

ZONING DISTRICT: R-2A, SINGLE FAMILY RESIDENTIAL		PROVIDED				
DIMENSIONAL REGULATIONS:	REQUIRED	<u>LOT 1</u>	<u>LOT 2</u>	<u>LOT 3</u>	<u>LOT 4</u>	
MINIMUM LOT AREA:	5,000 SF.	12,637 SF.	12,376 SF.	15,403 SF.	13,058 SF.	
MINIMUM LOT FRONTAGE:	50 (1F); 75 (2F)	75.19 FT.	81.25 FT.	92.78 FT.	86.79 FT.	
MINIMUM LOT WIDTH:	50 (1F); 75 (2F)	77 FT.	83 FT.	92 FT.	75 FT.	
MINIMUM LOT DEPTH:	100 FT.	164 FT.	150 FT.	168 FT.	177 FT.	
MINIMUM FRONT YARD:	30 FT.	45 FT.	36 FT.	46 FT.	48 FT.	
MINIMUM SIDE YARD INTERIOR:	8 FT.	31 FT.	16 FT.	17 FT.	14.5 FT.	
MINIMUM SIDE YARD CORNER:	8 FT.					
MINIMUM REAR YARD:	25 FT.	42.50 FT.	40 FT.	56 FT.	69 FT.	
MINIMUM GROSS AGGREGATE FLOOR AREA PER DWELLING UNIT.	800 SF.	3,155 SF	3,094 SF	3,193 SF	3,280 SF	
MINIMUM GROSS GROUND FLOOR AREA:	800 SF.	1,925 SF.	1,909 SF.	2,478 SF	2,032 SF	
MAXIMUM HEIGHT (STORIES/FEET):	2-1/2 OR 30, WHICHEVER IS MORE RESTRICTIVE.	25.5 FT.	25.5' FT.	26.5' FT.	26.5' FT.	
MAXIMUM BUILDING COVERAGE:	20%	19%	19%	20%	18%	
MAXIMUM DEVELOPMENT COVERAGE:	30%	36%	30%	30%	25%	
MAXIMUM FLOOR AREA RATIO:	0.25	0.25	0.25	0.21	0.25	

EXISTING IMPERVIOUS AREA:

BUILDING : 13,421 SF PARKING LOT: 16,703.5 SF DRIVEWAY: 3,513.6 SF WALKWAY: 888.5 SF

TOTAL: 34,526.6 SF

# PROPOSED IMPERVIOUS AREA:

LOT 1: HOUSE: 1,925 SF DRIVEWAY: 2,050 SF WALKWAY: 167 SF COVERED PORCH: 303 SF PATIO: 192 SF

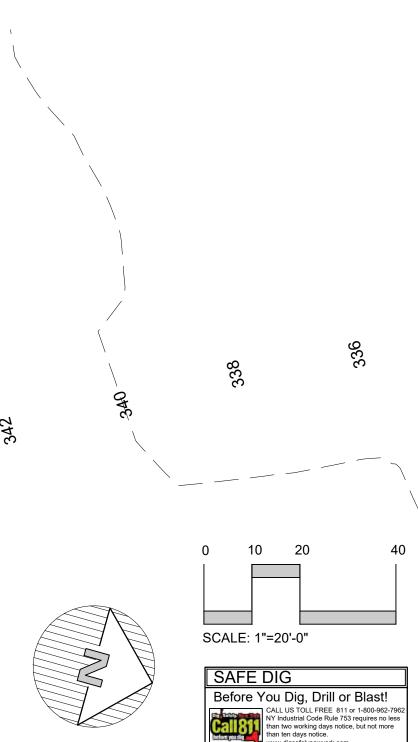
LOT 2: HOUSE: 1,909 SF DRIVEWAY: 900 SF WALKWAY: 348 SF COVERED PORCH: 385 SF PATIO: 204 SF

LOT 3: HOUSE: 2,477 SF DRIVEWAY: 1263 SF WALKWAY: 186 SF COVERED PORCH: 399 SF REAR COVERED PATIO: 256 SF

LOT 4: HOUSE: 2,032 SF DRIVEWAY: 952 SF WALKWAY: 41 SF COVERED PORCH: 204 SF BECK COVERED PATIO: 216 SF

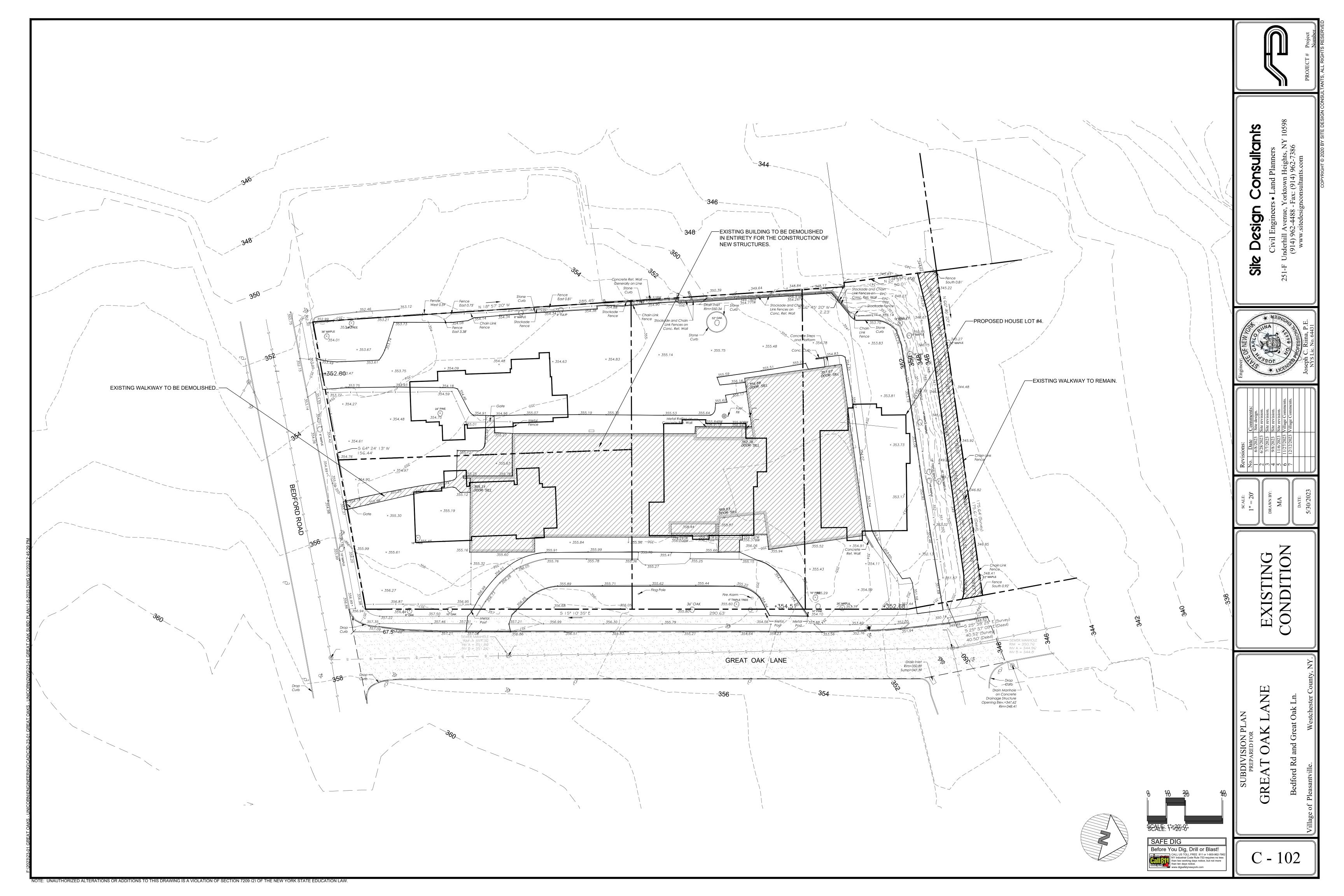
TOTAL: 16,361 SF

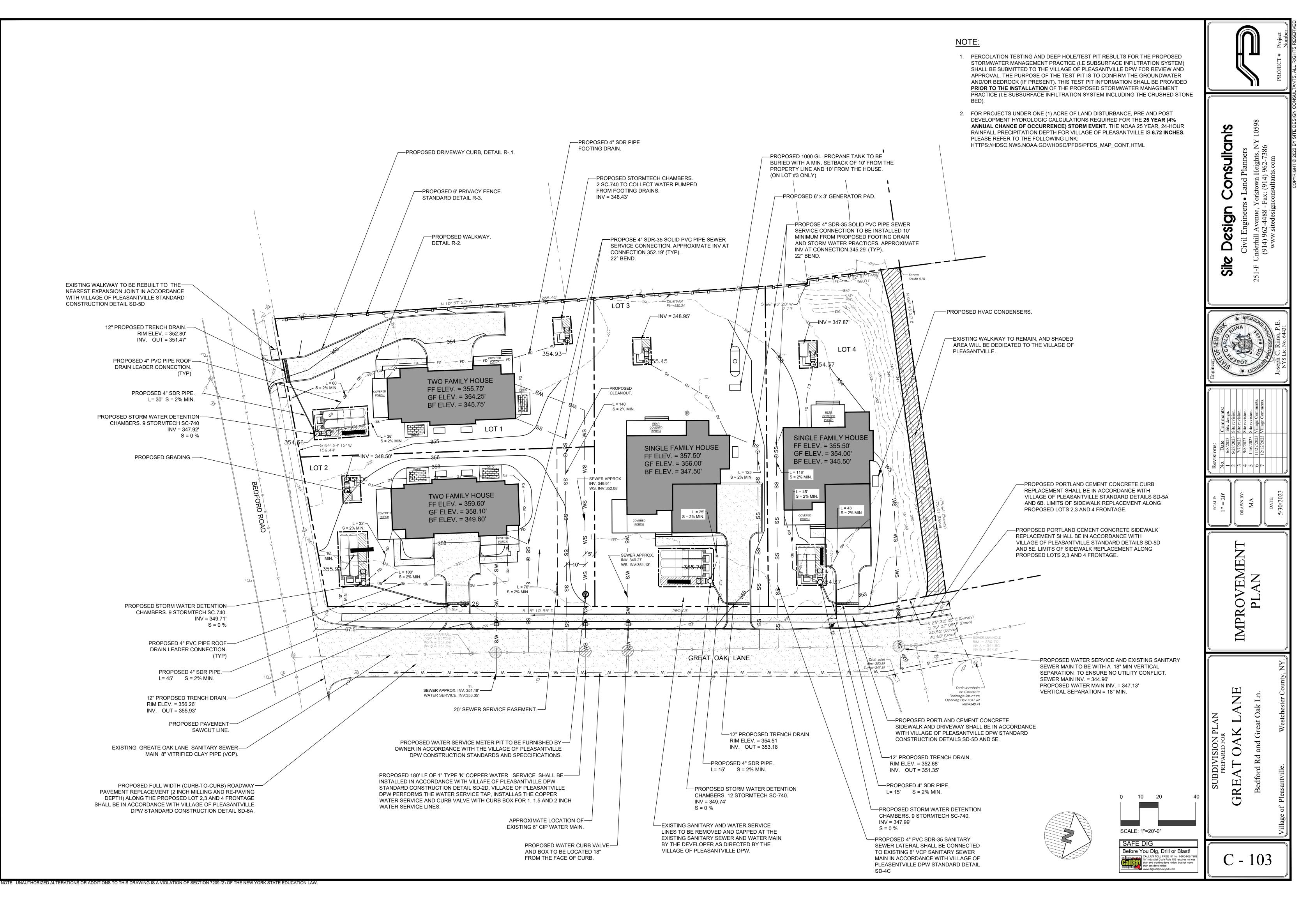
NET DIFFERENCE: 18,165.6 SF LESS THAN EXISTING CONDITIONS.

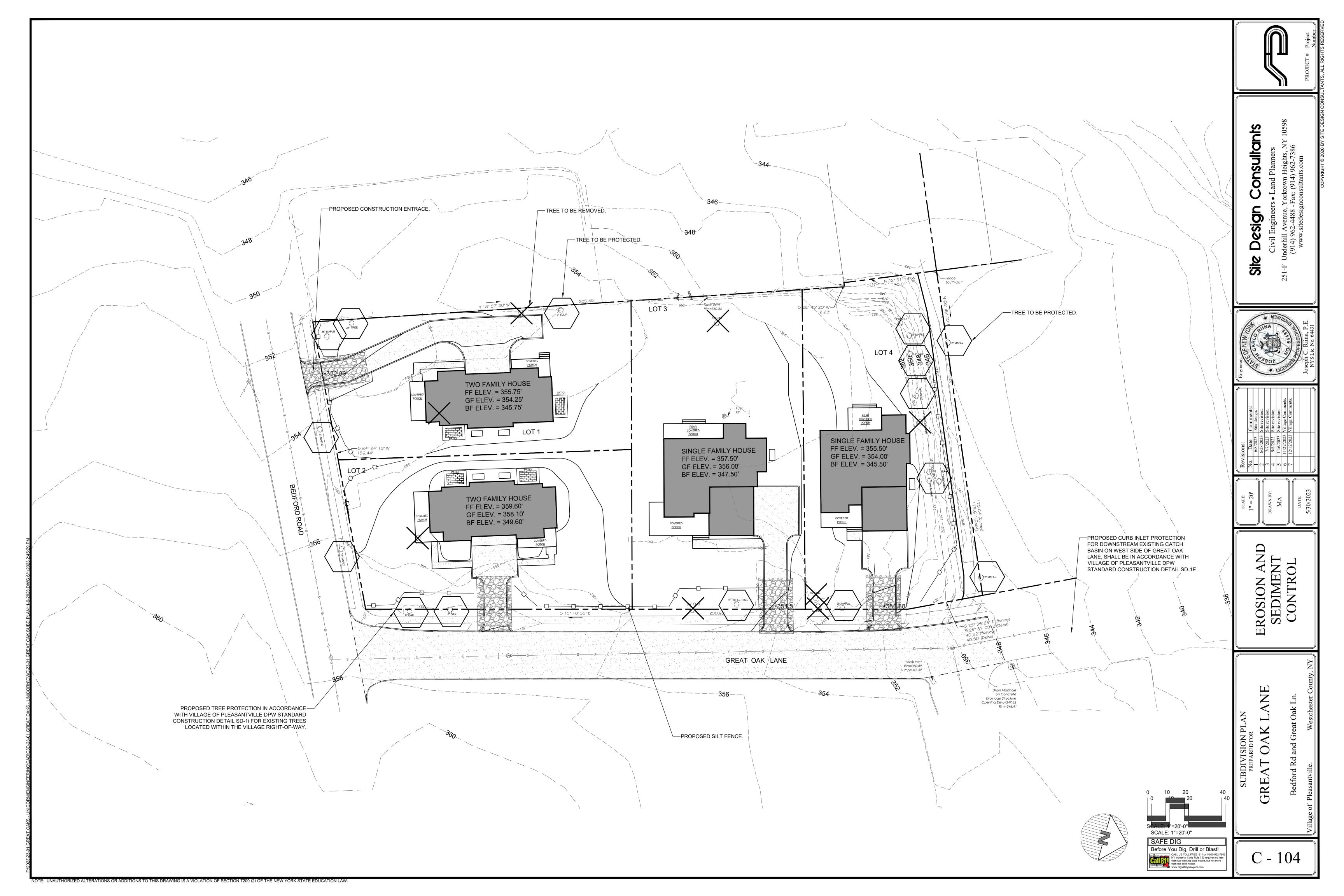


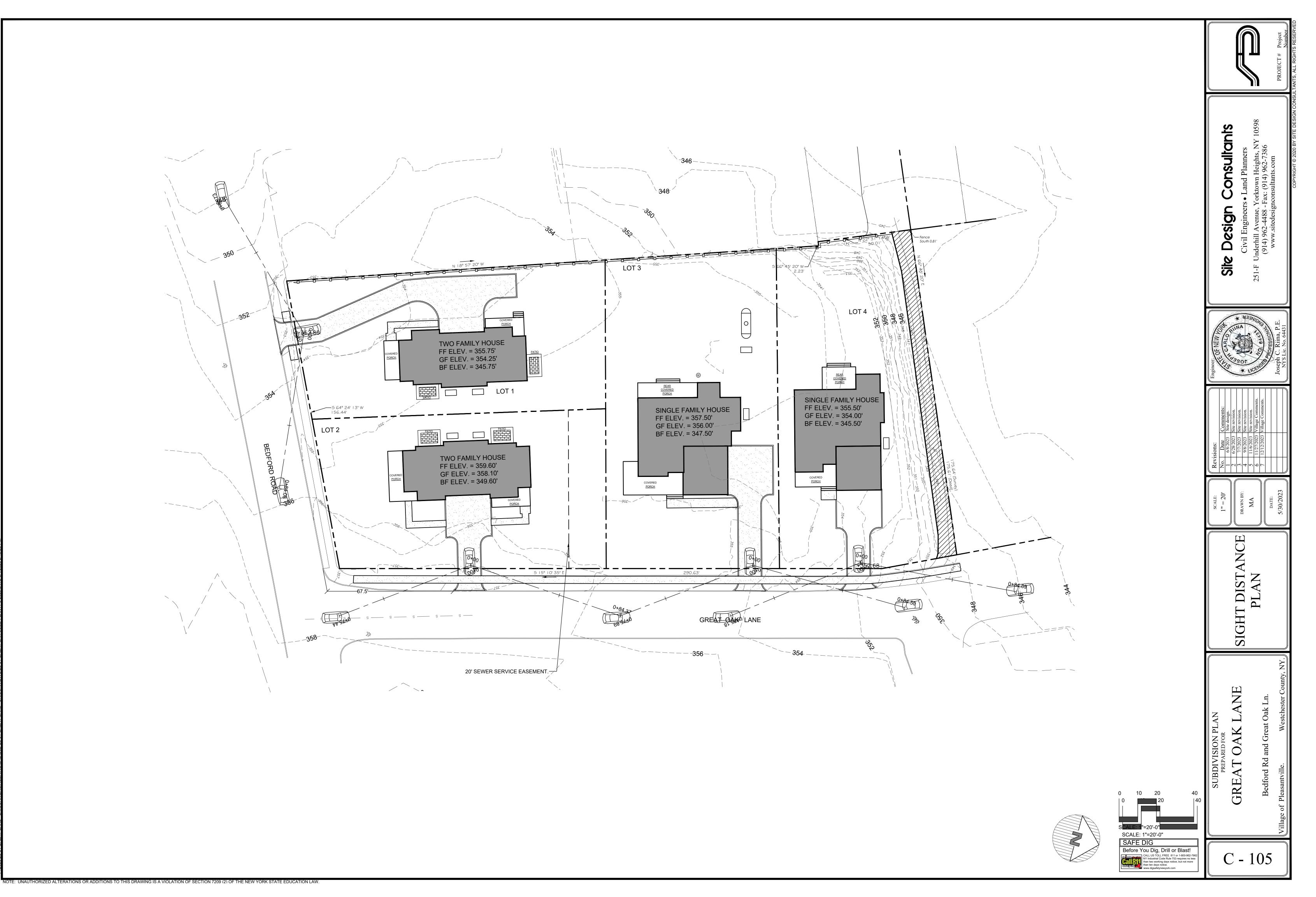
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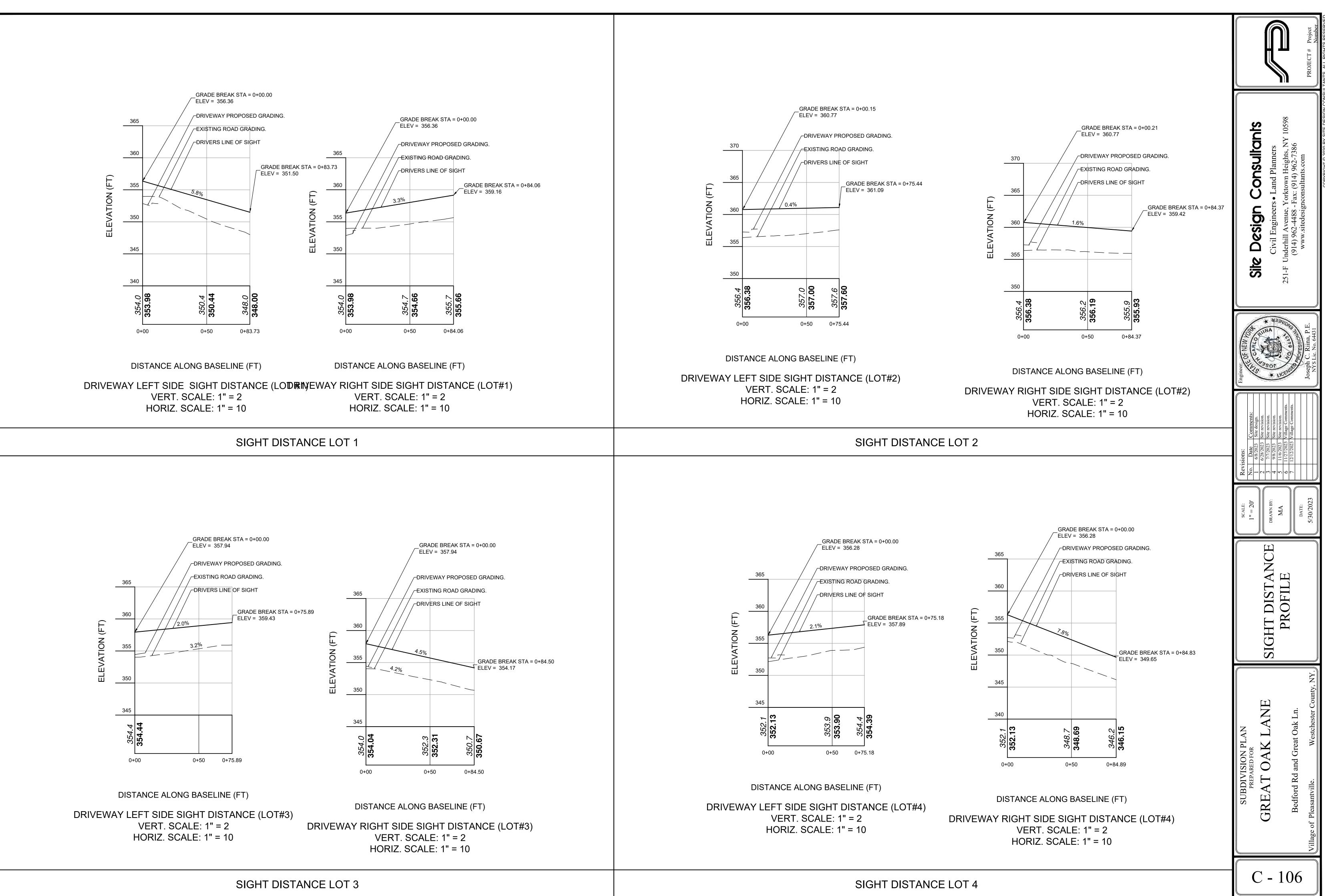
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# GENERAL EROSION CONTROL NOTES:

- 1. Contractor shall be responsible for compliance with all sediment and erosion control practices. The sediment and erosion control practices are to be installed prior to any major soil disturbances, and maintained until permanent protection is established. Road surface flows from the site should be dissipated with tracking pad or appropriate measures during adjacent road shoulder regrading. Contractor is responsible for the installation and maintenance of all soil erosion and sedimentation control devices throughout the course of construction.
- Catch basin inlet protection must be installed and operating at all times until tributary areas have been stabilized. When possible flows should be stabilized before reaching inlet protection structure. Timely maintenance of sediment control structures is the responsibility of the Contractor.
- All structures shall be maintained in good working order at all times. The sediment level in all sediment traps shall be closely monitored and sediment removed promptly when maximum levels are reached or as ordered by the engineer. All sediment control structures shall be inspected on a regular basis, and after each heavy rain to insure proper operation as designed. An inspection schedule shall be set forth prior to the start of construction
- The locations and the installation times of the sediment capturing standards shall be as specified in these plans, as ordered by the Engineer, and in accordance with the latest edition of the "New York Standards and Specifications for Erosion and Sediment Control" (NYSSESC).
- 5. All topsoil shall be placed in a stabilized stockpile for reuse on the site. All stockpile material required for final grading and stored on site shall be temporarily seeded and mulched within 7 days. Refer to soil stockpile details.
- 6. Any disturbed areas that will be left exposed more than 7 days and not subject to construction traffic, shall immediately receive temporary seeding. Mulch shall be used if the season prevents the establishment of a temporary cover. Disturbed areas shall not be limed and fertilized prior to temporary seeding.
- . All disturbed areas within 500 feet of an inhabited dwelling shall be wetted as necessary to provide dust control. 8. The contractor shall keep the roadways within the project clear of soil and debris and is responsible for any street cleaning necessary
- during the course of the project 9. Sediment and erosion control structures shall be removed and the area stabilized when the drainage area has been properly stabilized by permanent measures.
- 10. All sediment and erosion control measures shall be installed in accordance with current edition of NYSSESC. 11. All regraded areas must be stabilized appropriately prior to any rock blasting, cutting, and/or filling of soils. Special care should be taken
- during construction to insure stability during maintenance and integrity of control structures.
- 12. Any slopes graded at 3:1 or greater shall be stabilized with erosion blankets to be staked into place in accordance with the manufactures requirements. Erosion blankets may also be required at the discretion of Town officials or Project Engineer. When stabilized blanket is utilized for channel stabilization, place all of the volume of seed mix prior to laying net, or as recommended by the manufacturer. 13. To prevent heavy construction equipment and trucks from tracking soil off-site, construct a pervious crushed stone pad. Locate and
- construct pads as detailed in these plans 14. Contractor is responsible for controlling dust by sprinkling exposed soil areas periodically with water as required. Contractor to supply all
- equipment and water. 15. Contractor shall be responsible for construction inspections as per NYSDEC GP-0-15-002 and Town of Yorktown Code.

MAINTENANCE OF TEMPORARY EROSION AND SEDIMENT CONTROL STRUCTURES: N.Y.S.D.E.C. GP-0-15-002 EXPOSURE RESTRICTIONS - States that any exposed earthwork shall be stabilized in accordance with the

- guidelines of this plan.
- 1. Trees and vegetation shall be protected at all times as shown on the detail drawing and as directed by the Engineer.
- 2. Care should be taken so as not to channel concentrated runoff through the areas of construction activity on the site. 3. Fill and site disturbances should not be created which causes water to pond off site or on adjacent properties.
- 4. Runoff from land disturbances shall not be discharged or have the potential to discharge off site without first being intercepted by a control
- structure, such as a sediment trap or silt fence. Sediment shall be removed before exceeding 50% of the retention structure's capacity. 5. For finished grading, adequate grade shall be provided so that water will not pond on lawns for more than 24 hours after rainfall, except in
- swale flow areas which may drain for as long as 48 hours after rainfall. 6. All swales and other areas of concentrated flow shall be properly stabilized with temporary control measures to prevent erosion and sediment travel. Surface flows over cut and fill areas shall be stabilized at all times.
- All sites shall be stabilized with erosion control materials within 7 days of final grading.
- 8. Temporary sediment trapping devices shall be removed from the site within 30 days of final stabilization.

# MAINTENANCE SCHEDULE:

	DAILY	WEEKLY	MONTHLY	AFTER RAINFALL	NECESSARY TO MAINTAIN FUNCTION	AFTER APPROVAL OF INSPECTOR
SILT FENCE		INSP.		INSP.	CLEAN/ REPLACE	REMOVE
WHEEL CLEANER	CLEAN				REPLACE	REMOVE

MAINTENANCE OF PERMANENT CONTROL STRUCTURES DURING CONSTRUCTION: The stormwater management system and outlet structure shall be inspected on a regular basis and after every rainfall event. Sediment build up shall be removed from the inlet protection regularly to insure detention capacity and proper drainage. Outlet structure shall be free of obstructions. All piping and drain inlets shall be free of obstruction. Any sediment build up shall be removed.

MAINTENANCE OF CONTROLS AFTER CONSTRUCTION:

Controls (including respective outlet structures) should be inspected periodically for the first few months after construction and on an annual basis thereafter. They should also be inspected after major storm events.

DEBRIS AND LITTER REMOVAL

Twice a year, inspect outlet structure and drain inlets for accumulated debris. Also, remove any accumulations during each mowing operation

STRUCTURAL REPAIR/REPLACEMENT:

Outlet structure must be inspected twice a year for evidence of structural damage and repaired immediately.

Unstable areas tributary to the basin shall immediately be stabilized with vegetation or other appropriate erosion control measures.

SEDIMENT REMOVAL Sediment should be removed after it has reached a maximum depth of five inches above the stormwater management system floor.

# CONSTRUCTION SEQUENCE:

Refer to the Plan Set for all plans and details which relate to Construction Sequence.

- 1. A licensed surveyor must define infrastructure locations, limits of disturbance, stormwater basin limits, and grades in the field prior to start of any construction. Limits of disturbance shall be marked with the installation of construction fence or approved equal. The extents of all of the stormwater management systems shall be cordoned off to minimize the disturbance on this area.
- 2. Install all perimeter erosion control measures, construction access as shown on the Erosion and Sediment Control Plan and the associated Details. Install silt fencing at the bottom of slopes.
- 3. Strip site and place topsoil in stockpile locations shown on the plan.
- 4. Begin rough grading the site. Contractor to limit exposure of denuded soils by providing temporary stabilization for work areas that will remain undisturbed for over seven (7) days. Excess material shall be stockpiled in the location shown on the plan as grades allow. Material unable to be stockpiled shall be removed from the site. 5. Rough grade building and driveway.
- 6. Begin construction of building
- 7. Begin the excavation and installation of stormwater management system. Protect trenches and open excavations from erosion. Entry into the system shall be blocked off until site has reached final stabilization. Once system has been installed, backfill, seed where necessary, and reinstall measures to cordon off the system from disturbance. 8. During site construction maintain and re-establish as required erosion control and stabilization measures as required
- by the site plan and details. 9. Excavate to the sub-grade level. Scarify the existing soil to a depth of 12-inches by rototilling or other means acceptable to the Engineer. Install all courses of stone as per the specifications given on the Plan.
- 10. Install base course of Item 4 in all pavement areas. Stabilize all open areas with seed and mulch. 11. Construct remainder of building, driveway and parking areas. Install asphalt binder. Once binder course is installed, Name (please print)
- drainage outlet may be unblocked. 12. Grade, place final soil topping and put in place permanent vegetative cover over all disturbed areas, landscape beds,
- slopes, etc. 13. Once site stabilization has taken place (An area shall be considered to have achieved final stabilization when it has a minimum uniform 80% perennial vegetative cover or other permanent non-vegetative cover with a density sufficient to resist accelerated surface erosion and subsurface characteristics sufficient to resist sliding and other movements), remove all temporary erosion and sediment controls, unplug the drainage system to allow runoff to enter the stormwater management system.

# Winter Stabilization Notes:

If construction activities are expected to extend into or occur during the winter season the contractor shall anticipate proper stabilization and sequencing. Construction shall be sequenced such that wherever possible areas of disturbance that can be completed and permanently stabilized shall be done by applying and establishing permanent vegetative cover before the first frost. Areas subject to temporary disturbance that will not be worked for an extended period of time shall be treated with temporary seed, mulch, and/or erosion blankets.

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# TOPSOIL:

- 1. The pH of the material shall be 5.5 to 7.6. 2. The organic content shall not be less than 2% or more than 70%.
  - % PASSING BY WGT. 100 85 TO 100
- 3. Gradation: <u>SIEVE SIZE</u> 2 INCH 1 INCH 1/4 INCH
  - NO. 200 MESH

# PERMANENT VEGETATIVE COVER:

### 1. Site preparation: 1.1. Install erosion control measures

- 1.2. Scarify compacted soil areas.
- 1.3. Lime as required to ph 6.5. 1.4. Fertilize with 10-6-4 4 lbs/1,000 S.F 1.5. Incorporate amendments into soil with disc harrow.
- 2. Seed mixtures for use on swales and cut and fill areas.
- MIXTURE

ALT. A

- LBS./ACRE KENTUCKY BLUE GRASS 20 CREEPING RED FESCUE 28 RYE GRASS OR REDTOP CREEPING RED FESCUE REDTOP
- ALT. B

- 3. SEEDING
- 3.1. Prepare seed bed by raking to remove stones, twigs, roots and other foreign material. Apply soil amendments and integrate into soil. 3.2.
- Apply seed uniformly by cyclone seeder culti-packer or hydro-seeder at rate indicated. 3.3. Stabilize seeded areas in drainage swales. 3.4.
- Irrigate to fully saturate soil layer, but not to dislodge planting soil. 3.5.
- 3.6. Seed between April 1st and May 15th or August 15th and October 15th. 3.7. Seeding may occur May 15th and August 15th if adequate irrigation is provided.

# **TEMPORARY VEGETATIVE COVER:**

- SITE PREPARATION:
- 1. Install erosion control measures. 2. Scarify areas of compacted soil.
- 3. Fertilize with 10-10-10 at 400/acre. 4. Lime as required to ph 6.5.

# SEED SPECIES:

MIXTURE Rapidly germinating annual ryegrass (or approved equal) Perennial ryegrass Cereal oats

# SEEDING:

Same as permanent vegetative cover

# CONTRACTOR CERTIFICATION STATEMENT

Individual Contractor:

Name and Title (please print)

Signature of Contractor

Name of Trained Individual

# Company / Contracting Firm:

Name of Company

Address of Company

Telephone Number / Cell Number

# Site Information:

# Address of Site

# Today's Date:

# **OWNER / OPERATOR CERTIFICATION OWNER/OPERATOR CERTIFICATION**

"I hereby certify under
conditions of the SWPF
inspector during a site
the terms and condition
Elimination System ("S
activities and that it is u
standards. Furthermore
information, that I do not
knowing violations"

Title
Date
Address
<b>F</b> meil
Signature
Name of Trained Individual

**EROSION CONTROL** 

- furnishing of new topsoil shall be of a better or equal to the following criteria (SS713.01 NYSDOT):

  - 65 TO 100 20 TO 80

  - TALL FESCUE/SMOOTH BLOOMGRASS

  - LBS./ACRE 20 20 36
- Contractor Certification Statement All contractors and subcontractors identified in a SWPPP in accordance with Part III.A.6 (SPDES General Permit for Stormwater Runoff from Construction Activity, GP-0-20-001, January 2020) of this permit shall sign a copy of the following certification statement before undertaking any construction activity at the site identified in the SWPPP:
- "I hereby certify that I understand and agree to comply with the terms and conditions of the SWPPP and agree to implement any corrective actions identified by the qualified inspector during a site inspection. I also understand that the Owner or Operator must comply with the terms and conditions of the New York State Pollutant Discharge Elimination System ("SPDES") general permit for stormwater discharges from construction activities and that it is unlawful for any person to cause or contribute to a violation of water quality standards. Furthermore, I understand that certifying false, incorrect or inaccurate information is a violation of the referenced permit and the laws of the State of New York and could subject me to criminal, civil and/or administrative proceedings."

- penalty of law that I understand and agree to comply with the terms and PPP and agree to implement any corrective actions identified by the *qualified* inspection. I also understand that the owner or operator must comply with ons of the most current version of the New York State Pollutant Discharge SPDES") general permit for stormwater *discharges* from *construction* unlawful for any person to cause or contribute to a violation of *water quality* pre, I am aware that there are significant penalties for submitting false not believe to be true, including the possibility of fine and imprisonment for

- GENERAL NOTES:
- 1. THE ENGINEER WHOSE SEAL APPEARS HEREON IF NOT RETAINED FOR SUPERVISION OF CONSTRUCTION, IS NOT RESPONSIBLE FOR CONSTRUCTION AND THEREFORE ASSUMES NO RESPONSIBILITY FOR CONSTRUCTION PRACTICES, PROCEDURES, AND RESULTS THEREFROM.
- THE ENGINEER SHALL NOT BE HELD RESPONSIBLE OR HELD ACCOUNTABLE FOR THE INTEGRITY OF ANY STRUCTURES CONSTRUCTED OR UNDER CONSTRUCTION PRIOR TO THE APPROVAL OF THE PLANS. 3. ALL WORK IS TO BE IN ACCORDANCE WITH THE YORKTOWN TOWN CODE AND NEW YORK STANDARDS AND SPECIIFICATIONS FOR EROSION AND
- SEDIMENT CONTROL 4. ALL CONDITIONS, LOCATIONS, AND DIMENSIONS SHALL BE FIELD VERIFIED AND THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED OF ANY
- DISCREPANCIES 5. ALL CHANGES MADE TO THE PLANS SHALL BE APPROVED BY THE ENGINEER WHOSE SEAL APPEARS ON THESE DRAWINGS. ANY SUCH CHANGES SHALL
- BE FILED AS AMENDMENTS TO THE STORMWATER POLLUTION PREVENTION PLAN. ALL WRITTEN DIMENSIONS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER ANY SCALED DIMENSIONS.
- 7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CALL IN A "CODE 753" PRIOR TO CONSTRUCTION FOR UNDERGROUND UTILITY LOCATIONS.
- SUBSTRUCTURES AND THEIR ENCROACHMENTS BELOW GRADE, IF ANY, ARE NOT SHOWN. ANY PROPOSED ELECTRIC AND/OR TELEPHONE SERVICE LINES ARE TO BE PLACED UNDERGROUND.
- 10. THE DESIGN ENGINEER DISCLAIMS ANY LIABILITY FOR DAMAGE OR LOSS INCURRED DURING OR AFTER CONSTRUCTION.
- 11. ALL CONDITIONS, LOCATIONS AND DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND THE OWNER/ENGINEER NOTIFIED IN WRITING OF ANY DISCREPANCIES PRIOR TO THE START OF WORK. THE OWNER/ENGINEER WILL EVALUATE THE SITUATION AND MODIFY THE PLAN AS NECESSARY.

CONTRACTOR RESPONSIBILITIES:

- 1. ALL WORK ON THE PROJECT SHALL BE PERFORMED IN A WORKMAN LIKE MANNER AND SHALL BE IN ACCORDANCE WITH THE STANDARDS OF THE INDUSTRY THE OWNER WILL BE THE SOLE JUDGE OF THE ACCEPTABILITY OF THE WORK. MATERIALS AND WORK DEEMED UNACCEPTABLE WILL BE REMOVED AND REDONE AT THE SOLE COST AND RESPONSIBILITY OF THE CONTRACTOR
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT HIS WORK AND WILL BE HELD RESPONSIBLE FOR CONSEQUENTIAL DAMAGES DUE TO HIS ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR THE ACTS AND OMISSIONS OF HIS EMPLOYEE, AND THEIR AGENTS AND EMPLOYEES, AND ANY
- OTHER PERSONS PERFORMING ANY OF THE WORK UNDER A SEPARATE CONTRACT WITH THE CONTRACTOR. 3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROPERLY SHORE EXISTING UTILITIES IF REQUIRED BY CONSTRUCTION. 4. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE THE TOWN ENGINEER IN ADVANCE OF HIS WORK OR AS THE INSPECTOR DEEMS
- APPROPRIATE 5. ALL CONDITIONS, LOCATIONS AND DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR AND THE OWNER/ENGINEER NOTIFIED IN WRITING OF ANY DISCREPANCIES PRIOR TO THE START OF WORK. THE OWNER/ENGINEER WILL EVALUATE THE SITUATION AND MODIFY THE PLAN AS NECESSARY.
- 6. ALL CHANGES MADE TO THIS PLAN SHALL BE APPROVED BY THE ENGINEER WHOSE SEAL APPEARS ON THESE DRAWINGS. ANY UNAUTHORIZED ALTERATION OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW.
- 7. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING HIS BEST SKILL AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THIS CONTRACT
- 8. THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR THE ACTS AND OMISSIONS OF HIS EMPLOYEES, SUBCONTRACTORS, AND THEIR AGENTS AND EMPLOYEES, AND ANY OTHER PERSONS PERFORMING ANY OF THE WORK UNDER A CONTRACT WITH THE CONTRACTOR. 9. THE CONTRACTOR SHALL VERIFY ALL SUBSTRUCTURES ENCOUNTERED DURING CONSTRUCTION.
- 10. THE CONTRACTOR SHALL SECURE & PAY FOR A BUILDERS RISK POLICY TO COVER THE PERIOD OF CONSTRUCTION. THE ENGINEER & OWNER SHALL BE NAMED AS ADDITIONAL INSURED. ALL CONTRACTORS EMPLOYED AT THE SITE SHALL BE COVERED BY WORKMAN'S COMPENSATION.

# GENERAL CONSTRUCTION NOTES:

- 1. THE CONTRACTOR SHALL REQUEST A BENCH MARK FROM THE SURVEYOR IN THE SAME DATUM AS THE DESIGN PLANS.
- 2. FINISHED GRADES SHALL BE OF SUCH ELEVATION THAT THE GROUND WILL SLOPE AWAY FROM STRUCTURES IN ALL DIRECTIONS. 3. CONSTRUCTION ACTIVITY SHALL BE LIMITED FROM 8:00 A.M. TO 6 P.M., AND NO CONSTRUCTION ACTIVITY SHALL OCCUR ON SUNDAYS OR LEGAL NEW YORK STATE HOLIDAYS. WHERE BLASTING IS NECESSARY, IT SHALL OCCUR FROM MONDAY THROUGH FRIDAY BETWEEN THE HOURS OF 8:00 A.M. AND 6:00 P.M. NO BLASTING SHALL OCCUR ON HOLIDAYS, SATURDAY OR SUNDAY. ALL BLASTING SHALL ALSO BE COMPLETED IN ACCORDANCE WITH THE TOWN OF YORKTOWN
- AND NEW YORK STATE BLASTING ORDINANCES. 4. ANY SOIL THAT IS UNSUITABLE FOR DEVELOPMENT OF BUILDINGS OR ROADWAYS SHALL BE REMOVED FROM AREAS TO BE DEVELOPED AND SHALL BE DISPOSED OF WITHIN THE SITE IN NEW EMBANKMENTS WHERE STRUCTURAL LOADING, I.E. A BUILDING OR ROADWAY, WILL NOT TAKE PLACE. WHEN CONSTRUCTION IS PROPOSED TO OCCUR IN SPECIFIC AREAS WHERE SOILS ARE OF QUESTIONABLE SUITABILITY, THE OWNER SHALL RETAIN A SOILS ENGINEERTO EVALUATEAND PREPARE A DESIGN FOR THE CONDITION.
- 5. ROCK CUT STABILITY IS TO BE FIELD VERIFIED BY A GEOTECHNICAL ENGINEER AND SHALL BE MODIFIED IF REQUIRED. 6. NO CRUSHING/PROCESSING IS PERMITTED ON THE SITE WITHOUT PRIOR APPROVAL BY THETOWN OF YORKTOWN PLANNING BOARD.
- 7. ALL DEMOLITION DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH FEDERAL, STATE, OR LOCAL STANDARDS. IF NECESSARY THE REMOVAL SHALL BE DONE BY A CONTRACTOR LICENSED TO REMOVE AND DISPOSE OF VARIOUS MATERIALS

# LOCAL ROAD WORK ZONE MAINTENANCE AND PROTECTION OF TRAFFIC (MPT) NOTES:

- THE CONTRACTOR SHALL SUBMIT TO THE SUPERINTENDENT OF PUBLIC WORKS/VILLAGE ENGINEER, IN WRITING, A TRAFFIC CONTROL PLAN (i.e. MAINTENANCE AND PROTECTION OF TRAFFIC PLAN) FOR REVIEW AND APPROVAL FIVE (5) WORK DAYS PRIOR TO THE PLANNED IMPLEMENTATION OF THE PROPOSED PLAN. THE MPT PLAN SHALL BE DESIGNED IN ACCORDANCE WITH SECTION 619 OF THE NYSDOT STANDARD SPECIFICATIONS, THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR STREETS AND HIGHWAYS" 2009 EDITION, AND THE NEW YORK STATE SUPPLEMENT TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" 2009 EDITION. EFFECTIVE MARCH 16, 2011, AS AMENDED.
- THE CONTRACTOR SHALL PROVIDE THE SUPERINTENDENT OF PUBLIC WORKS/VILLAGE ENGINEER, IN WRITING, WITH THE NAMES, ADDRESSES AND TELEPHONE NUMBERS OF STAFF WHO ARE AUTHORIZED TO SECURE LABOR, MATERIALS AND EQUIPMENT FOR EMERGENCY REPAIRS OUTSIDE NORMAL WORKING HOURS. THE SUPERINTENDENT OF PUBLIC WORKS/VILLAGE ENGINEER WILL PROVIDE THE SUBMITTED INFORMATION TO THE VILLAGE OF PLEASANTVILLE.
- WHEN TWO OR MORE WORK AREAS ARE ADJACENT, OVERLAP, OR ARE IN CLOSE PROXIMITY, THE CONTRACTOR SHALL ENSURE THERE ARE NO CONFLICTING SIGNS AND THAT LANE CONTINUITY IS MAINTAINED THROUGHOUT ALL WORK ARFAS
- THE FINAL LOCATION OF WORK ZONE TRAFFIC SIGNS ARE SUBJECT TO THE APPROVAL OF THE SUPERINTENDENT OF PUBLIC WORKS/VILLAGE ENGINEER.
- ANY EXISTING SIGNS, WHICH CONFLICT WITH THE TEMPORARY TRAFFIC CONTROL SIGN LAYOUT SHALL BE COVERED, REMOVED, STORED OR RESET, AS APPROVED BY THE SUPERINTENDENT OF PUBLIC WORKS/VILLAGE ENGINEER. ALL APPROPRIATE EXISTING SIGNS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AND/OR LOCATION UNLESS OTHERWISE REPLACED IN THIS CONTRACT.
- DIAMOND SHAPED ADVANCED WARNING SIGNS SHALL BE USED FOR ALL ADVANCE WARNING SIGNS THAT MAY BE EITHER DIAMOND OR RECTANGULAR SHAPED. ACCORDING TO PART 238 OF THE NYSMUTCD THE BOTTOM OF THE SIGN SHALL BE 7' MINIMUM ABOVE THE GROUND AND 2' MINIMUM FROM FACE OF CURB OR EDGE OF TRAVELED WAY. THE SUPERINTENDENT OF PUBLIC WORKS/VILLAGE ENGINEER MAY ORDER ADDITIONAL OR MODIFIED DEVICES AND/OR METHODS TO MEET FIELD CONDITIONS.
- SIGNS AT OR NEAR INTERSECTIONS SHALL BE PLACED SO THAT THEY DO NOT OBSTRUCT A MOTORISTS LINE OF SIGHT
- THE DIMENSIONS OF WORK ZONE TRAFFIC CONTROL SIGNS ARE DESCRIBED IN THE MUTCD. ANY CHANGES TO THE DIMENSIONS SHALL BE APPROVED BY THE SUPERINTENDENT OF PUBLIC WORKS/VILLAGE ENGINEER.
- PROPERTY OWNERS WHOSE DRIVEWAYS WILL BE MADE INACCESSIBLE SHALL BE NOTIFIED BY THE CONTRACTOR AT LEAST 24 HOURS PRIOR TO RESTRICTING USE OF THE DRIVEWAY. ACCESS SHALL BE RESTORED AS SOON AS POSSIBLE
- 0. SUITABLE RAMPS SHALL BE INSTALLED TO MAINTAIN SMOOTH TRANSITIONS FROM RESIDENTIAL AND COMMERICAL DRIVEWAYS TO AND FROM THE WORK AREA
- UNLESS AUTHORIZED BY THE SUPERINTENDENT OF PUBLIC WORKS/VILLAGE ENGINEER, THE MINIMUM LANE WIDTHS FOR WORK ZONE TRAVEL LANES SHALL BE AS FOLLOWS: LOCAL ROADWAYS IS 10 FEET.
- . WHEN A SIDE ROAD OR DRIVEWAY INTERSECTS THE ROADWAY WITHIN A WORK ZONE TRAFFIC CONTROL AREA, ADDITIONAL TEMPORARY TRAFFIC CONTROL DEVICES AND/OR FLAGGERS SHALL BE PLACED AS NEEDED. ADDITIONAL FLAGGERS SHALL BE LOCATED AT ALL INTERSECTIONS AND COMMERCIAL DRIVEWAYS LOCATED WITHIN OR NEAR THE ACTIVE WORK SPACE.
- 13. ALL CERTIFIED FLAGGERS SHALL USE STOP-SLOW PADDLES WHERE FEASIBLE. FLAGS MAY BE USED AT INTERSECTIONS OR WHERE THE BACK SIDE MESSAGE IS INAPPROPRIATE FOR OPPOSING TRAFFIC OR WHERE CONDITIONS SUCH AS HIGH WIND MAKE THE USE OF A PADDLE IMPRACTICAL.
- 14. THE FLAGTREE SHALL BE LOCATED ON THE SHOULDER, AT APPROXIMATELY 1/2 THE DISTANCE BETWEEN THE FLAGGER SIGN (W20-7a) AND THE FLAGGER.

15. ALL FLAGGERS SHALL USE 24 INCH (MIN.) OCTAGON SHAPED STOP/SLOW PADDLES HAVING 6 FOOT STAFF.

VILLAGE OF PLEASANTVILLE STANDARD CONSTRUCTION DETAILS	MAINTENANCE AND PROTECTION OF TRAFFIC (MPT) NOTES		PROJECT: DETAILS SCALE:NOT TO SCALE DATE: 10/25/2022 REV: XX/XX/20XX
	(PAGE 1 OF 2) DESIGNED BY: ARC, PE CHECKED BY: ARC, PE	VILLAGE OF PLEASANTVILLE, NY 10570 PHONE: (914) 769–3883	SD-9
	DESIGNED BT: ARC, PE CHECKED BT: ARC, PE DRAWN BY: ARC, PE VOP SD-9_MPT Notes.dwg	FAX: (914) 747-3931	

# LOCAL ROAD WORK ZONE MAINTENANCE AND PROTECTION OF TRAFFIC (MPT) NOTES:

- 1. THE CONTRACTOR SHALL SUBMIT TO THE SUPERINTENDENT OF PUBLIC WORKS/VILLAGE ENGINEER, IN WRITING, A TRAFFIC CONTROL PLAN (i.e. MAINTENANCE AND PROTECTION OF TRAFFIC PLAN) FOR REVIEW AND APPROVAL FIVE (5) WORK DAYS PRIOR TO THE PLANNED IMPLEMENTATION OF THE PROPOSED PLAN. THE MPT PLAN SHALL BE DESIGNED IN ACCORDANCE WITH SECTION 619 OF THE NYSDOT STANDARD SPECIFICATIONS, THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR STREETS AND HIGHWAYS" 2009 EDITION, AND THE NEW YORK STATE SUPPLEMENT TO THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" 2009 EDITION, EFFECTIVE MARCH 16, 2011.
- 2. CONTRACTOR SHALL PROVIDE CERTIFIED FLAG PERSONS WITH STOP/SLOW STAFF MOUNTED PADDLE BOARD SIGNS WHEN TRUCKS ENTER AND LEAVE THE SITE.
- 3. NYSDOT DRUMS USED FOR TRAFFIC WARNING SHALL BE A MINIMUM OF 36 INCHES IN HEIGHT, AND HAVE AT LEAST AN 18 INCH MINIMUM WIDTH. EACH DRUM SHALL HAVE A MINIMUM OF TWO ORANGE AND TWO WHITE STRIPES. THESE WARNINGS ON DRUMS SHALL BE HORIZONTAL, CIRCUMFERENTIAL, ALTERNATING ORANGE AND WHITE RETROREFLECTIVE STRIPES 4 TO 6 INCHES WIDE. THE CONTRACTOR SHALL USE NYSDOT TRAFFIC CONES AS NEEDED TO SUPPLEMENT TRAFFIC DRUMS.
- 4. WARNING LIGHTS SHALL BE SECURED TO THE NYSDOT DRUMS. TYPE A LOW INTENSITY FLASHING WARNING LIGHTS SHALL BE MAINTAINED SO AS TO BE VISIBLE ON A CLEAR NIGHT FROM A DISTANCE OF 3,000
- 5. CONSTRUCTION EQUIPMENT SHALL BE REMOVED FROM THE ROADSIDE AREA DURING NON-WORKING HOURS.
- 6. PRIVATE VEHICLES OWNED BY THE CONTRACTOR OR HIS/HER WORKMEN SHALL NOT BE PARKED ON THE PAVEMENT OR SHOULDERS, OR ANY OTHER AREAS DEEMED BY THE VILLAGE OF PLEASANTVILLE TO BE HAZARDOUS LOCATIONS.
- 7. NO MATERIAL SHALL BE PLACED ON THE SHOULDER, OR WITHIN 30 FEET FROM THE EDGE OF PAVEMENT, EXCEPT THAT WHICH IS TO BE PLACED THAT DAY.
- 8. CONTRACTOR SHALL USE TRAFFIC CONES AS NEEDED TO SUPPLEMENT TEMPORARY BARRIER AND DRUMS.
- 9. CONTRACTOR SHALL BE CAUTIOUS TO NOT DAMAGE OVERHEAD WIRES DURING CONSTRUCTION.
- 10. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE ALL NECESSARY ON-STREET TEMPORARY PARKING SUSPENSIONS WITHIN THE PROJECT AREA TO COMPLETE THE WORK WITH THE VILLAGE OF PLEASANTVILLE.
- 11. WORK ZONE TRAFFIC CONTROL SHALL CONFORM TO THE SPECIFICATIONS NYSDOT ITEM NO. 619.01.
- 12. NIGHTTIME OPERATIONS SHALL CONFORM TO THE SPECIFICATIONS OF NYSDOT ITEM NO. 619.24.
- 13. POLICE FOR TRAFFIC CONTROL SERVICES SHALL BE COORDINATED WITH THE POLICE DEPARTMENT.
- 14. THE SUPERINTENDENT OF PUBLIC WORKS/VILLAGE SUPERINTENDENT OF PUBLIC WORKS/VILLAGE ENGINEER RESERVES THE RIGHT TO REQUIRE THE CONTRACTOR TO IMPLEMENT ADDITIONAL WORK ZONE CONTROL (i.e. MPT) MEASURES DURING CONSTRUCTION.

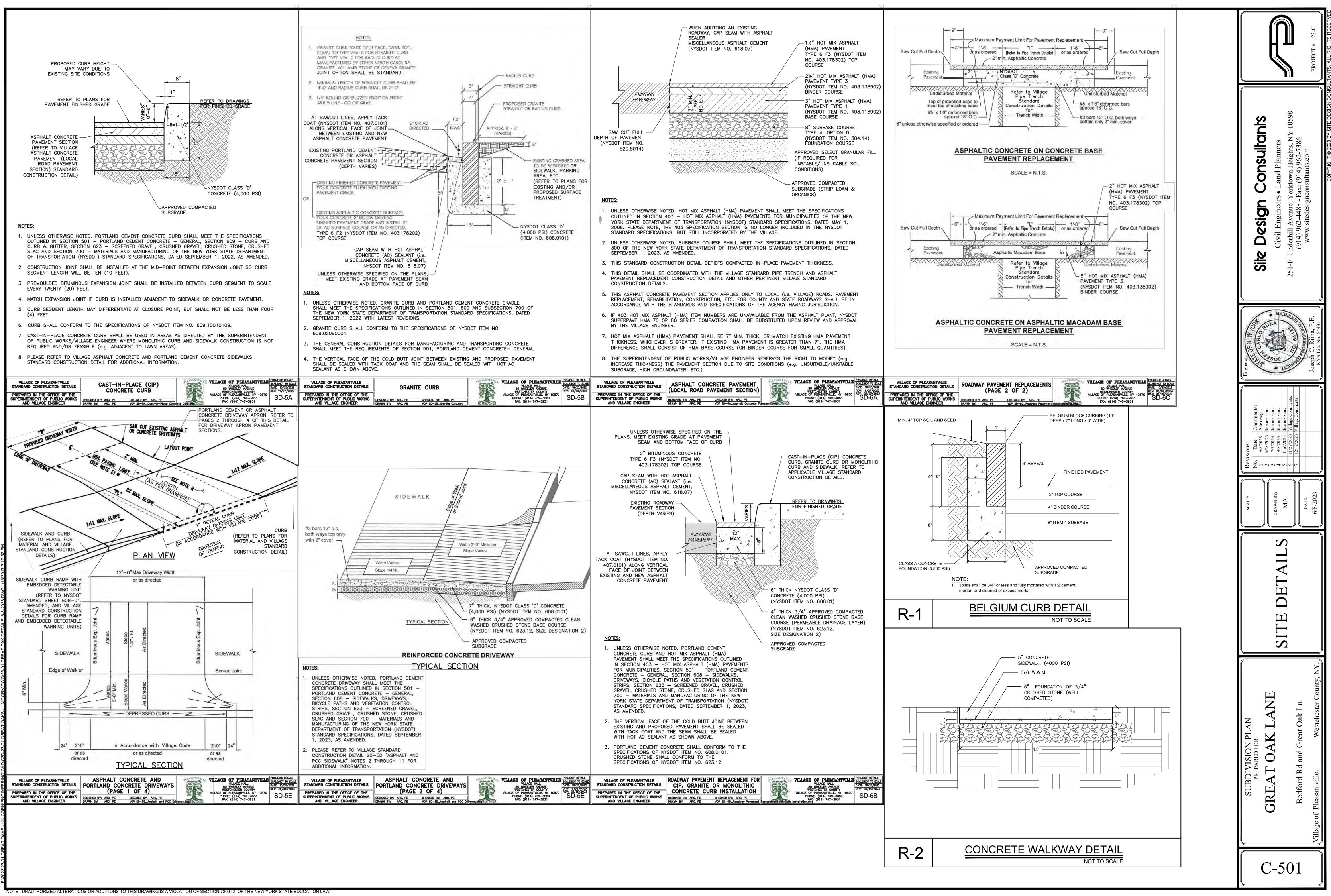
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SUPERINTENDENT OF PUBLIC WORKS	DESIGNED BY: ARC
AND VILLAGE ENGINEER	DRAWN BY: ARC

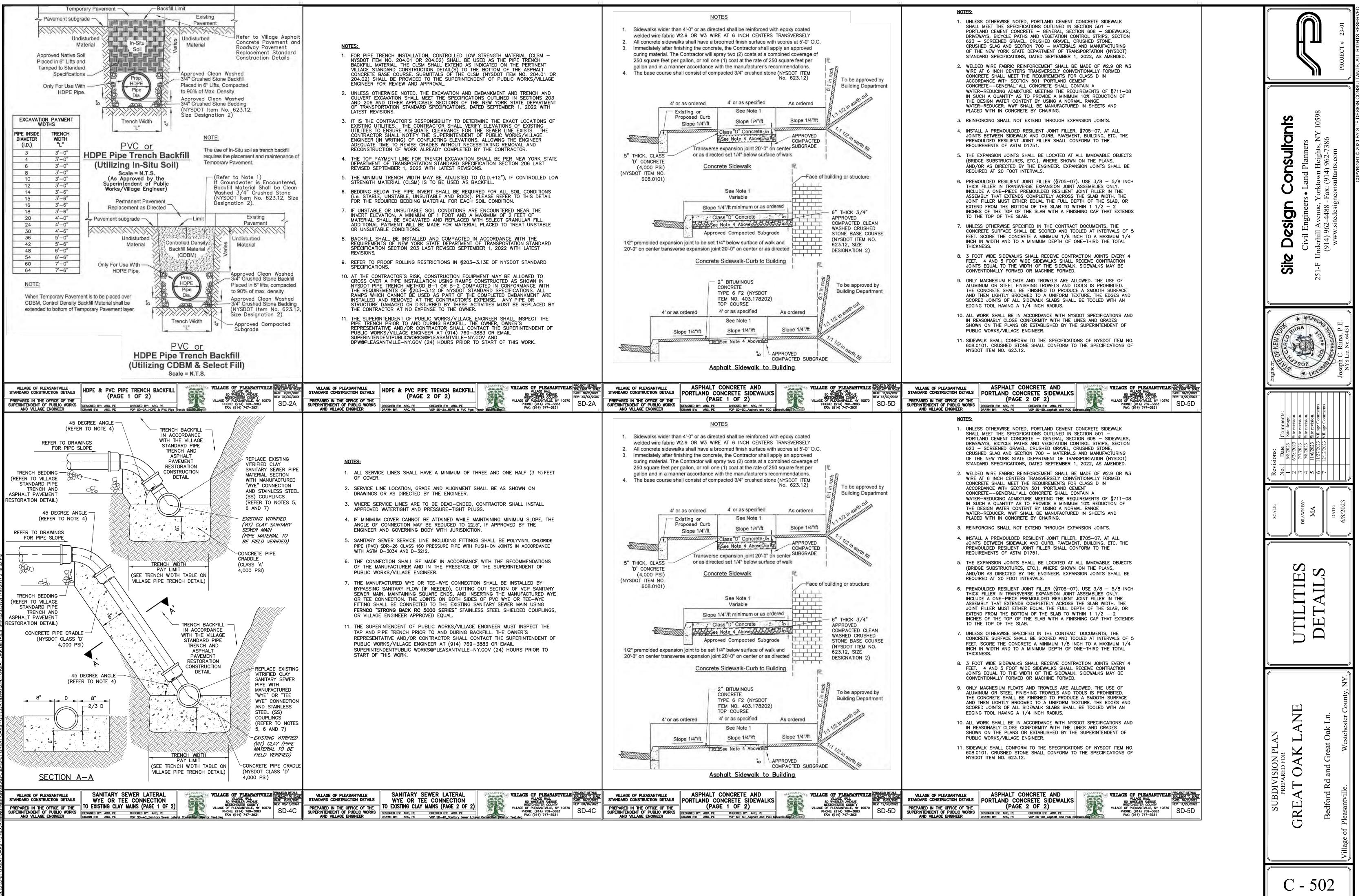
	TRAFFIC	AND PROTECTION (MPT) NOTES 2 OF 2)
BY:	ARC, PE	CHECKED BY: ARC, PE
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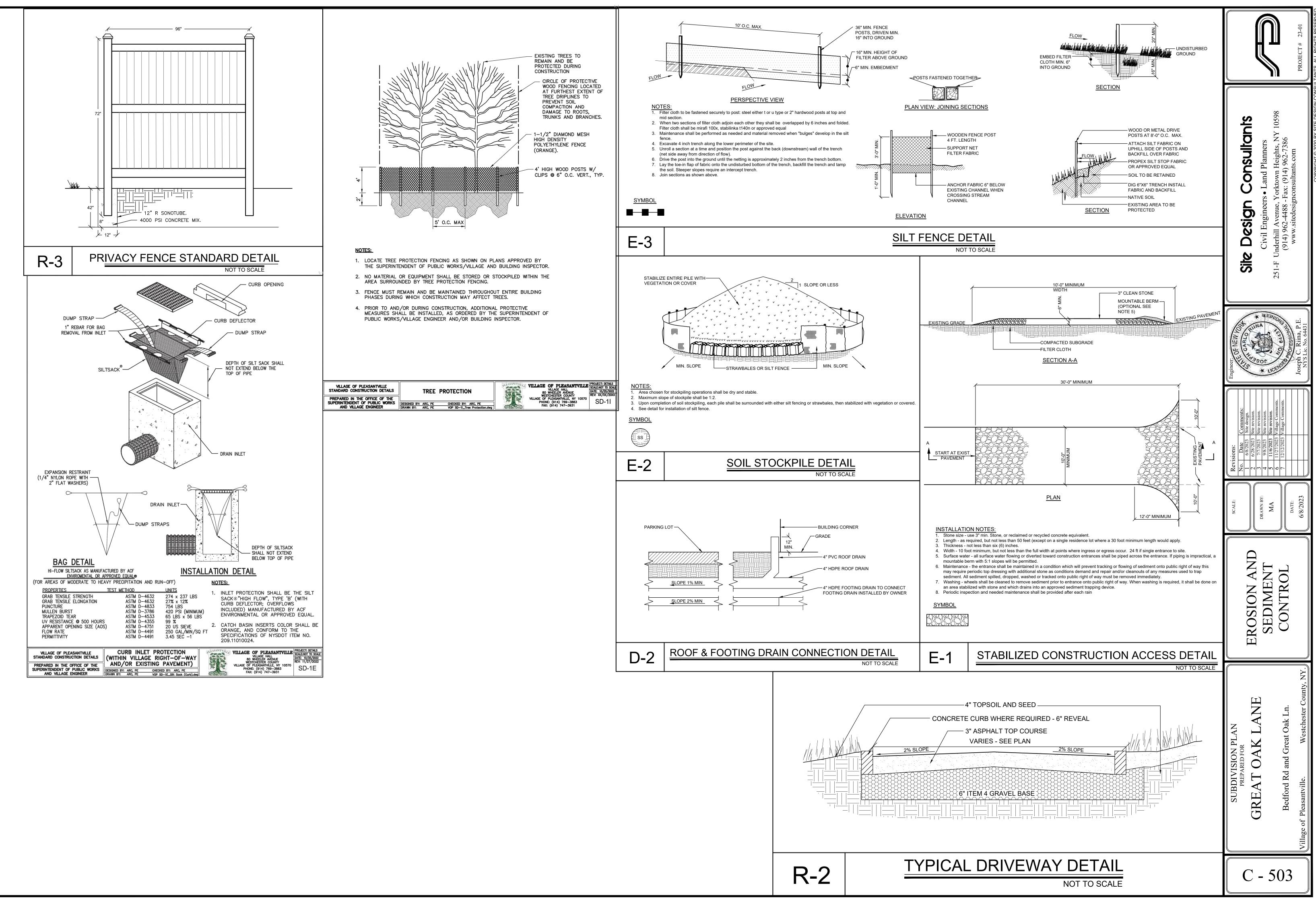
VILLAGE OF PLEASANTVILLE VILLAGE HALL 80 WHEELER AVENUE WESTCHESTER COUNTY VILLAGE OF PLEASANTVILLE, NY 10570 SD-9

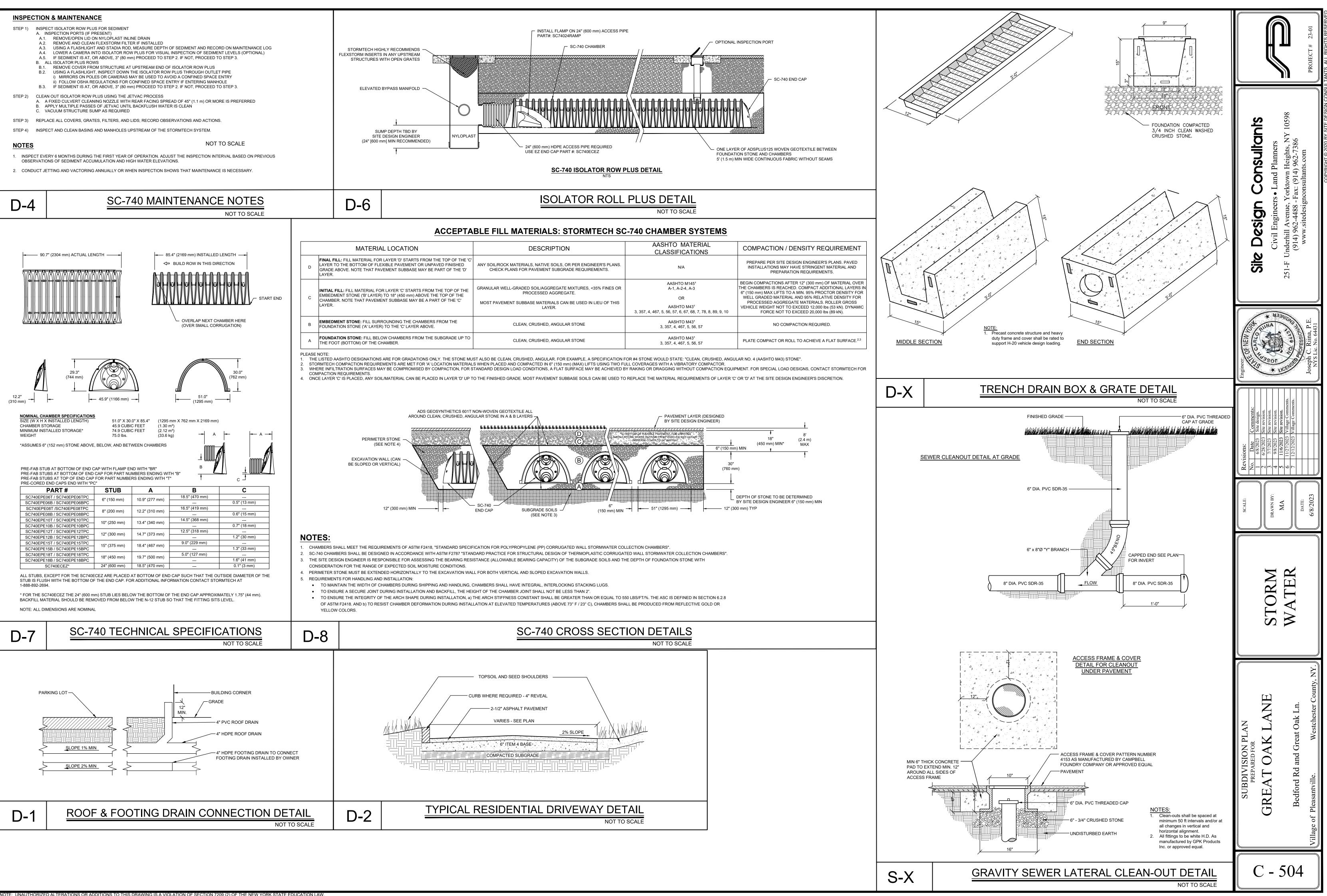
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Silæ Design Consultants	Civil Engineers • Land Planners 251-F Underhill Avenue, Yorktown Heights, NY 10598	(914) 962-4488 - Fax: (914) 962-7386 www.sitedesignconsultants.com
Engineer: OF NEW POR	TO BANG REAL	Joseph C. Riina, P.E. NYS Lic. No. 64431
Revisions:No.DateComments:16/8/2023Site design.26/28/2023Site revision.	3 7/7/2023 Site revision.   4 9/8/2023 Site revision.   5 11/6/2023 Site revision.   6 11/27/2023 Village Comments.	
SCALE:	DRAWN BY: MA	DATE: 6/8/2023
	NOTES	
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		Village o

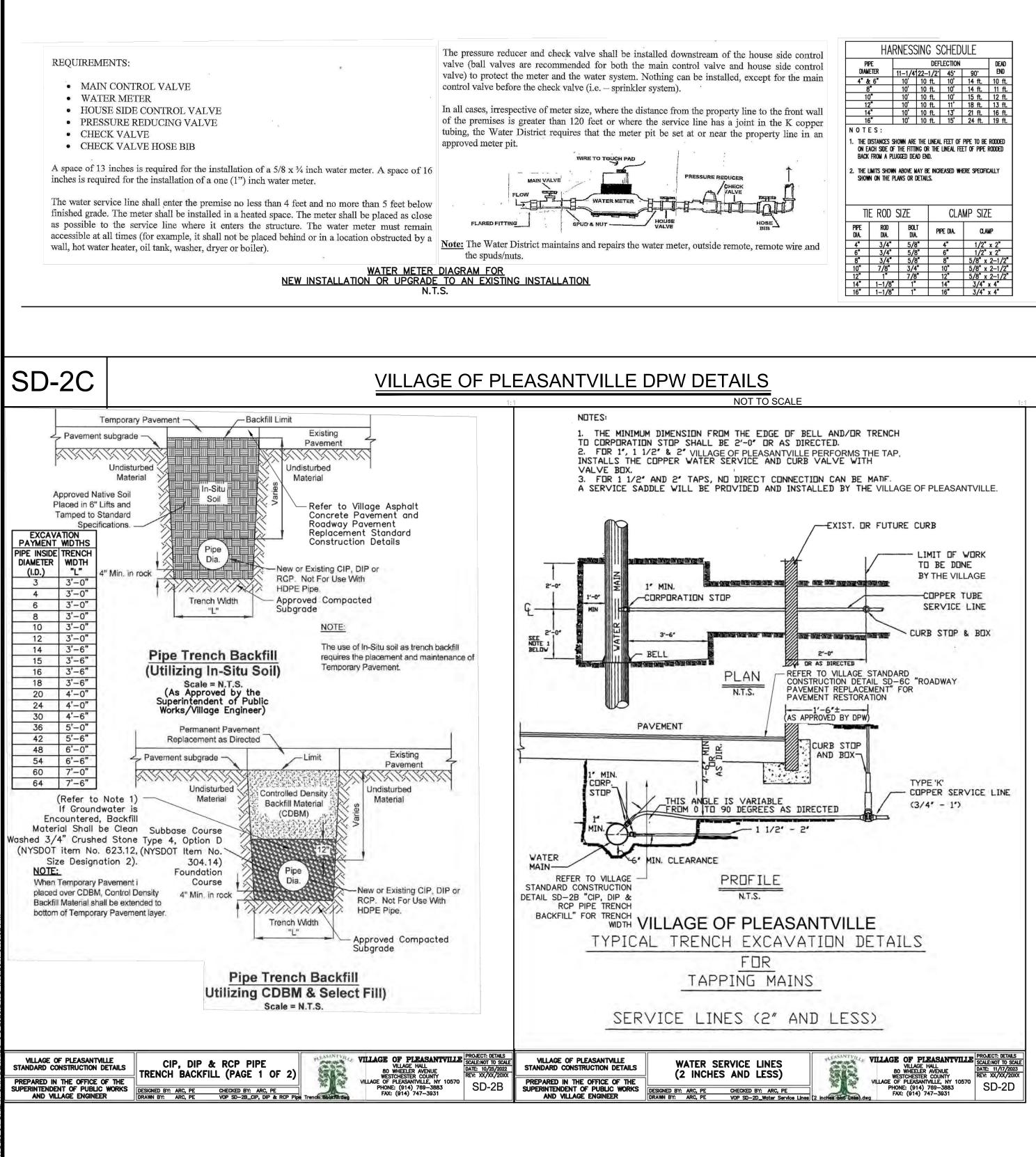




NOTE: UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW







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Engineer: Engineer: Controomer Controomer		A CONTRACTOR	Joseph C. Riina, P.E. NYS Lic. No. 64431
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	WATER	DETAILS	
SUBDIVISION PLAN PREPARED FOR	GREAT OAK LANE	Bedford Rd and Great Oak Ln.	Village of Pleasantville. Westchester County, NY.
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