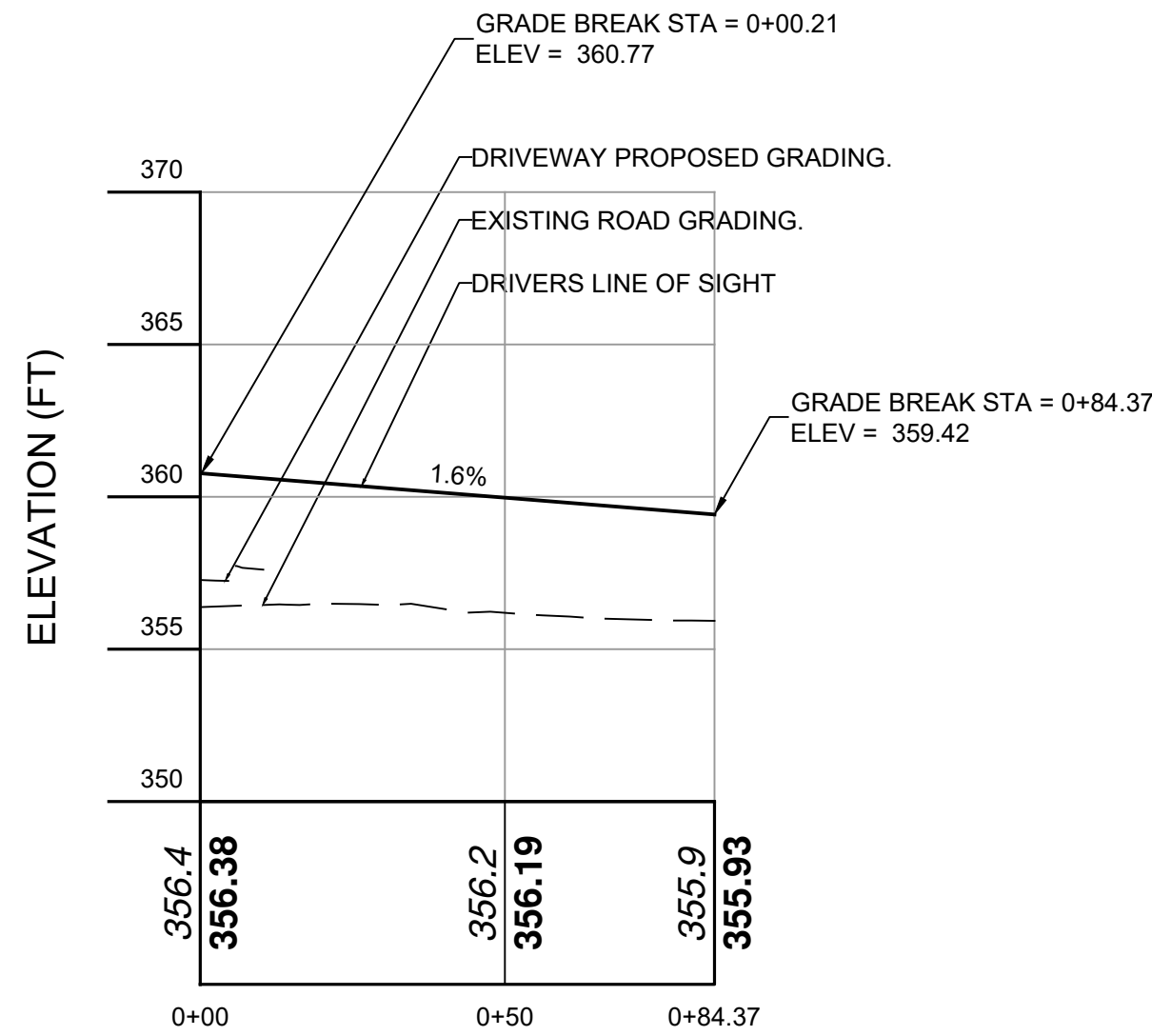
DISTANCE ALONG BASELINE (FT)

DRIVEWAY RIGHT SIDE SIGHT DISTANCE (LOT#1)  
VERT. SCALE: 1" = 2  
HORIZ. SCALE: 1" = 10



DISTANCE ALONG BASELINE (FT)

DRIVEWAY LEFT SIDE SIGHT DISTANCE (LOT#2)  
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HORIZ. SCALE: 1" = 10

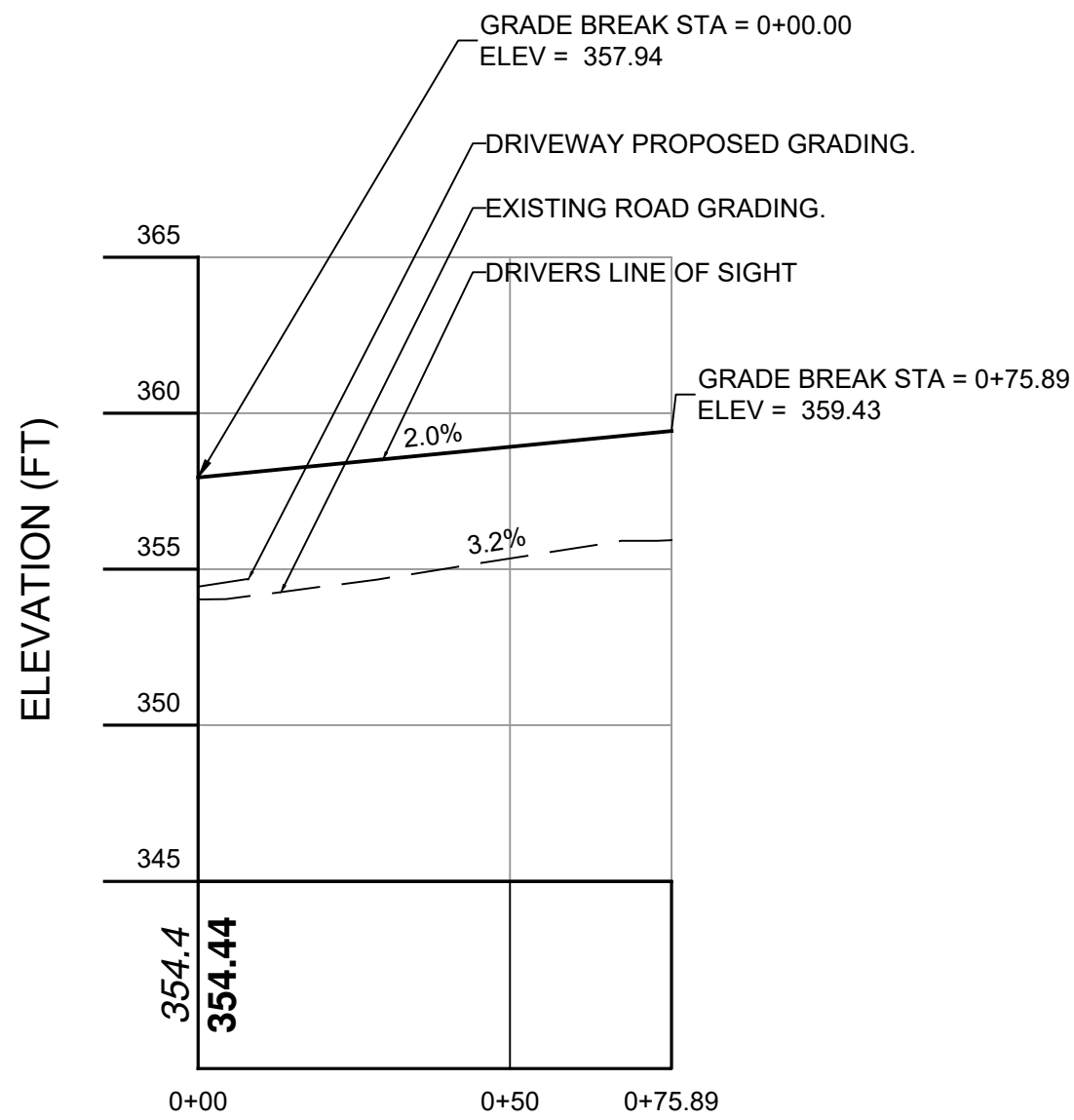


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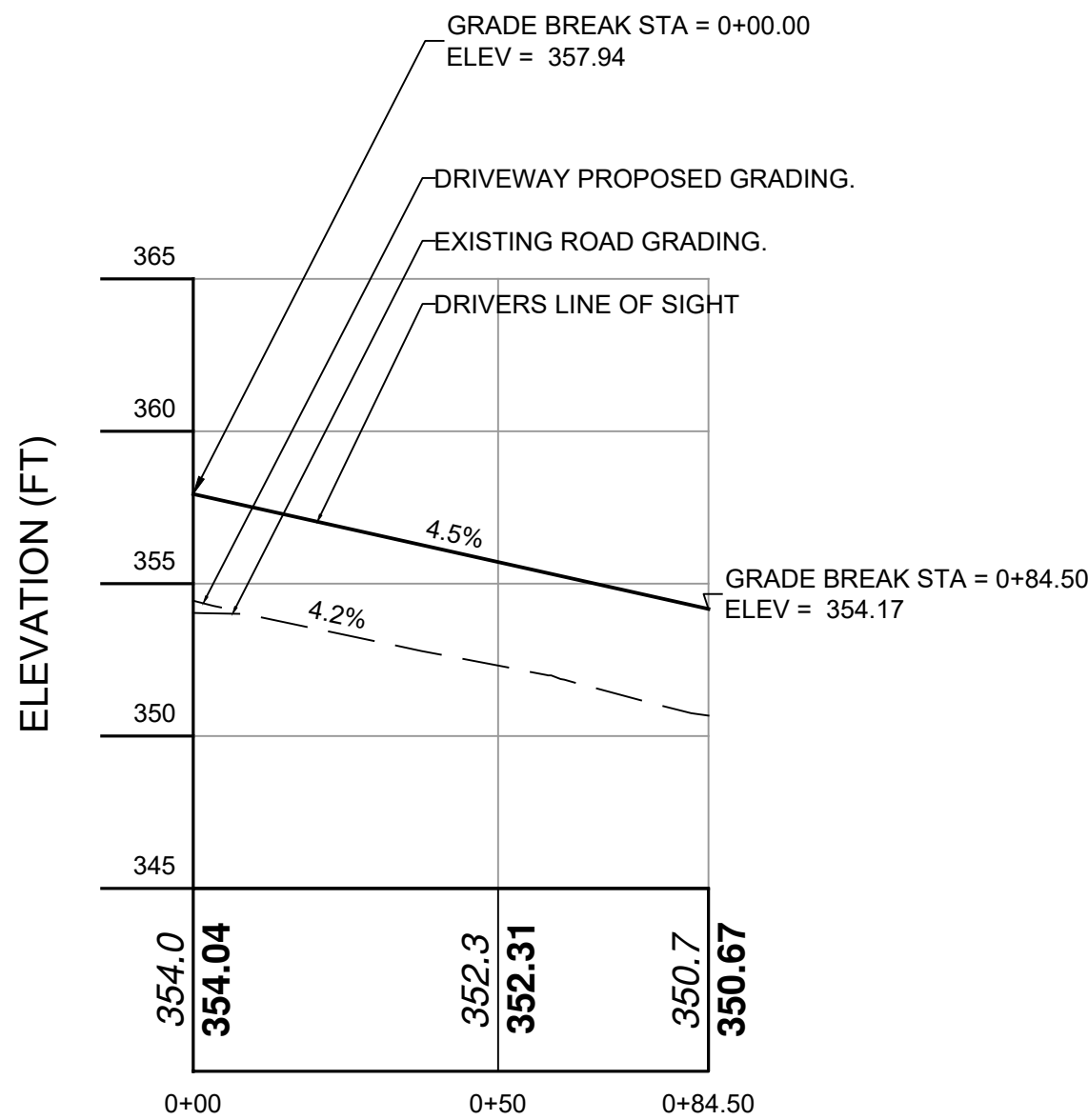
SIGHT DISTANCE LOT 1

SIGHT DISTANCE LOT 2



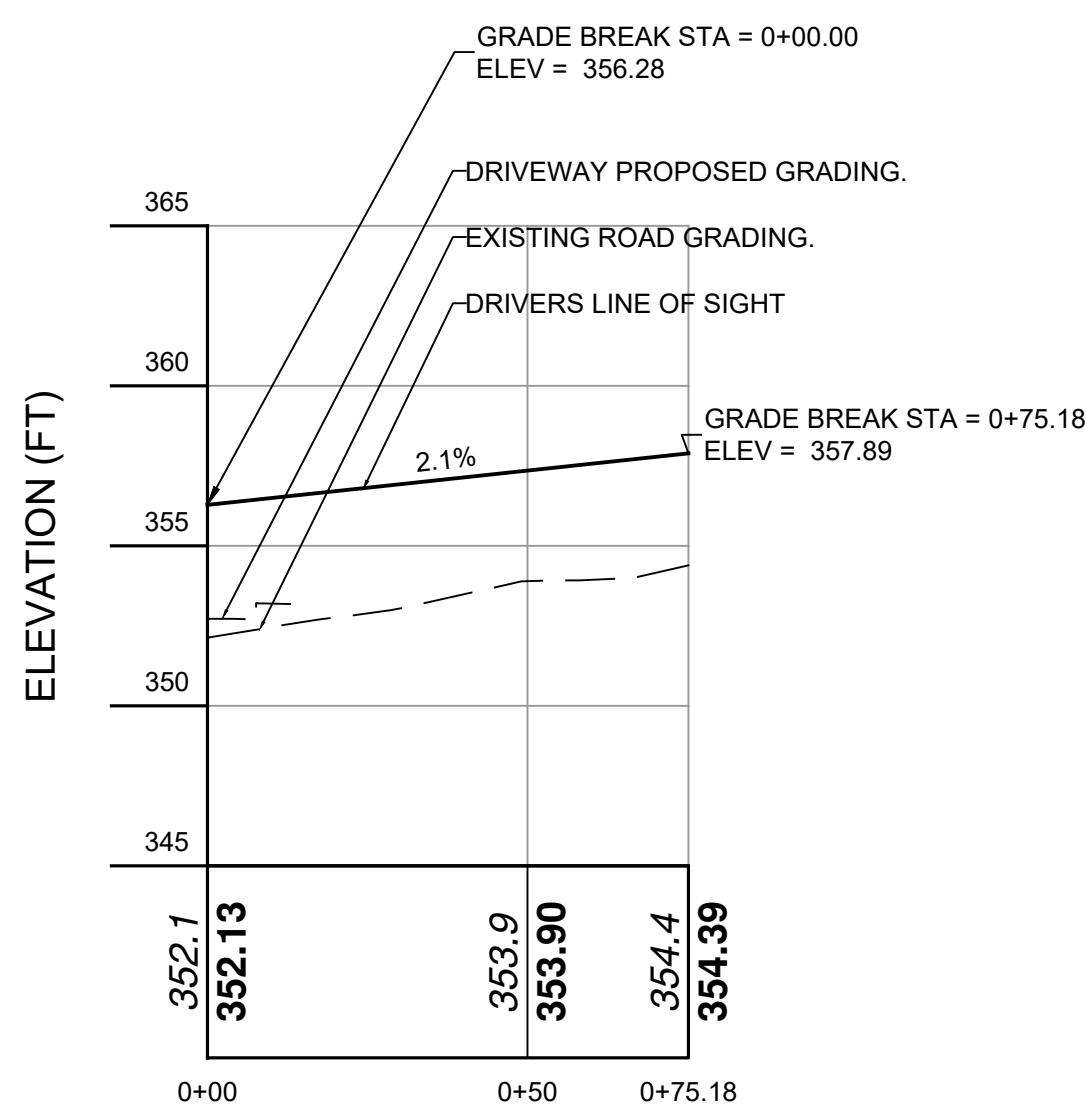
DISTANCE ALONG BASELINE (FT)

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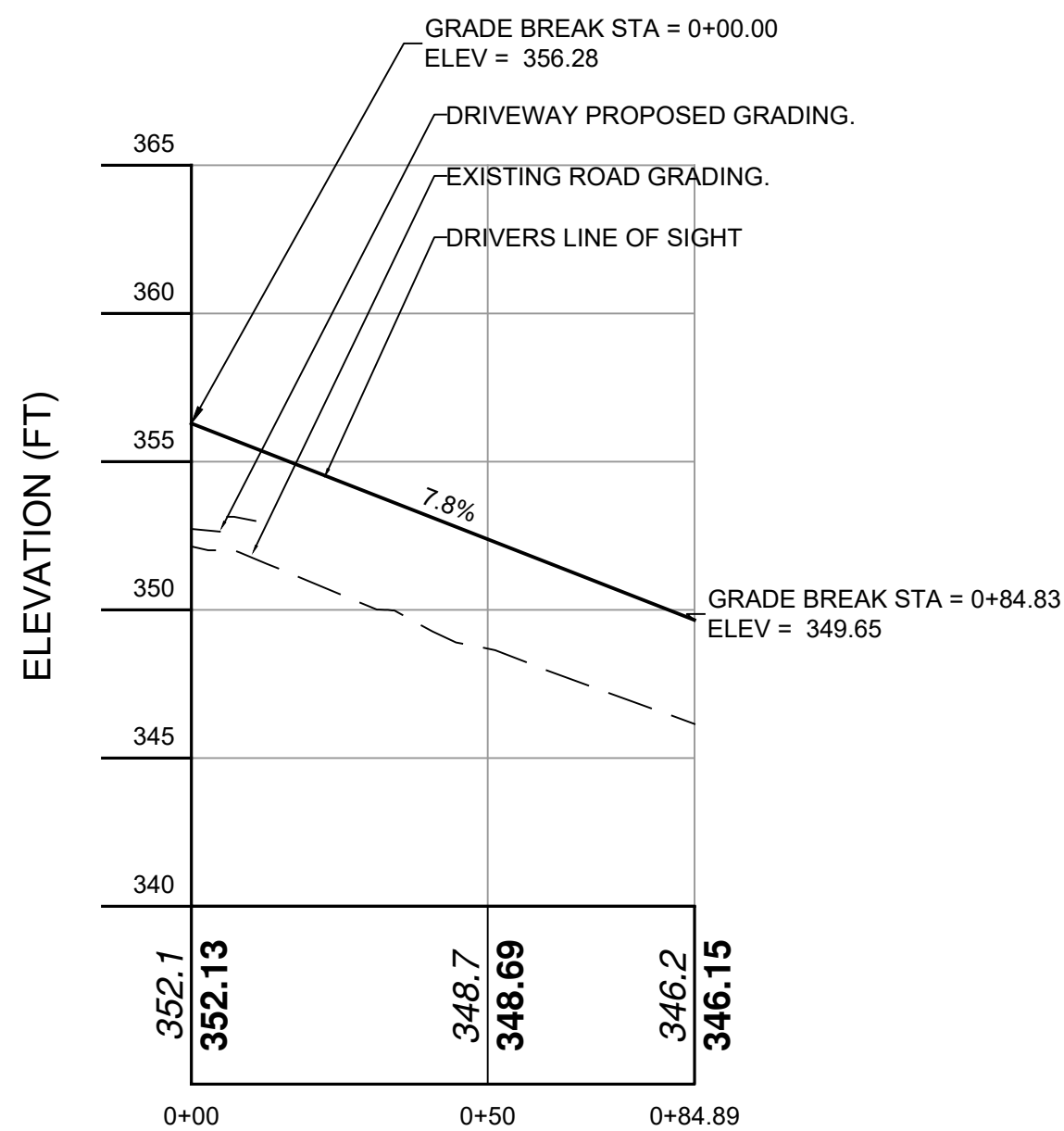
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DISTANCE ALONG BASELINE (FT)

DRIVEWAY LEFT SIDE SIGHT DISTANCE (LOT#4)  
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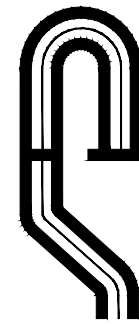


DISTANCE ALONG BASELINE (FT)

DRIVEWAY RIGHT SIDE SIGHT DISTANCE (LOT#4)  
VERT. SCALE: 1" = 2  
HORIZ. SCALE: 1" = 10

SIGHT DISTANCE LOT 3

SIGHT DISTANCE LOT 4



PROJECT #  
Project  
Number

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SCALE: 1" = 20'	DRAWN BY: MA	DATE: 5/30/2023
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SIGHT DISTANCE  
PROFILE

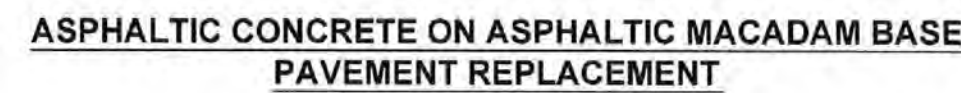
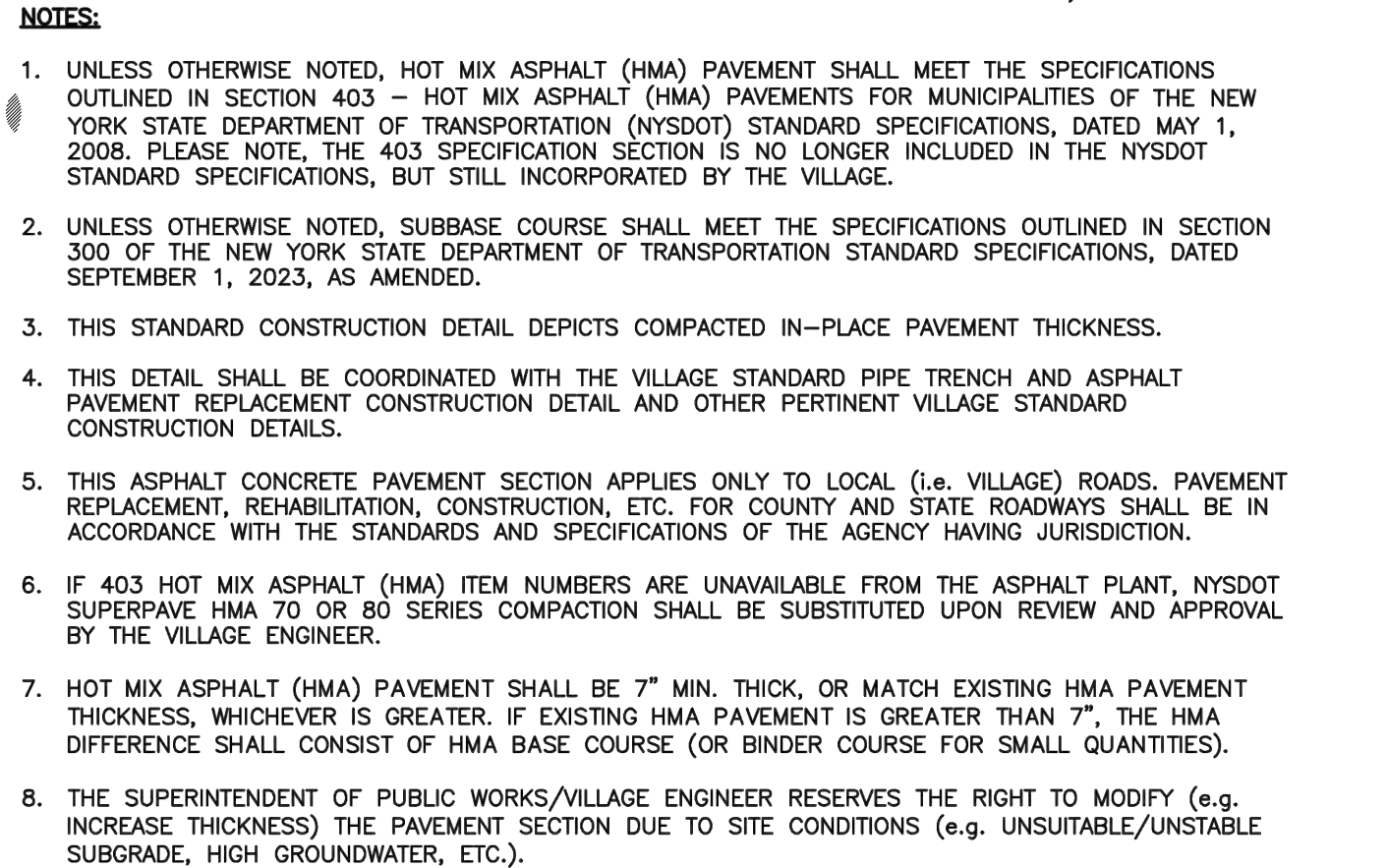
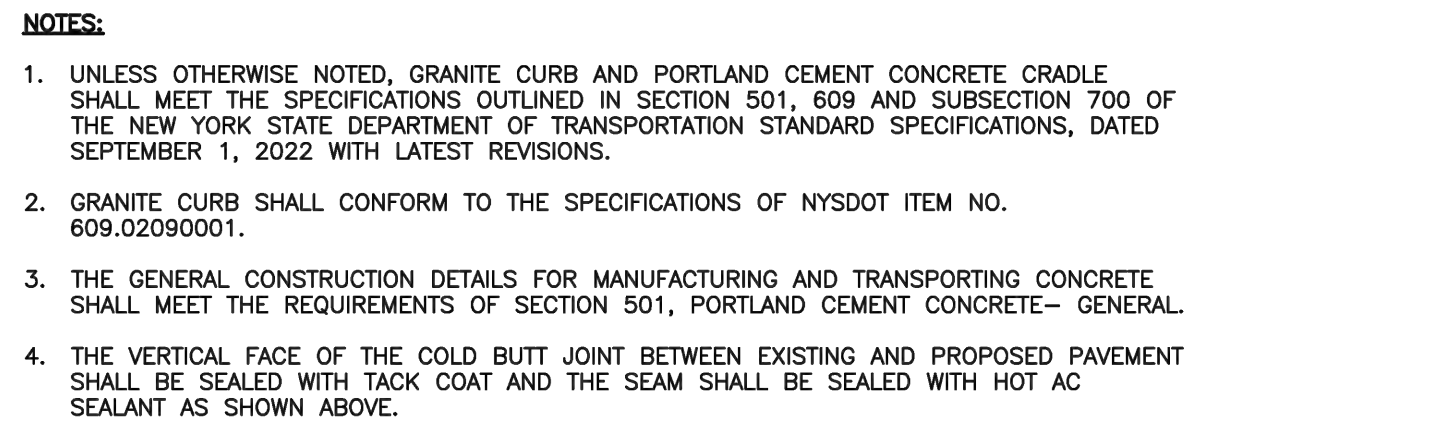
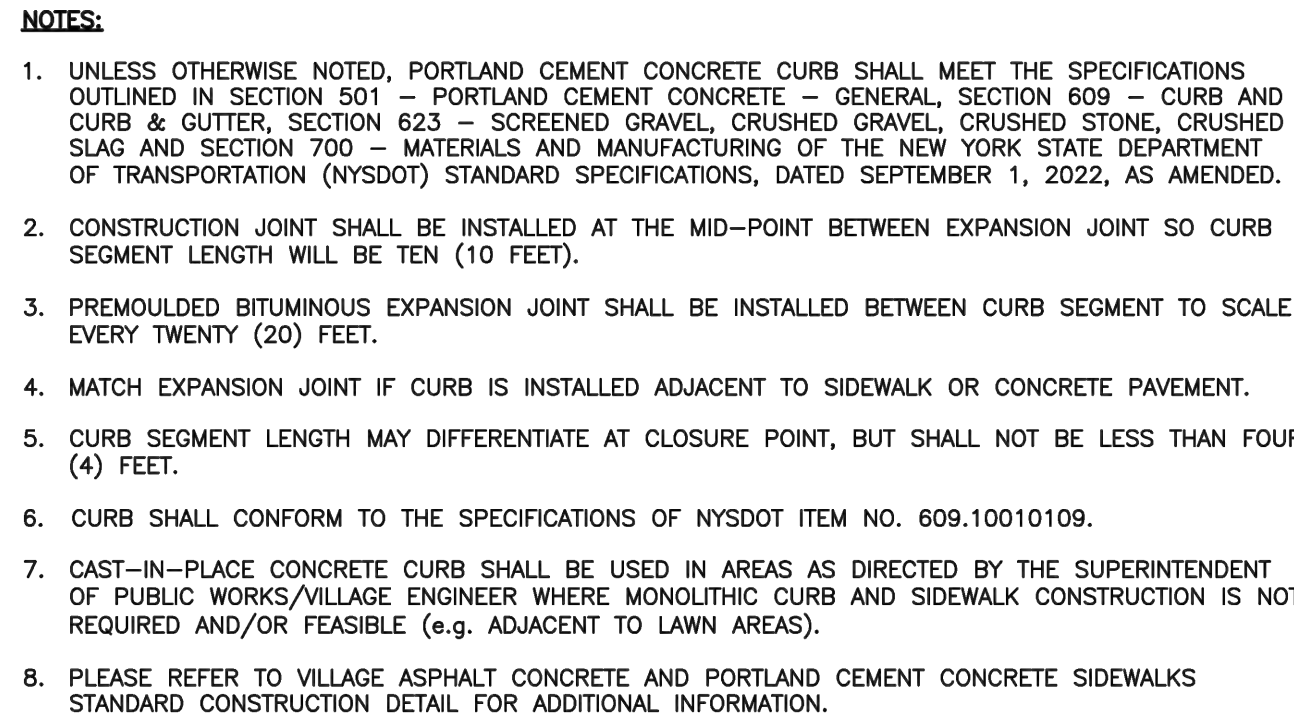
SUBDIVISION PLAN  
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Bedford Rd and Great Oak Ln.  
Village of Pleasantville, Westchester County, NY


E:\2023\23-01 GREAT OAKS - LINCORNBURG\ENGINEERING\CADD\23-01 GREAT OAKS - LINCORNBURG\PLAN\11-6-2023 DWG 6112023 2-45-20 PM










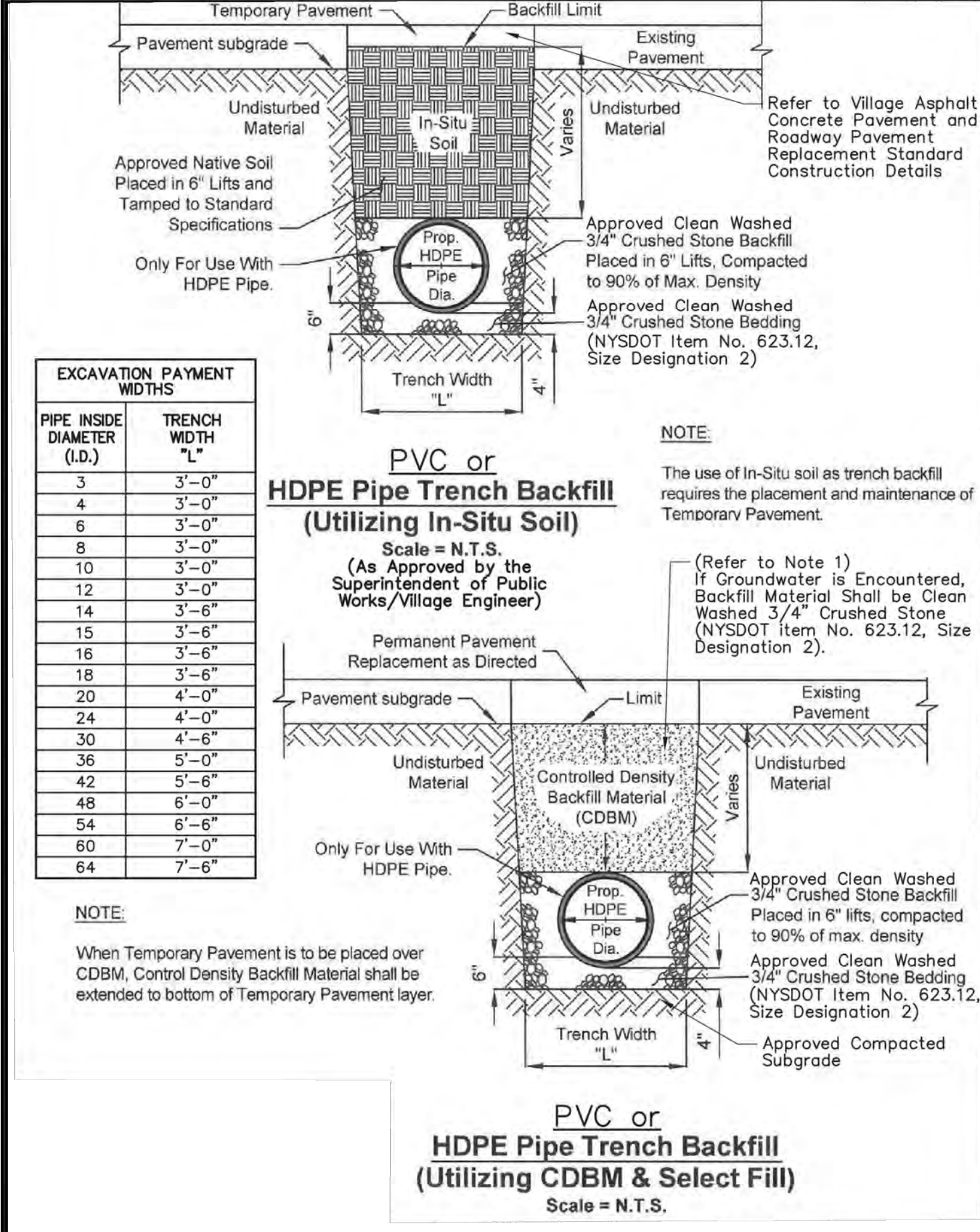
VILLAGE OF PLEASANTVILLE STANDARD CONSTRUCTION DETAILS	ASPHALT CONCRETE AND PORTLAND CONCRETE DRIVEWAYS (PAGE 1 OF 4)	 PLEASANTVILLE VILLAGE OF PLEASANTVILLE 80 WHEELER AVENUE WESTCHESTER COUNTY VILLAGE OF PLEASANTVILLE, NY 10670 PHONE: (914) 747-3883 FAX: (914) 747-3513	PROJECT: RETAIL CONTRACT NO. 2020-01 DATE: 12/2/2020 REV: 10/20/2020 SD-SE
PREPARED IN THE OFFICE OF THE SUPERINTENDENT OF PUBLIC WORKS AND VILLAGE ENGINEER	DRAWN BY: ARC, PE CHECKED BY: ARC, PE DESIGNED BY: ARC, PE VOP 50-56 Asphalt and PCC Driveways		

VILLAGE OF PLEASANTVILLE STANDARD CONSTRUCTION DETAILS	ASPHALT CONCRETE AND PORTLAND CEMENT DRIVEWAYS (PAGE 2 OF 4)	VILLAGE OF PLEASANTVILLE VILLAGE HALL 80 WHEELER AVENUE WESTCHESTER COUNTY NEW YORK 10570 PHONE: (914) 769-3883 FAX: (914) 761-3531	PROJECT NO. 23-01 DRAWING NO. SD-5E DATE 10/25/2023 BY: JLD CHECKED: JLD SD-5E
PREPARED IN THE OFFICE OF THE SUPERINTENDENT OF PUBLIC WORKS AND VILLAGE ENGINEER	DESIGNED BY: ARC, PE DRAWN BY: ARC, PE CHECKED BY: VCP SD-5E Asphalt and PCC Driveways 		

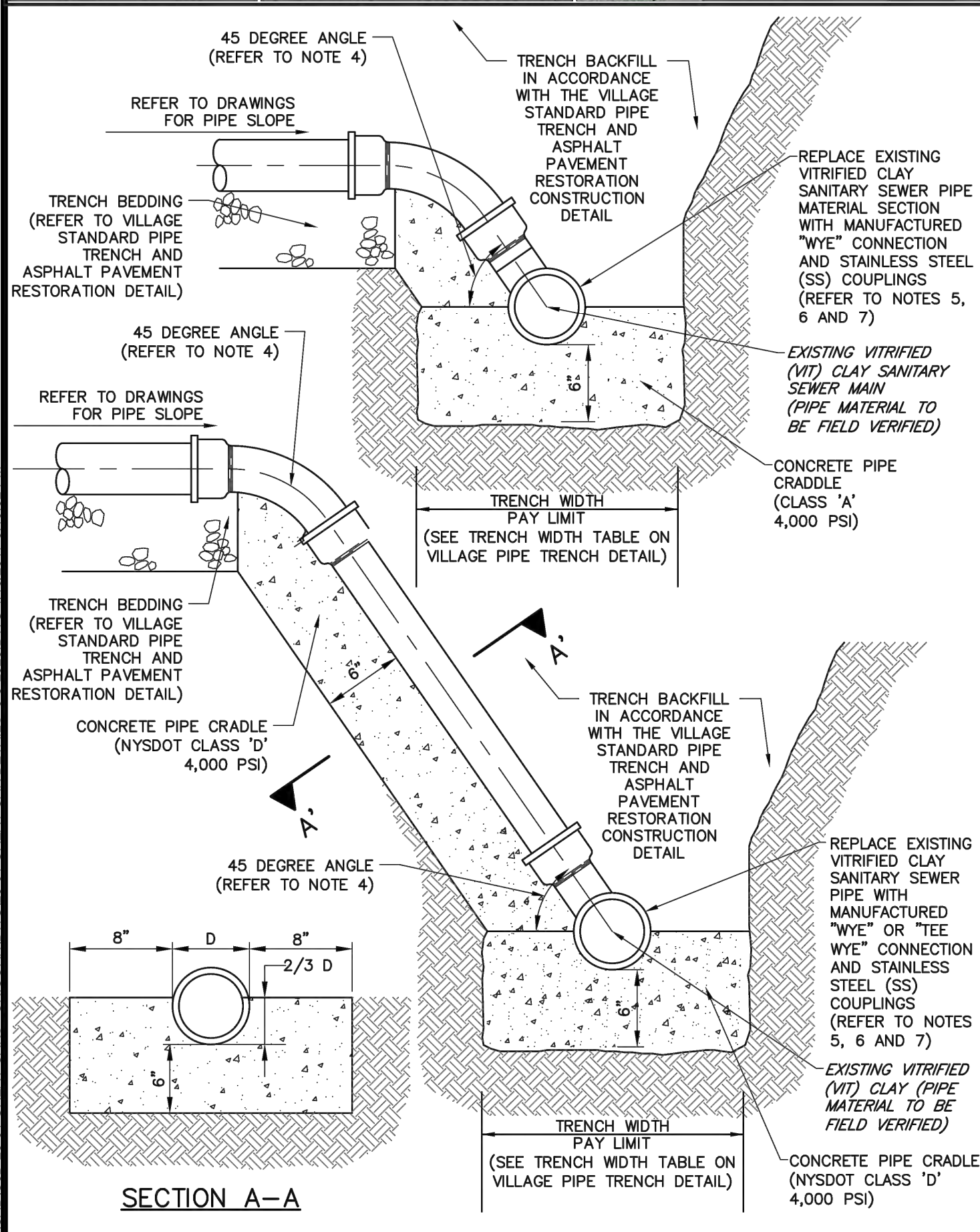
<p>VILLAGE OF PLEASANTVILLE STANDARD CONSTRUCTION DETAILS</p>	<p><b>ROADWAY PAVEMENT REPLACEMENT FOR CIP, GRANITE OR MONOLITHIC CONCRETE CURB INSTALLATION</b></p>	<p>VILLAGE OF PLEASANTVILLE 10 WELLSY AVE. WESTCHESTER COUNTY VILLAGE OF PLEASANTVILLE, NY 10570 PHONE: (914) 769-3883 (914) 747-3331</p>	<p>PROJECT REF: SD-6B DATE: 04/25/2008 REV 04/18/2008</p>
<p>PREPARED IN THE OFFICE OF THE SUPERINTENDENT OF PUBLIC WORKS AND VILLAGE ENGINEER</p>	<p>DRAWN BY: ARC, PE CHECKED BY: ARC, PE VOP SD-6B, Roadway Pavement</p>	<p>Replacement of Curb Installation (40%)</p>	<p>SD-6B</p>

[illegible]

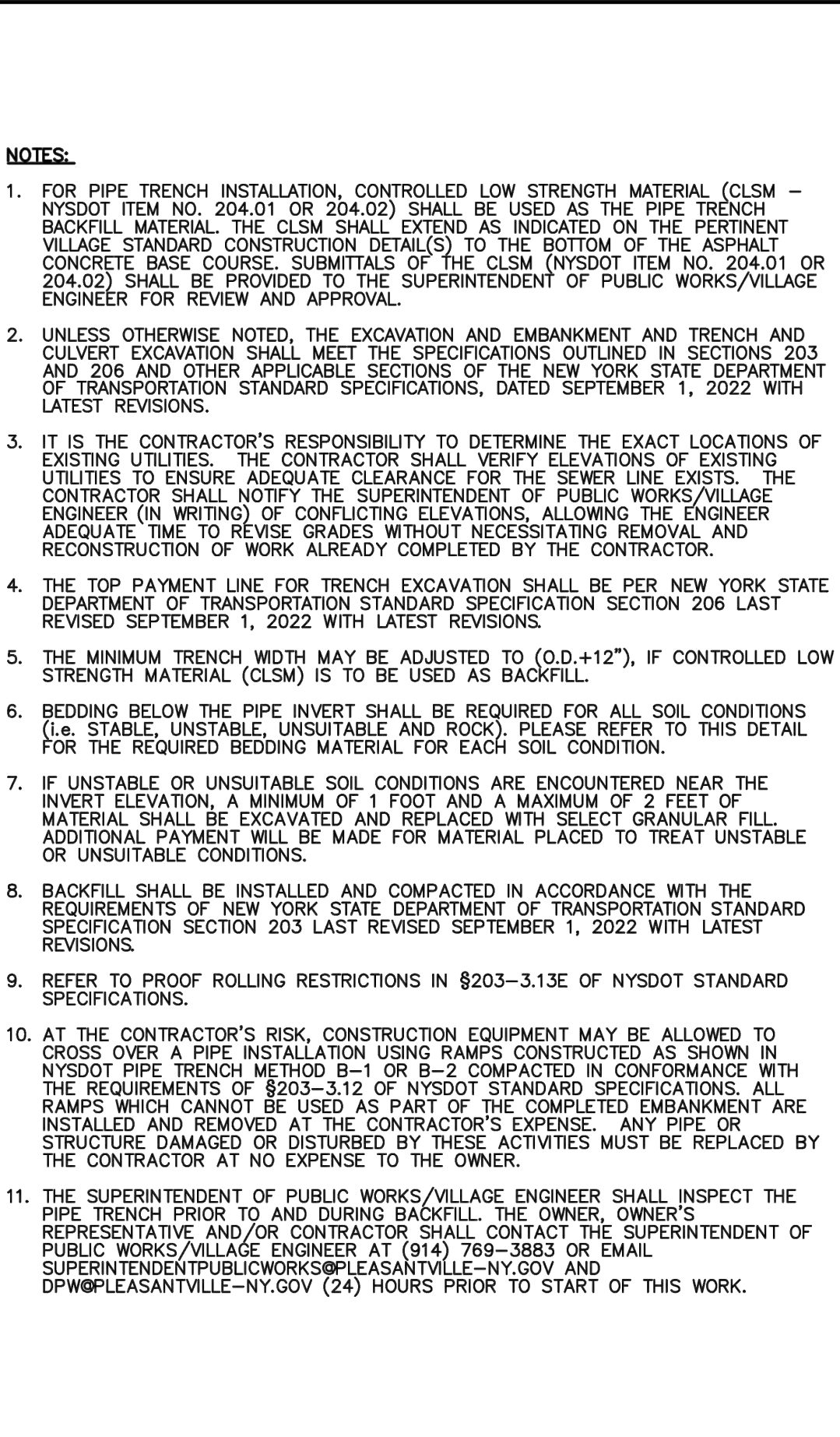




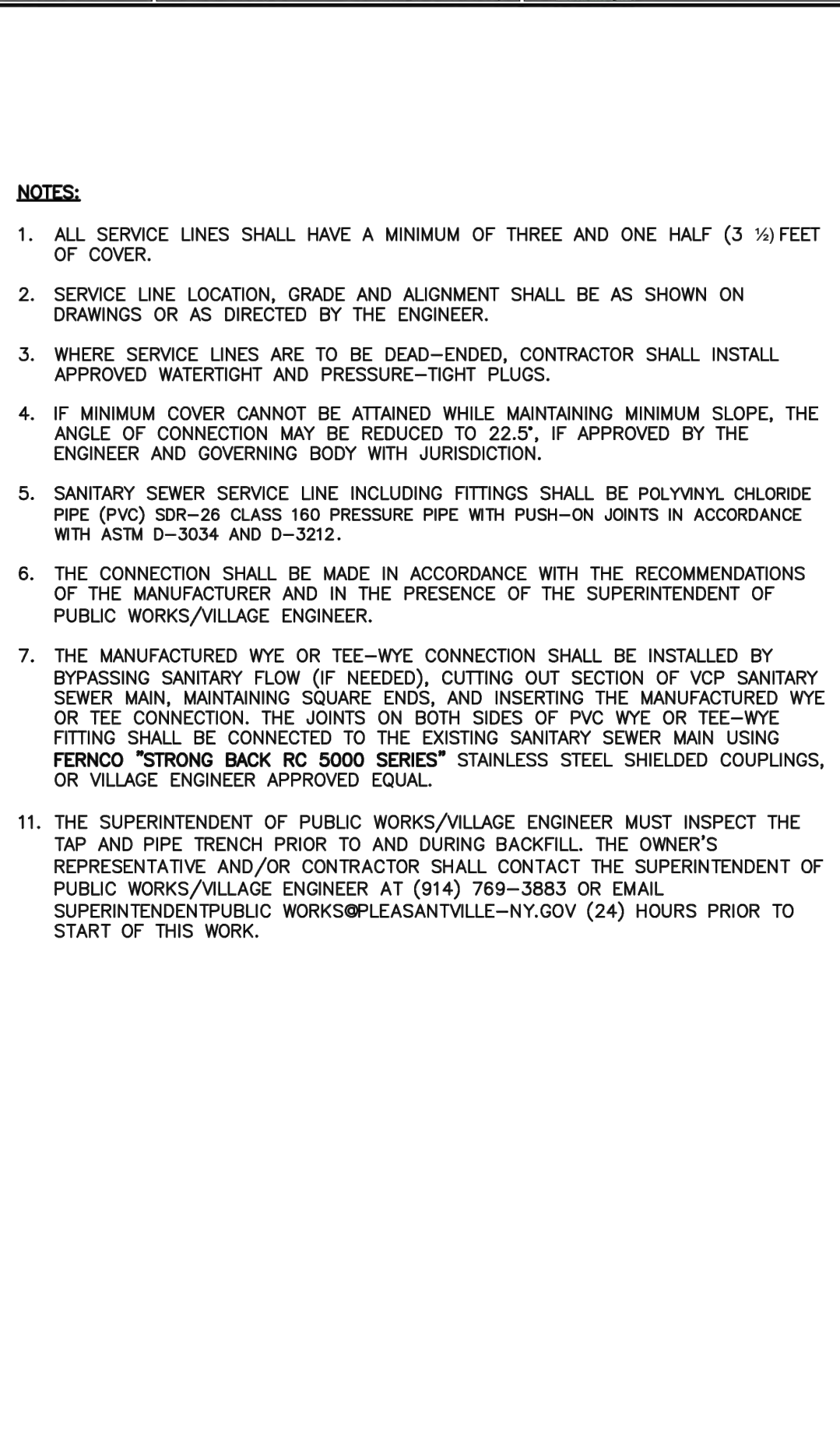
VILLAGE OF PLEASANTVILLE STANDARD CONSTRUCTION DETAILS PREPARED IN THE OFFICE OF THE SUPERINTENDENT OF PUBLIC WORKS AND VILLAGE ENGINEER	HDPE & PVC PIPE TRENCH BACKFILL (PAGE 1 OF 2) DESIGNED BY: ARJL PE CHECKED BY: ARJL PE DRAWN BY: ARJL PE	VILLAGE OF PLEASANTVILLE STANDARD CONSTRUCTION DETAILS PREPARED IN THE OFFICE OF THE SUPERINTENDENT OF PUBLIC WORKS AND VILLAGE ENGINEER
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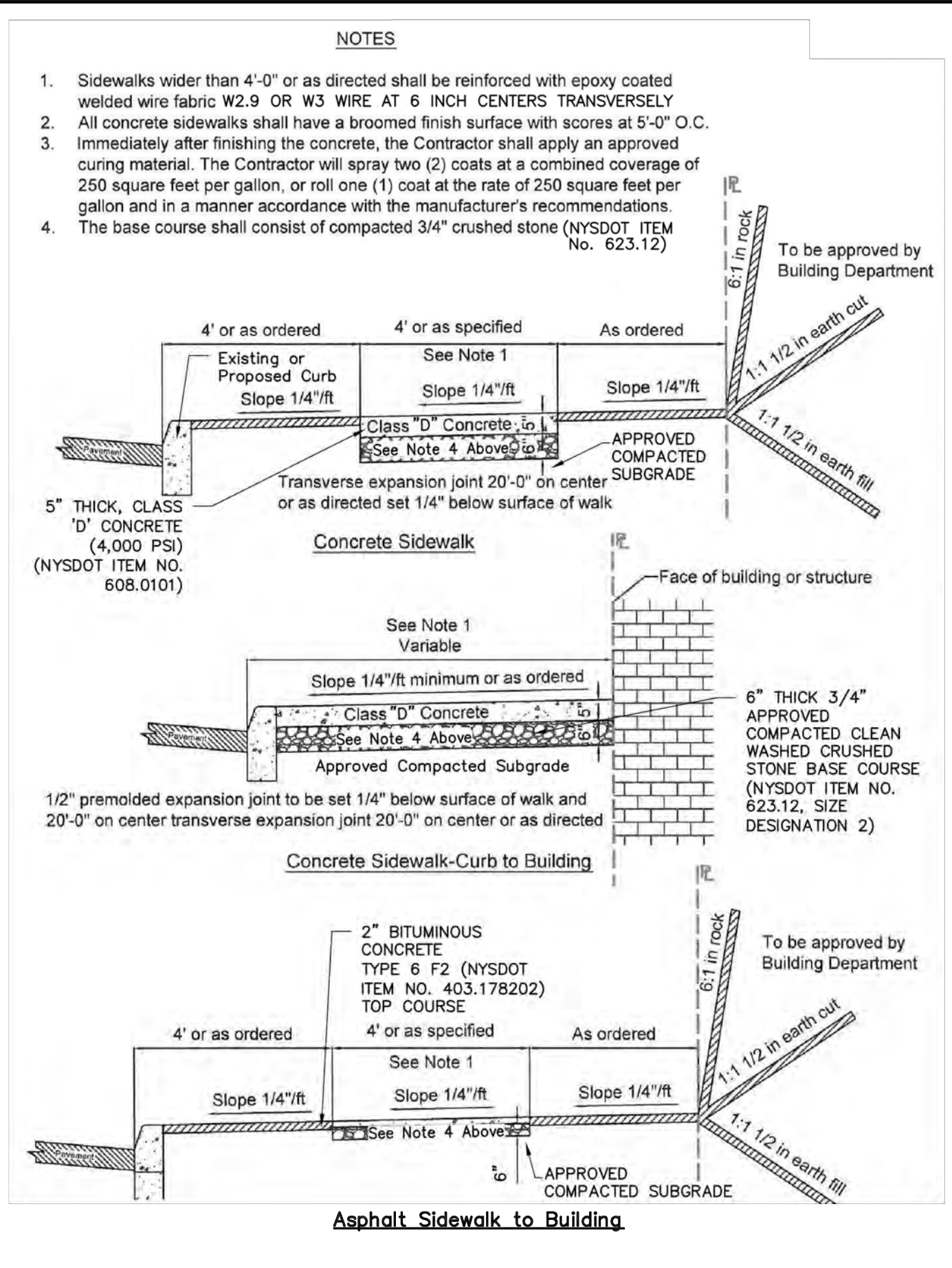
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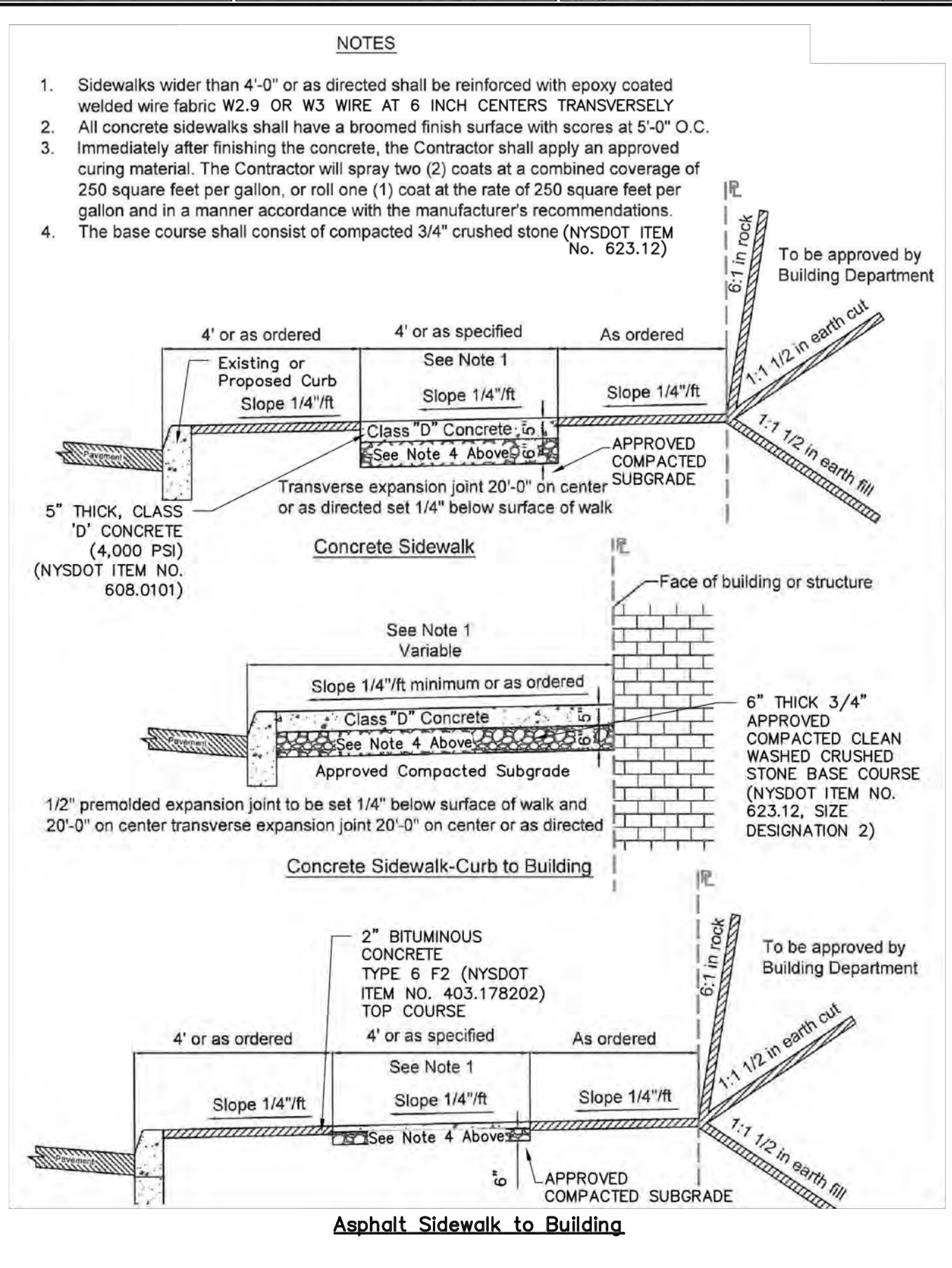
VILLAGE OF PLEASANTVILLE STANDARD CONSTRUCTION DETAILS PREPARED IN THE OFFICE OF THE SUPERINTENDENT OF PUBLIC WORKS AND VILLAGE ENGINEER	HDPE & PVC PIPE TRENCH BACKFILL (PAGE 2 OF 2) DESIGNED BY: ARJL PE CHECKED BY: ARJL PE DRAWN BY: ARJL PE	VILLAGE OF PLEASANTVILLE STANDARD CONSTRUCTION DETAILS PREPARED IN THE OFFICE OF THE SUPERINTENDENT OF PUBLIC WORKS AND VILLAGE ENGINEER
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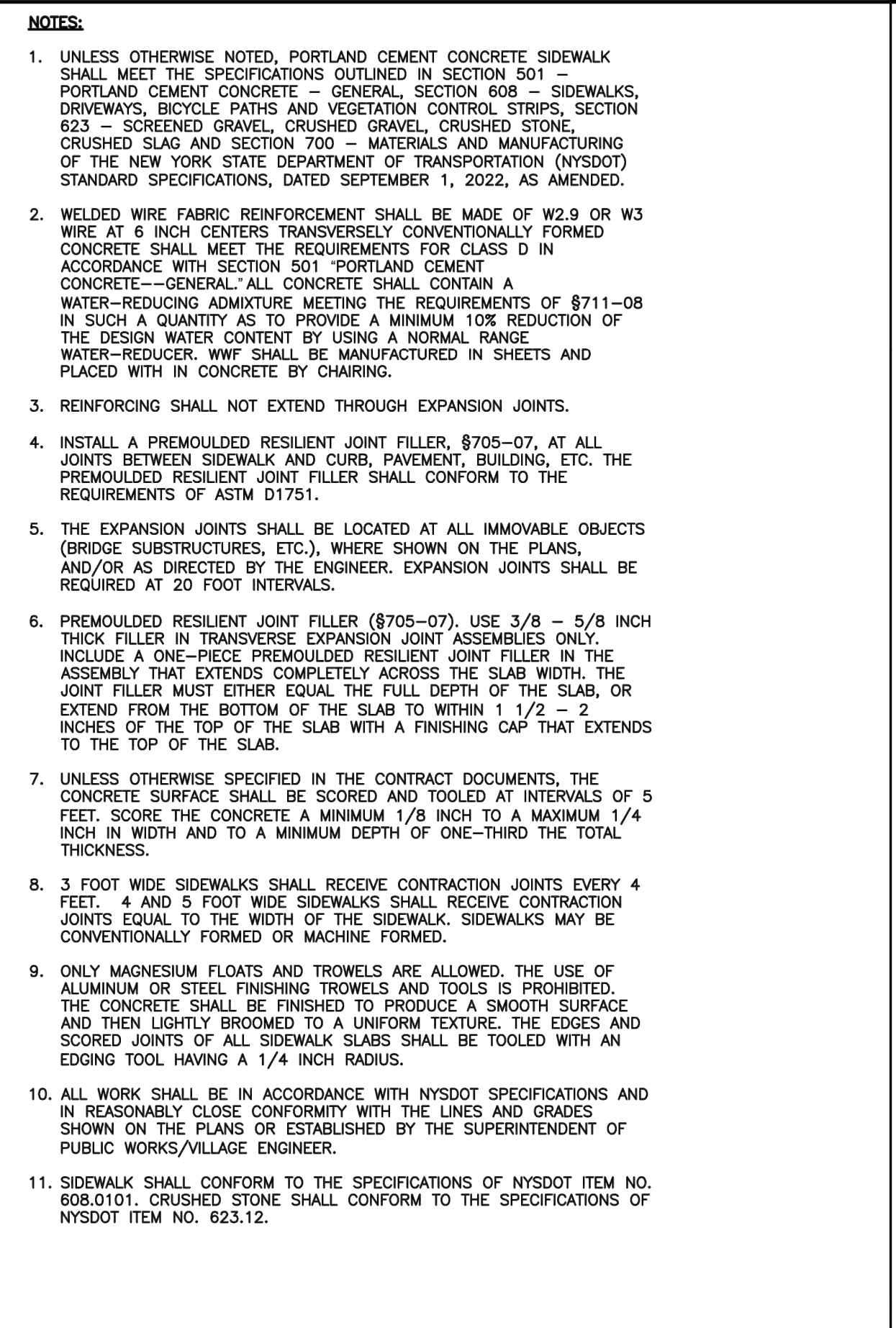
VILLAGE OF PLEASANTVILLE STANDARD CONSTRUCTION DETAILS PREPARED IN THE OFFICE OF THE SUPERINTENDENT OF PUBLIC WORKS AND VILLAGE ENGINEER	SANITARY SEWER LATERAL WYE OR TEE CONNECTION TO EXISTING CLAY MAINS (PAGE 2 OF 2) DESIGNED BY: ARJL PE CHECKED BY: ARJL PE DRAWN BY: ARJL PE	VILLAGE OF PLEASANTVILLE STANDARD CONSTRUCTION DETAILS PREPARED IN THE OFFICE OF THE SUPERINTENDENT OF PUBLIC WORKS AND VILLAGE ENGINEER
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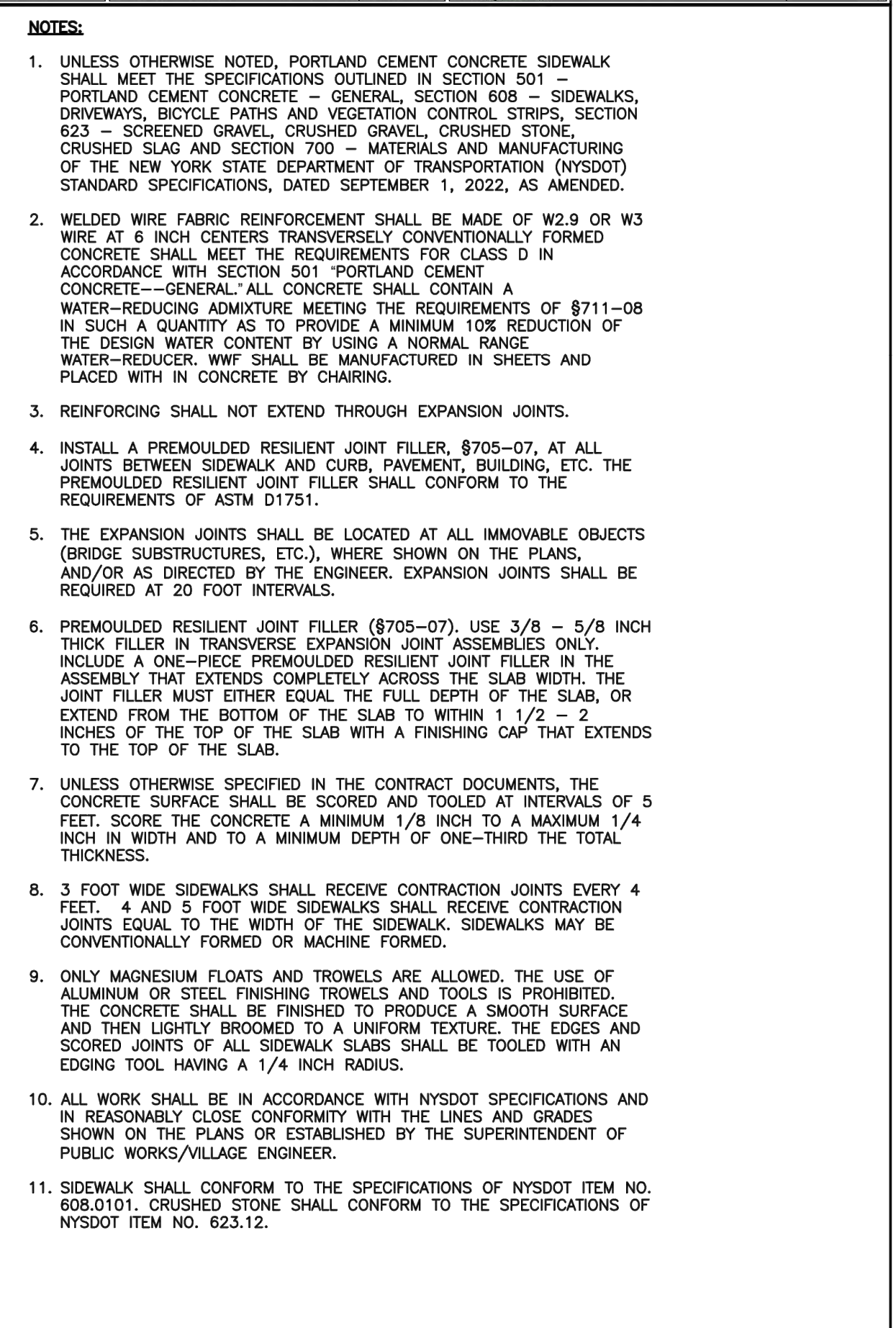
VILLAGE OF PLEASANTVILLE STANDARD CONSTRUCTION DETAILS PREPARED IN THE OFFICE OF THE SUPERINTENDENT OF PUBLIC WORKS AND VILLAGE ENGINEER	ASPHALT CONCRETE AND PORTLAND CONCRETE SIDEWALKS (PAGE 1 OF 2) DESIGNED BY: ARJL PE CHECKED BY: ARJL PE DRAWN BY: ARJL PE	VILLAGE OF PLEASANTVILLE STANDARD CONSTRUCTION DETAILS PREPARED IN THE OFFICE OF THE SUPERINTENDENT OF PUBLIC WORKS AND VILLAGE ENGINEER
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Site Design Consultants

Civil Engineers • Land Planners

251-F Underhill Avenue, Yorktown Heights, NY 10598

(914) 962-4488 - Fax: (914) 962-7386

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REVISIONS:

No.	Date	Comments
1	6/8/2023	Site design
2	6/28/2023	Site revision
3	9/7/2023	Site revision
4	10/10/2023	Site revision
5	11/6/2023	Village Comments
6	12/12/2023	Village Comments

SCALE: 1" = 10'

DRAWN BY: MA

DATE: 6/8/2023

SUBDIVISION PLAN  
PREPARED FOR

GREAT OAK LANE

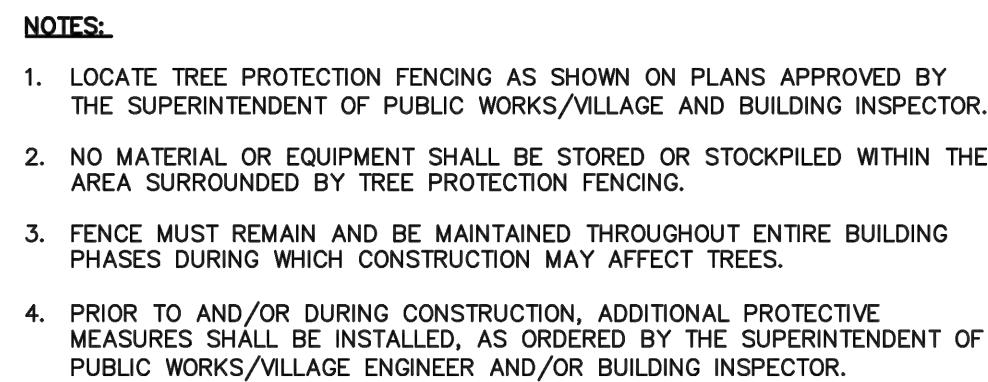
Bedford Rd and Great Oak Ln.

Westchester County, NY

Village of Pleasantville.

C - 502

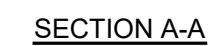
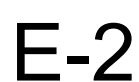
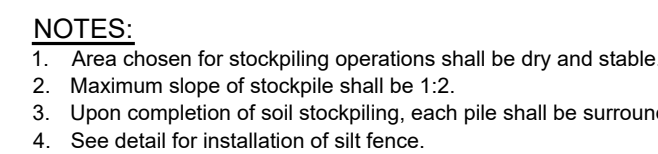
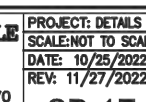




## INSTALLATION DETAIL

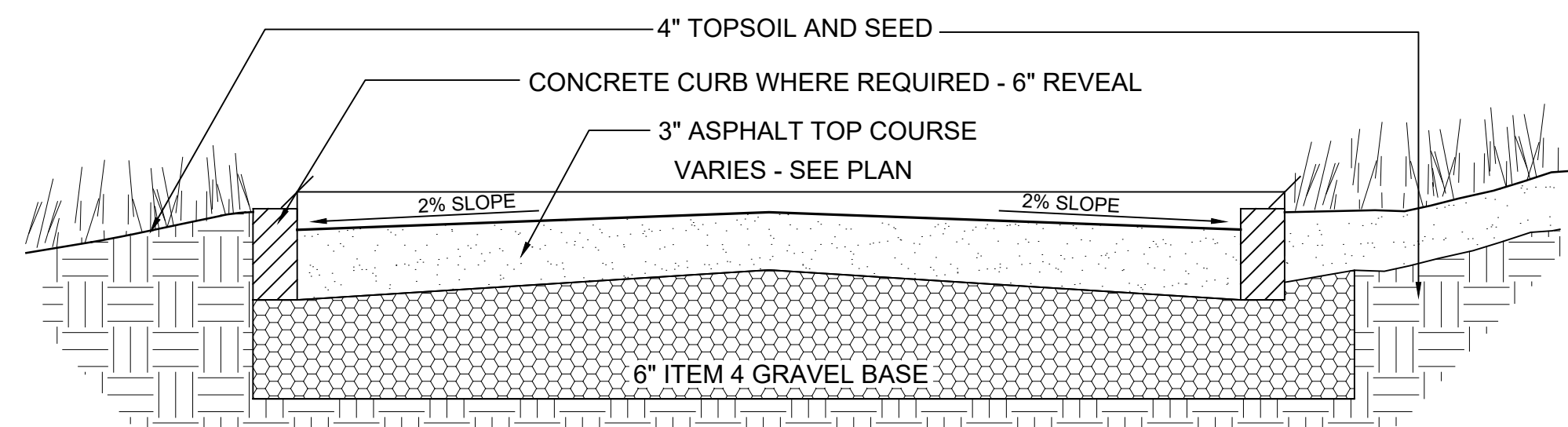
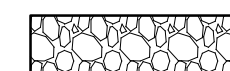
NOTES:

1. INLET PROTECTION SHALL BE THE SILT SACK® "HIGH FLOW", TYPE 'B' (WITH CURB DEFLECTOR; OVERFLOWS INCLUDED) MANUFACTURED BY ACF ENVIRONMENTAL OR APPROVED EQUAL.
2. CATCH BASIN INSERTS COLOR SHALL BE ORANGE, AND CONFORM TO THE SPECIFICATIONS OF NYSDOT ITEM NO. 209.11010024.



- INSTALLATION NOTES:

2. Stone size - use #3, Stone, or reclaimed or recycled concrete equivalent.
3. Length - as required, but not less than 50 feet (except on a single residence lot where a 30 foot minimum length would apply).
4. Thickness - not less than six (6) inches.
5. Width - 10' foot minimum, but not less than the full width at points where ingress or egress occur. 24 ft if single entrance to site.
6. Surface - surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a 12" storm drain with a 1/2" grate shall be installed.
7. Maintenance - the entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public right of way this may require periodic top dressing with additional stone as conditions demand and repair and/or cleanouts of any measures used to trap sediment and sediment from the entrance to the public right of way must be made as needed.
8. Washing - wheels shall be cleaned to remove sediment prior to entrance onto public right of way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
9. Periodic inspection and needed maintenance shall be provided after the project.



# TYPICAL DRIVEWAY DETAIL

NOT TO SCALE







REQUIREMENTS:

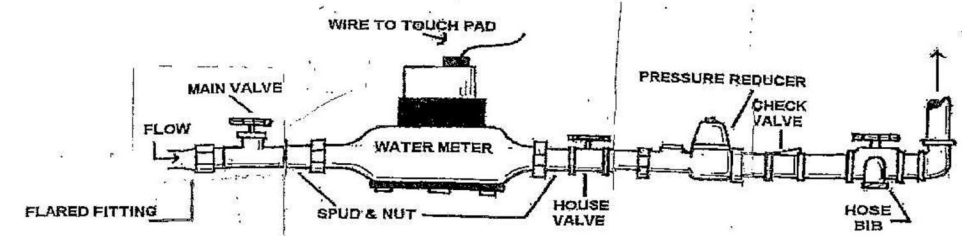
- MAIN CONTROL VALVE
- WATER METER
- HOUSE SIDE CONTROL VALVE
- PRESSURE REDUCING VALVE
- CHECK VALVE
- CHECK VALVE HOSE BIB

A space of 13 inches is required for the installation of a 5/8 x 3/4 inch water meter. A space of 16 inches is required for the installation of a one (1") inch water meter.

The water service line shall enter the premise no less than 4 feet and no more than 5 feet below finished grade. The meter shall be installed in a heated space. The meter shall be placed as close as possible to the service line where it enters the structure. The water meter must remain accessible at all times (for example, it shall not be placed behind or in a location obstructed by a wall, hot water heater, oil tank, washer, dryer or boiler).

The pressure reducer and check valve shall be installed downstream of the house side control valve (ball valves are recommended for both the main control valve and house side control valve) to protect the meter and the water system. Nothing can be installed, except for the main control valve before the check valve (i.e. - sprinkler system).

In all cases, irrespective of meter size, where the distance from the property line to the front wall of the premises is greater than 120 feet or where the service line has a joint in the K copper tubing, the Water District requires that the meter pit be set at or near the property line in an approved meter pit.



**Note:** The Water District maintains and repairs the water meter, outside remote, remote wire and the spuds/nuts.

**WATER METER DIAGRAM FOR  
NEW INSTALLATION OR UPGRADE TO AN EXISTING INSTALLATION**  
N.T.S.

HARNESING SCHEDULE					
PIPE DIAMETER	DEFLECTION				LEAD DND
	11'-1/4"	22'-1/2"	45'	90'	
4" & 6"	10'	10 ft.	10'	14 ft.	10 ft.
8"	10'	10 ft.	10'	14 ft.	11 ft.
10"	10'	10 ft.	10'	15 ft.	12 ft.
12"	10'	10 ft.	11'	16 ft.	13 ft.
14"	10'	10 ft.	13'	21 ft.	16 ft.
16"	10'	10 ft.	15'	24 ft.	19 ft.

NOTES:

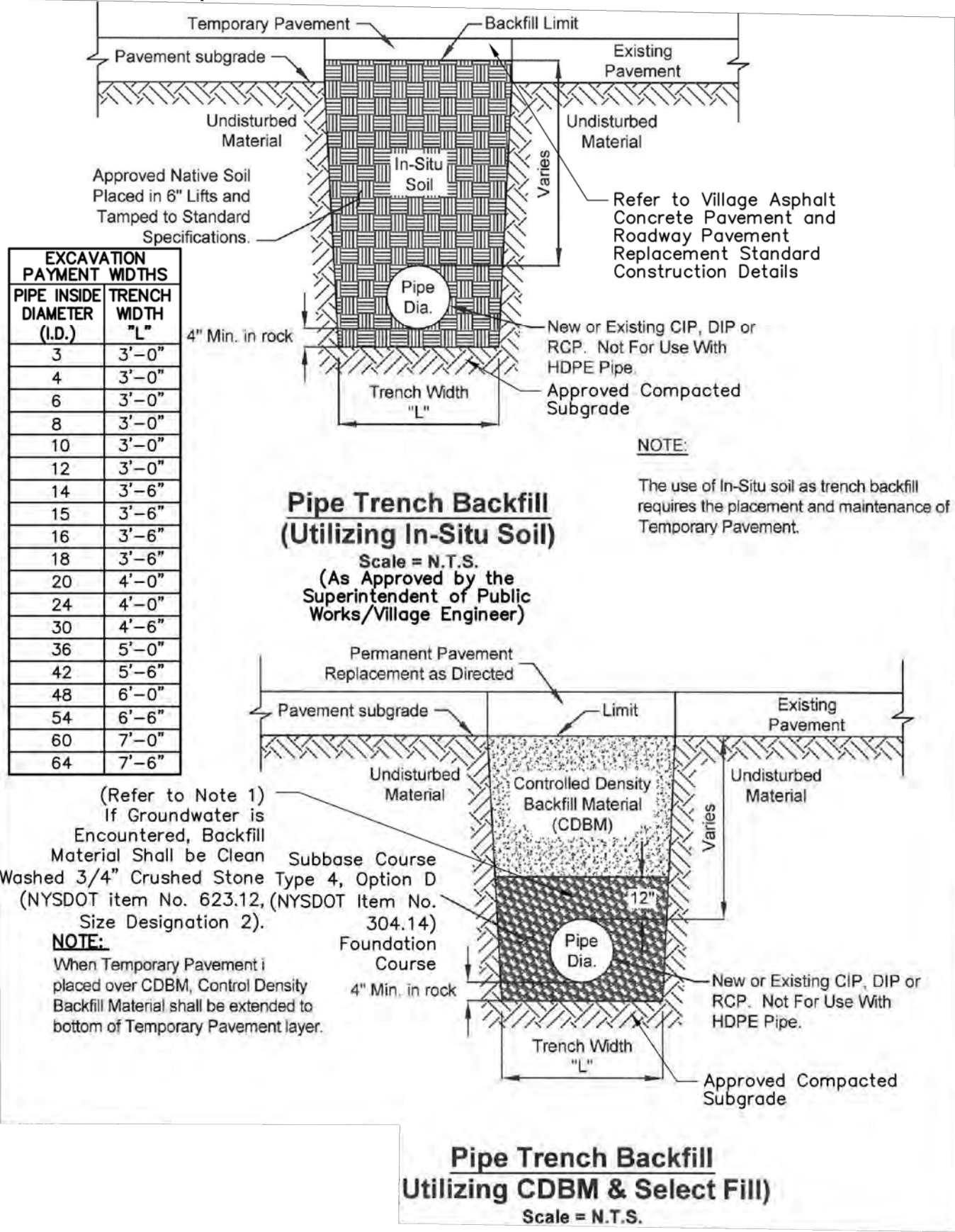
- THE DISTANCES SHOWN ARE THE LINEAL FEET OF PIPE TO BE ROODED ON EACH SIDE OF THE FITTING OR THE LINEAL FEET OF PIPE ROODED BACK FROM A PLUGGED DEAD END.
- THE LIMITS SHOWN ABOVE MAY BE INCREASED WHERE SPECIFICALLY SHOWN ON THE PLANS OR DETAILS.

TIE ROD SIZE			CLAMP SIZE	
PIPE DIA.	ROD DIA.	BOLT DIA.	PIPE DIA.	CLAMP
4"	3/4"	5/8"	4"	1/2" x 2"
6"	3/4"	5/8"	6"	1/2" x 2"
8"	3/4"	5/8"	8"	5/8" x 2-1/2"
10"	7/8"	3/4"	10"	5/8" x 2-1/2"
12"	1"	7/8"	12"	5/8" x 2-1/2"
14"	1-1/8"	1"	14"	3/4" x 4"
16"	1-1/2"	1"	16"	3/4" x 4"

SD-2C

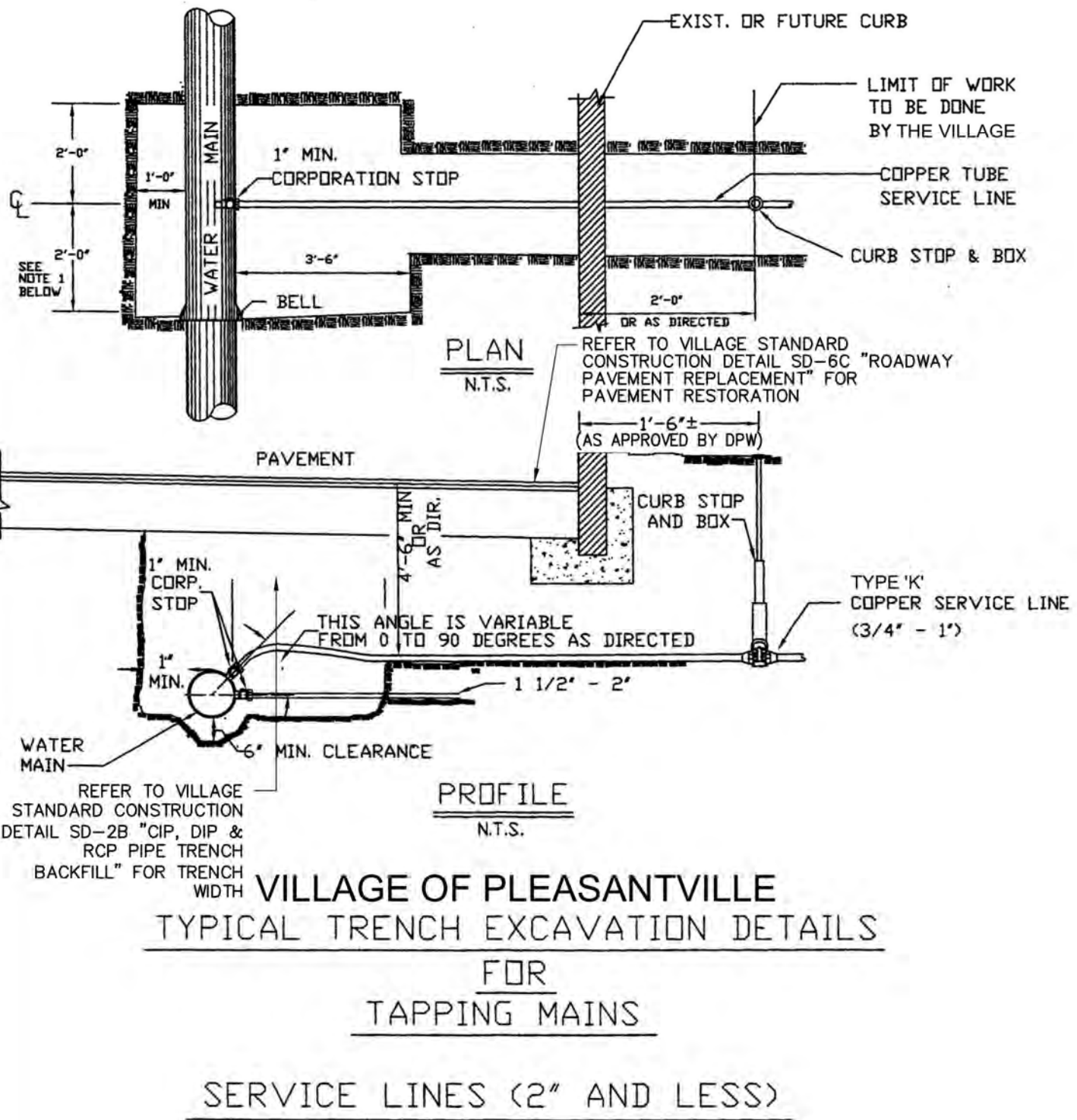
VILLAGE OF PLEASANTVILLE DPW DETAILS

NOT TO SCALE

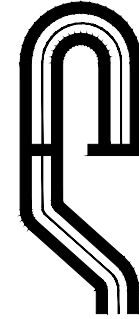


NOTES:

- THE MINIMUM DIMENSION FROM THE EDGE OF BELL AND/OR TRENCH TO CORPORATION STOP SHALL BE 2'-0" OR AS DIRECTED.
- FOR 1", 1 1/2" & 2" VILLAGE OF PLEASANTVILLE PERFORMS THE TAP. INSTALLS THE COPPER WATER SERVICE AND CURB VALVE WITH VALVE BOX.
- FOR 1 1/2" AND 2" TAPS, NO DIRECT CONNECTION CAN BE MADE. A SERVICE SADDLE WILL BE PROVIDED AND INSTALLED BY THE VILLAGE OF PLEASANTVILLE.



VILLAGE OF PLEASANTVILLE STANDARD CONSTRUCTION DETAILS PREPARED IN THE OFFICE OF THE SUPERINTENDENT OF PUBLIC WORKS AND VILLAGE ENGINEER	CIP, DIP & RCP PIPE TRENCH BACKFILL (PAGE 1 OF 2) DESIGNED BY: ARC, PE CHECKED BY: ARC, PE VOP SD-2B, DIP, RCP PIPE TRENCH BACKFILL	VILLAGE OF PLEASANTVILLE VILLAGE HALL 80 WHEELER AVENUE WESTCHESTER COUNTY VILLAGE OF PLEASANTVILLE, NY 10570 PHONE: (914) 755-3883 FAX: (914) 747-3831 PROJECT DETAILS SCALE: 1" = 10'-0" DATE: 05/05/2023 REV: 05/05/2023 SD-2B	VILLAGE OF PLEASANTVILLE STANDARD CONSTRUCTION DETAILS PREPARED IN THE OFFICE OF THE SUPERINTENDENT OF PUBLIC WORKS AND VILLAGE ENGINEER	WATER SERVICE LINES (2 INCHES AND LESS) DESIGNED BY: ARC, PE CHECKED BY: ARC, PE VOP SD-2C, Water Service Lines 2 INCHES AND LESS	VILLAGE OF PLEASANTVILLE VILLAGE HALL 80 WHEELER AVENUE WESTCHESTER COUNTY VILLAGE OF PLEASANTVILLE, NY 10570 PHONE: (914) 755-3883 FAX: (914) 747-3831 PROJECT DETAILS SCALE: 1" = 10'-0" DATE: 05/05/2023 REV: 05/05/2023 SD-2D
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PROJECT # 23-01

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	7	12/12/2023	Village Comments.

SCALE:  
DRAWN BY: MA  
DATE: 6/8/2023

WATER  
DETAILS

SUBDIVISION PLAN  
PREPARED FOR  
GREAT OAK LANE

Bedford Rd and Great Oak Ln.  
Village of Pleasantville.  
Westchester County, NY

C - 505